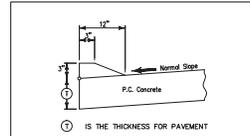
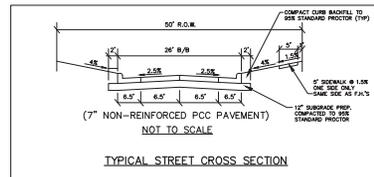


NOTE:

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DETAILS OF INTEGRAL 3" SLOPED CURB NOT TO SCALE



TYPICAL STREET CROSS SECTION NOT TO SCALE

City of Grimes Standard Notes for Construction Plans:

- General Notes:**
 - All work shall be done in accordance with the current version of the Urban Standards Specifications for Public Improvements on the date of approval and the City of Grimes Supplemental Specifications.
 - A preconstruction meeting is required prior to the start of construction. The contractor shall be responsible to coordinate this meeting. Contact Brandon Wilsom at FOS Engineering (515)233-0300.
 - All permits (IDNR, DOT, Army Corp., etc.) shall be obtained prior to the start of construction.
 - The Developer and/or Contractor shall be responsible to provide the City of Grimes with Record Drawings of all improvements as per City standard procedures.
 - All services shall be marked with a painted post. (Water-blue, Storm-white, Sanitary-green). Posts should be a 4-foot post with four feet exposed above ground.
 - All service locations are to be stamped into the curb (top & face) and into the gutter with letter irons as per City standard procedures.
- Sanitary Sewer Notes:**
 - The Contractor is required to place a temporary plug in the existing downstream sanitary sewer manhole prior to the start of construction. The plug shall be removed following approval of construction by the City of Grimes.
 - Sanitary gravity pipe material shall be PVC SDR 26 or Truex (8" to 10").
 - Sanitary gravity service pipe material shall be PVC SDR 23.5 (4" to 6").
 - All sanitary sewer manholes shall have steps.
 - All sanitary sewer manholes castings shall be sealed with interior chimney seals.
 - All sanitary sewer manhole castings located within pavement shall be sealed out.
 - Televue of the sanitary sewer system shall be completed prior to paving. The sewer system shall be flushed with water prior to televising.
- Water Main Notes:**
 - All fire hydrants shall be American Flow Control-Waterous Pacer WB-67-250, Mueller Super Centurion 250 (3-way A-423), or Clow Medallion F 2545. All hydrants shall have the following: 6" M.I. Shoe, 2-1/2" Hose Nozzle, 4-1/2" Steamer Nozzle, NPT Threads, Pentagon Operating Nut, Chain on cap, open left, 5-1/2" bury, and factory painted red. The minimum hydrant lead shall be 2 feet.
 - All hydrants will immediately be covered with a black plastic bag (or equivalent) once the hydrant is installed. The City of Grimes will notify the Contractor when the bags can be removed.
 - A tracer wire receptacle shall be installed at each hydrant (flush mount Valve or approved equal).
 - All valves shall be redlined wedge gate valves.
 - Water service shall be 1.5 inch type K copper.
 - Proposed Water Main shall be pressure tested and chlorinated. The filling of the water main shall be done by the City of Grimes. The Bacteria and blowoff of Chlorine shall be done by the City of Grimes. If the test does not pass, the Contractor will be required to pay for all the water used to repeat the test.
- Storm Sewer Notes:**
 - All storm sewer in the ROW shall be RCP, unless otherwise approved by the City.
 - All lined end sections shall have footings and apron grates. The last 3 pipe sections and the lined end section on all culverts shall be tied.
 - All storm sewer joints shall be wrapped with engineering fabric.
 - The Contractor is responsible for repairing any field tile damaged during construction. The tile should be directed to public storm sewer if possible. The Contractor shall record the elevation and location of all tiles.
 - All sump service lines shall have tracer wire.
- Signage Notes:**
 - All signage shall be supplied and installed by the City of Grimes. The City will bill the Developer for the costs associated with the signage.
 - The height of signs shall be 7 feet from the base of the sign to the ground.
 - All signs shall be not less than 1.0' from edge of sign to back of curb.
 - Stop signs shall be as per MUTCD 83-1 type, 30" x 36".
 - No Parking signs shall be as per MUTCD 93 type, 12"x18". If possible, please mount the No Parking Signs to light poles (1st Preference).
 - All street name signs shall be as per MUTCD 2A-12.5 (24" x 24").
 - All street name signs shall be white on black on a 6" blank with 4" letters (Locals) or 8" blank with 6" letters (collectors/arterials) and shall be directly fastened to square tube post. Each sign post shall have four (4) street signs that shall be connected to post by nesting the signs back to back on opposite sides of the square tube post. The back to back ends of street name signs shall be connected with circular stabilizers.
 - All sign posts shall be telegraf 2"x2" square tube powder coated black galvanized steel (14 gauge min.) with 7/16" knock-out style perforations that are pre-punched.
 - Road closed signs shall be as per IDOT Road Standard S-182.
 - All signs shall be high intensity prismatic.

FINAL CONSTRUCTION PLANS OF MEADOWLARK SOUTH PLAT 5 CITY OF GRIMES POLK COUNTY, IOWA FOR HUBBELL REALTY COMPANY

PREPARED BY:

ERG

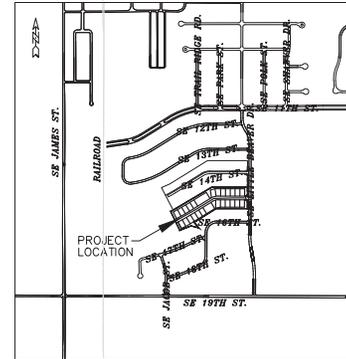
Engineering Resource Group, Inc.
Engineers and Surveyors
2413 GRAND AVENUE
DES MOINES, IOWA 50312
(515) 288-4823

INDEX OF SHEETS

- | | |
|---|--------------------------------------|
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| 5 | SE 15TH STREET - PAVEMENT & STORM |
| 6 | SIGNAGE PLAN |
| 7 | GROUND COVER PLAN |
| 8 | DETAILS |
| | |
| 1 | STARTUP SWPPP (EROSION CONTROL PLAN) |

PCC PAVING

- ALL SUBGRADE UNDER SLAB TO BE COMPACTED TO 90% STANDARD PROCTOR DENSITY FOR A MINIMUM OF 12" RECOMMENDED MOISTURE CONTENT RANGE 0% TO +4% OF OPTIMUM.
- MOSTEN SUBGRADE PRIOR TO PLACING CONCRETE.
- CONCRETE SHALL HAVE MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 4000 PSI
- AGGREGATE SHALL BE CLASS 4.
- CONCRETE SURFACES SHALL BE BURLAP FINISH, CHECK SURFACE WITH TEMPLATE. NO DEVIATION OVER 1/8" IN 10' IS PERMITTED. ALL CONCRETE SHALL BE SLOPED TO DRAIN.
- ALL CONCRETE SHALL BE CURED WITH AN ASTM C309 TYPE 2 WATER BASED WHITE PIGMENTED CURING COMPOUND PER IDOT SEC. 4105
- SAW CUT JOINTS AS SOON AS CONCRETE HAS SET ENOUGH TO PREVENT TEARING OF THE CONCRETE ADJACENT TO THE JOINT AND PRIOR TO ANY CRACKING.
- SAW CUTS TO BE 1/8" TO 1/4" WIDE, DEPTH: LONGITUDINAL 1/3, TRANSVERSE 1/4.
- LONGITUDINAL JOINT SPACING SHALL NOT BE GREATER THAN 12'. JOINT LAYOUT SHALL BE APPROVED BY THE ENGINEER.
- ALL JOINTS SHALL BE FILLED WITH W-R MEADOWS D-164 HOT POUR RUBBER BASE JOINT SEALER OR APPROVED EQUAL.
- PAVEMENT THICKNESS SHALL BE 7-INCH NON-REINFORCED, 26' B-B WITH 12" OF SUBGRADE PREPARATION.
- SUBMIT DESIGN MIX AS DESIGNED BY INDEPENDENT TESTING LABORATORY PRIOR TO PLACING ANY CONCRETE.
- ALL WORK TO COMPLY WITH CURRENT AASHTO STANDARDS.
- TRAIL PAVING TYPICAL SECTION ON DETAIL SHEET.



NOTES

- TRAIL TO BE COMPLETED BY DEVELOPER.
- SIDEWALKS TO BE INSTALLED BY THE HOME BUILDER.

PROJECT BENCHMARKS:

- 68F 001: BURY BOLT ON FH. S. SIDE OF SE 18TH ST. BETWEEN LOT ADDRESS 604 AND 608. ELEV=971.85.
- 68F 002: BURY BOLT ON FH. AT NW CORNER OF SE JACOB ST. & SE 18TH ST. INTERSECTION. ELEV=977.17.
- 68F 003: BURY BOLT ON FH. AT NW CORNER OF SE JACOB ST. & SE 19TH ST. INTERSECTION. ELEV=973.74.

SITE DATA

MIN. LOT WIDTH	=	65'
FRONT YARD SETBACK	=	20'
REAR YARD SETBACK	=	10'
SIDE YARD SETBACK	=	5'

NOTE:

THE VERTICAL DATUM OF THIS PLAN SET MUST BE RAISED BY 0.86 FEET TO MATCH CITY OF GRIMES DATA.

B.M. BURY BOLT, F.H. AT SW CORNER OF MEADOWLARK DR. & SHAWVER ELEV.=948.26 CITY ELEV.=947.40 PLAN

APPROVED FOR CONSTRUCTION
DATE _____



ENGINEERING CERTIFICATION
I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT, SPECIFICATION OR REPORT WAS PREPARED BY ME, OR UNDER MY DIRECT PERSONAL SUPERVISION, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.
CHAD J. BILLINGS, P.E. #19787
MY REGISTRATION RENEWAL DATE IS DECEMBER 31, 2015
PAGES OR SHEETS COVERED BY THIS SEAL
1-8

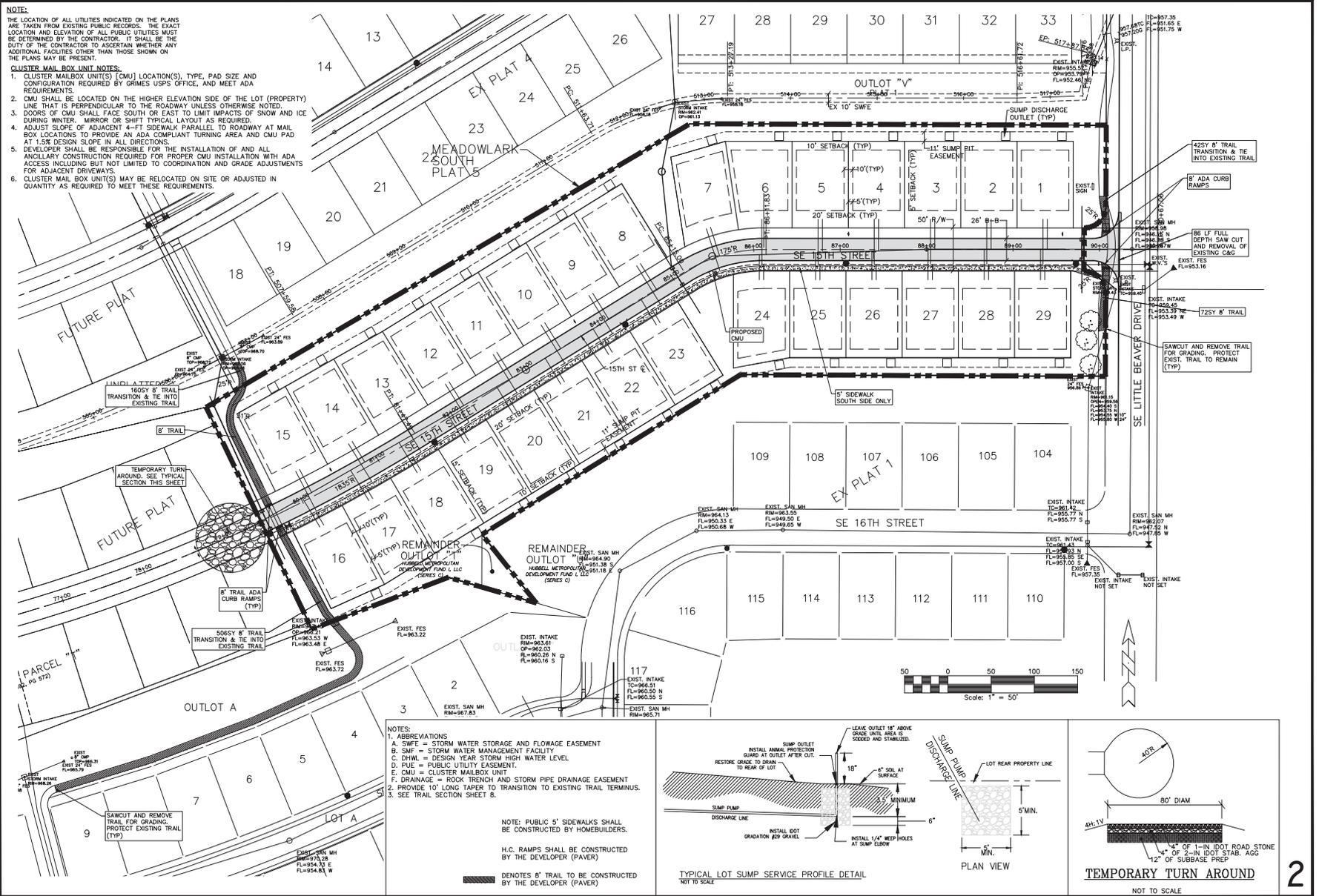
MEADOWLARK SOUTH PLAT 5

NOTE:

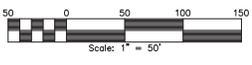
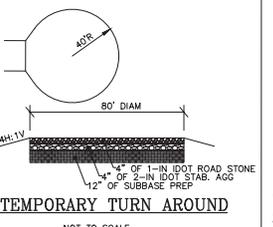
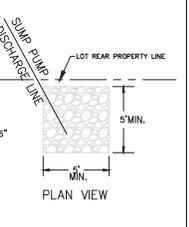
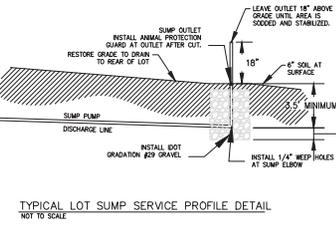
THE LOCATION OF ALL UTILITIES INDICATED ON THE PLANS ARE TAKEN FROM EXISTING PUBLIC RECORDS. THE EXACT LOCATION AND ELEVATION OF ALL PUBLIC UTILITIES MUST BE DETERMINED BY THE CONTRACTOR. IT SHALL BE THE DUTY OF THE CONTRACTOR TO ASCERTAIN WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT.

CLUSTER MAIL BOX UNIT NOTES:

1. CLUSTER MAILBOX UNIT(S) [CMU] LOCATION(S), TYPE, PAD SIZE AND CONFIGURATION REQUIRED BY CRIES USPS OFFICE, AND MEET ADA REQUIREMENTS.
2. CMU SHALL BE LOCATED ON THE HIGHER ELEVATION SIDE OF THE LOT (PROPERTY) LINE THAT IS PERPENDICULAR TO THE ROADWAY UNLESS OTHERWISE NOTED.
3. DOORS OF CMU SHALL FACE SOUTH OR EAST TO LIMIT IMPACTS OF SNOW AND ICE DURING WINTER. MIRROR OR SHIFT TYPICAL LAYOUT AS REQUIRED.
4. ADJUST SLOPE OF ADJACENT 4-FT SIDEWALK PARALLEL TO ROADWAY AT MAIL BOX LOCATIONS TO PROVIDE AN ADA COMPLIANT TURNING AREA AND CMU PAD AT 1.5% DESIGN SLOPE IN ALL DIRECTIONS.
5. DEVELOPER SHALL BE RESPONSIBLE FOR THE INSTALLATION OF AND ALL ANCILLARY CONSTRUCTION REQUIRED FOR PROPER CMU INSTALLATION WITH ADA ACCESS INCLUDING BUT NOT LIMITED TO COORDINATION AND GRADE ADJUSTMENTS FOR ADJACENT DRIVEWAYS.
6. CLUSTER MAIL BOX UNIT(S) MAY BE RELOCATED ON SITE OR ADJUSTED IN QUANTITY AS REQUIRED TO MEET THESE REQUIREMENTS.



- NOTES:**
1. ABBREVIATIONS
 A. SWEF = STORM WATER STORAGE AND FLOWAGE EASEMENT
 B. SMF = STORM WATER MANAGEMENT FACILITY
 C. DWHL = DESIGN YEAR STORM HIGH WATER LEVEL
 D. PUE = PUBLIC UTILITY EASEMENT
 E. CMU = CLUSTER MAILBOX UNIT
 F. DRAINAGE = ROCK TRENCH AND STORM PIPE DRAINAGE EASEMENT
 G. PROVIDE 10' LONG TAPER TO TRANSITION TO EXISTING TRAIL TERMINUS.
 H. SEE TRAIL SECTION SHEET B.
- NOTE: PUBLIC 5' SIDEWALKS SHALL BE CONSTRUCTED BY HOMEBUILDERS.
- H.C. RAMPS SHALL BE CONSTRUCTED BY THE DEVELOPER (PAVER)
- ███ DENOTES 8' TRAIL TO BE CONSTRUCTED BY THE DEVELOPER



MEADOWLARK SOUTH PLAT 5 - PROJECT MAP

NO.	REVISION	DATE	BY	FOR

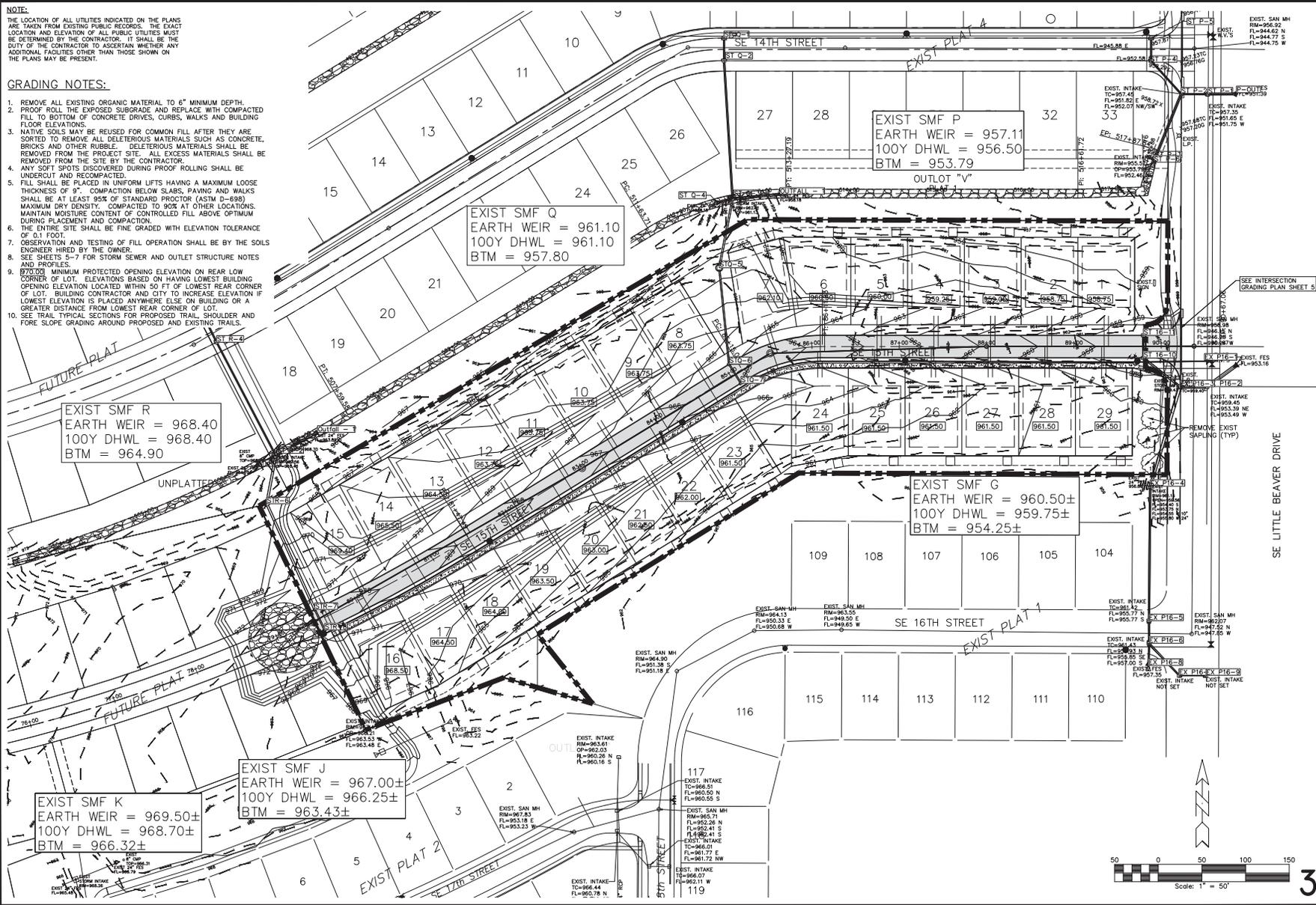
SCALE:	1" = 50'
DWG:	14-002-PRL-ANG
DESIGNED BY:	CJB
CHECKED BY:	DJS
DATE:	07/07/14
FIELD BOOK:	SHEET 2 OF 8
FILE NO.:	14-002

ERC
 Engineers and Surveyors
 1001 W. 10th St., Suite 100
 Des Moines, Iowa 50319
 (515) 281-4828

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GRADING NOTES:

1. REMOVE ALL EXISTING ORGANIC MATERIAL TO 6" MINIMUM DEPTH.
2. PROOF ROLL THE EXPOSED SUBGRADE AND REPLACE WITH COMPACTED FILL TO BOTTOM OF CONCRETE DRIVES, CURBS, WALKS AND BUILDING FLOOR ELEVATIONS.
3. NATIVE SOILS MAY BE REUSED FOR COMMON FILL AFTER THEY ARE SORTED TO REMOVE ALL DELETERIOUS MATERIALS SUCH AS CONCRETE, BRICKS AND OTHER RUBBLE. DELETERIOUS MATERIALS SHALL BE REMOVED FROM THE PROJECT SITE. ALL EXCESS MATERIALS SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR.
4. ANY SOFT SPOTS DISCOVERED DURING PROOF ROLLING SHALL BE UNDERCUT AND RECOMPACTED.
5. FILL SHALL BE PLACED IN UNIFORM LIFTS HAVING A MAXIMUM LOOSE THICKNESS OF 9". COMPACTION BELOW SLABS, PAVING AND WALKS SHALL BE AT LEAST 95% OF STANDARD PROCTOR (ASTM D-698) MAXIMUM DRY DENSITY. COMPACTED TO 90% AT OTHER LOCATIONS. MAINTAIN MOISTURE CONTENT OF CONTROLLED FILL ABOVE OPTIMUM DURING PLACEMENT AND COMPACTION.
6. THE ENTIRE SITE SHALL BE FINE GRADED WITH ELEVATION TOLERANCE OF 0.1 FOOT.
7. OBSERVATION AND TESTING OF FILL OPERATION SHALL BE BY THE SOILS ENGINEER HIRED BY THE OWNER.
8. SEE SHEETS 5-7 FOR STORM SEWER AND OUTLET STRUCTURE NOTES AND PROFILES.
9. 870.00 MINIMUM PROTECTED OPENING ELEVATION ON REAR LOW CORNER OF LOT. ELEVATIONS BASED ON HAVING LOWEST BUILDING OPENING ELEVATION LOCATED WITHIN 50 FT OF LOWEST REAR CORNER OF LOT. BUILDING CONTRACTOR AND CITY TO INCREASE ELEVATION IF LOWEST ELEVATION IS PLACED ANYWHERE ELSE ON BUILDING OR A GREATER DISTANCE FROM LOWEST REAR CORNER OF LOT.
10. SEE TRAIL TYPICAL SECTIONS FOR PROPOSED TRAIL, SHOULDER AND FORE SLOPE GRADING AROUND PROPOSED AND EXISTING TRAILS.



MEADOWLARK SOUTH PLAT 5 - GRADING PLAN

NO. _____

REVISION _____

DATE _____

BY _____

FOR _____

LOCATION _____

SCALE: 1" = 50'

DWG: 14-002-060.dwg

CHECKED BY: CJB

DESIGNED BY: EJM

DATE: 07/07/14

FIELD BOOK: _____

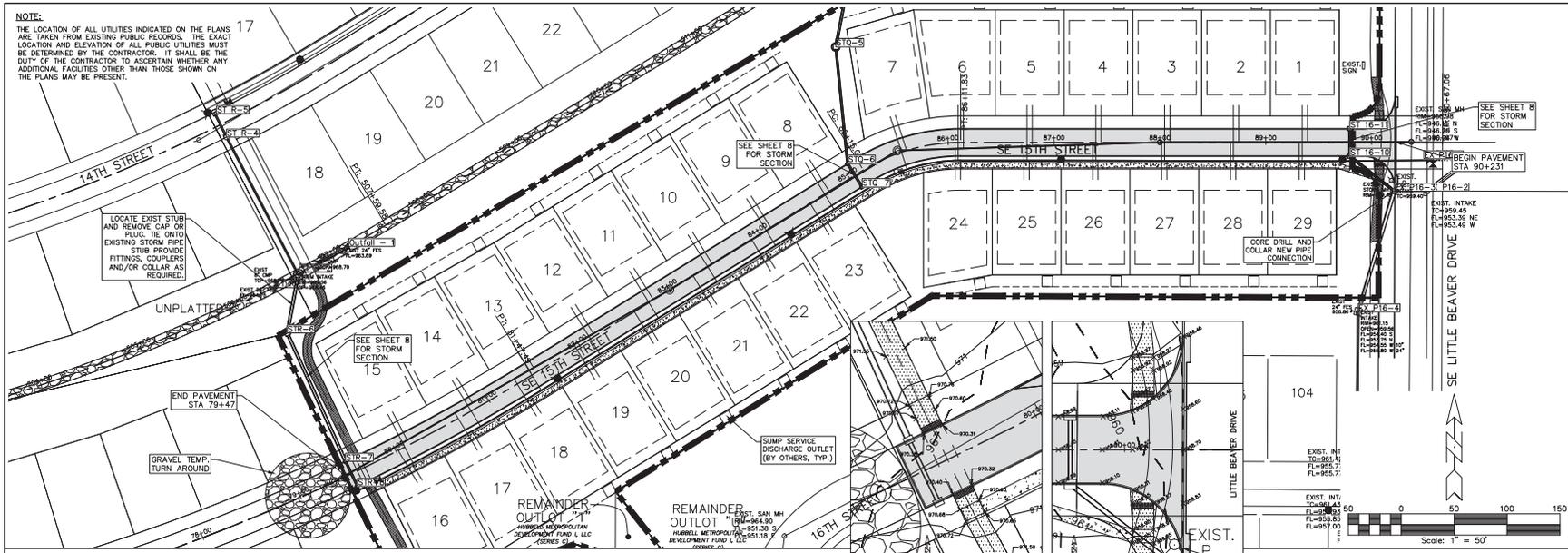
SHEET 3 OF 8

FILE NO.: 14-002

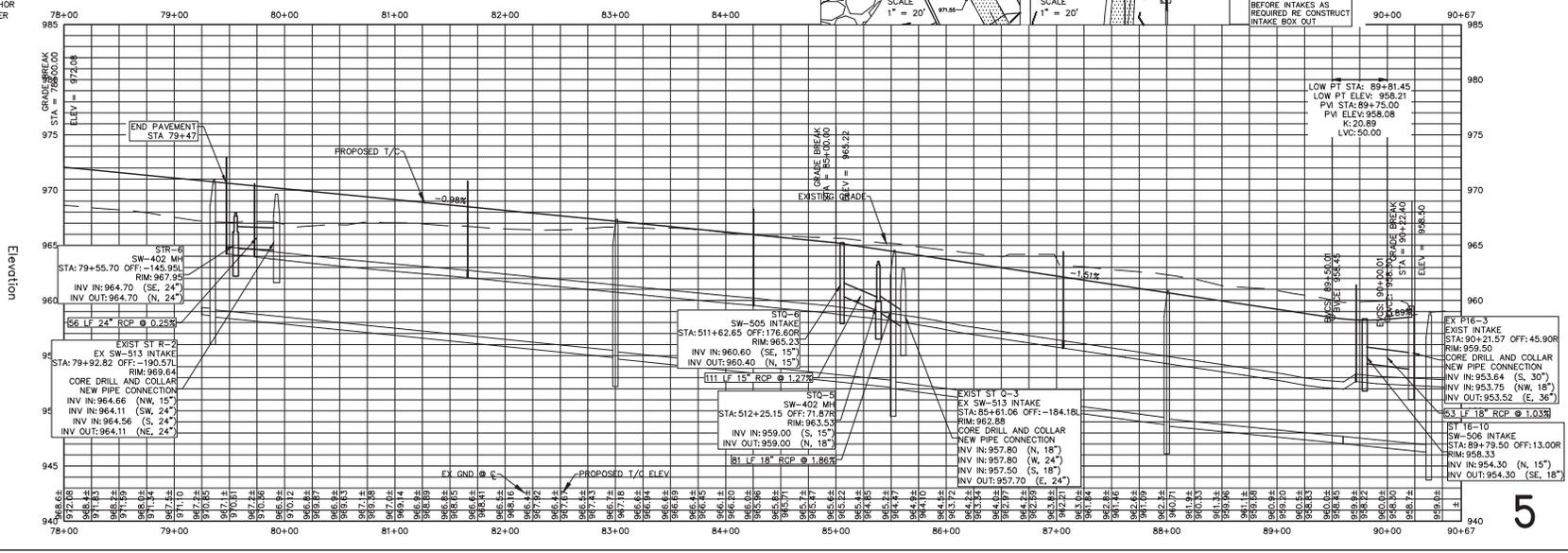
FRC
 Engineers and Surveyors
 205 MONROE, MOBILE, ALABAMA 36682
 (915) 288-4823

14-002

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SCALE:
1" = 50' HOR
1" = 5' VER



SE 15TH STREET - PAVEMENT & STORM

NO.	REVISION	DATE	BY	FOR

LOCATION:
 SCALE: 1" = 50'
 DESIGNED BY: C.B.
 CHECKED BY: D.S.
 DRAWN BY: P.V.
 DATE: 1/27/14
 SHEET: 3 OF 8
 FILE NO.: 14-002

Engineering Resource Group, Inc.
 2413 GRAND AVENUE
 DES MOINES, IA 50319

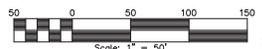
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SIGN LEGEND

- DENOTES SPEED LIMIT 25
- DENOTES NO PARKING SIGN
- DENOTES STOP SIGN
- DENOTES NO PARKING HERE TO CORNER SIGN
- DENOTES STREET NAME SIGN (MOUNTED ON STOP SIGN)
- DENOTES ROAD CLOSED DIAMOND SIGNS (DOT DETAIL SI-182)



6

MEADOWLARK SOUTH PLAT 5 - SIGNAGE PLAN

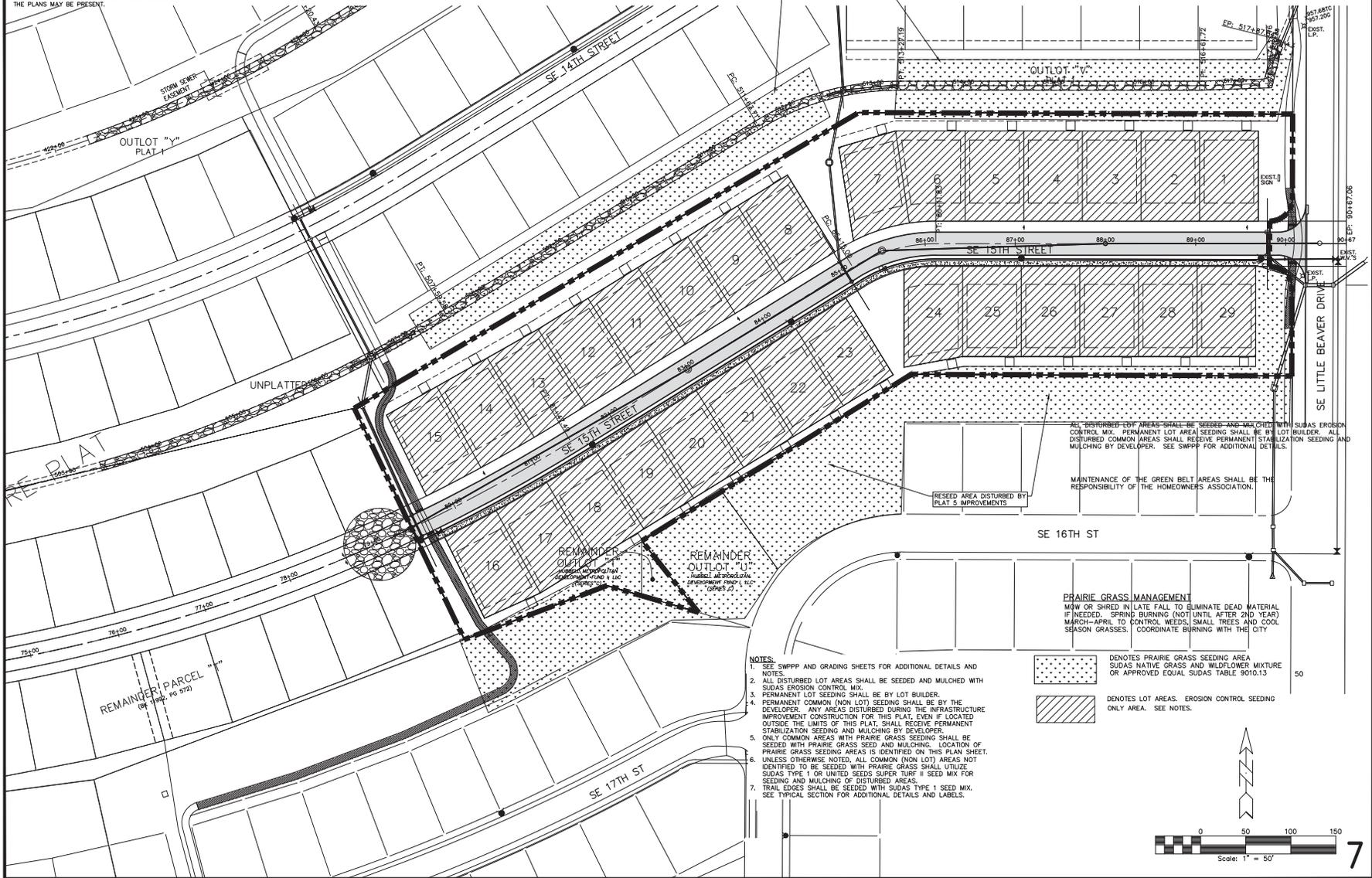
NO.	REVISION	DATE	BY	FOR	LOCATION

SCALE: 1" = 50'
 DRAWN BY: P.M.
 DESIGNED BY: C.B.R.
 CHECKED BY: D.J.S.
 DATE: 07/07/14
 FIELD BOOK: SHEET 6 OF 8
 FILE NO.: 14-002

FRC
 Engineers and Surveyors
 605 MONROE, MOBILE, ALABAMA 36688
 (904) 288-4828

14-002

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- NOTES:**
1. SEE SWPPP AND GRADING SHEETS FOR ADDITIONAL DETAILS AND NOTES.
 2. ALL DISTURBED LOT AREAS SHALL BE SEEDED AND MULCHED WITH SUDAS EROSION CONTROL MIX.
 3. PERMANENT LOT SEEING SHALL BE BY LOT BUILDER.
 4. PERMANENT COMMON (NON LOT) SEEING SHALL BE BY THE DEVELOPER. ANY AREAS DISTURBED DURING THE INFRASTRUCTURE IMPROVEMENT CONSTRUCTION FOR THIS PLAT, EVEN IF LOCATED OUTSIDE THE LIMITS OF THIS PLAT, SHALL RECEIVE PERMANENT STABILIZATION SEEING AND MULCHING BY DEVELOPER.
 5. ONLY COMMON AREAS WITH PRAIRIE GRASS SEEING SHALL BE SEEDED WITH PRAIRIE GRASS SEED AND MULCHING. LOCATION OF PRAIRIE GRASS SEEING AREAS IS IDENTIFIED ON THIS PLAN SHEET.
 6. UNLESS OTHERWISE NOTED, ALL COMMON (NON LOT) AREAS NOT IDENTIFIED TO BE SEEDED WITH PRAIRIE GRASS SHALL UTILIZE SUDAS TYPE 1 OR UNITED SEEDS SUPER TURF II SEED MIX FOR SEEING AND MULCHING OF DISTURBED AREAS.
 7. TRAIL EDGES SHALL BE SEEDED WITH SUDAS TYPE 1 SEED MIX. SEE TYPICAL SECTION FOR ADDITIONAL DETAILS AND LABELS.

 DENOTES PRAIRIE GRASS SEEING AREA SUDAS NATIVE GRASS AND WILDFLOWER MIXTURE OR APPROVED EQUAL SUDAS TABLE 9010.13
 DENOTES LOT AREAS. EROSION CONTROL SEEING ONLY AREA. SEE NOTES.

PRAIRIE GRASS MANAGEMENT
 MOW OR SHRED IN LATE FALL TO ELIMINATE DEAD MATERIAL IF NEEDED. SPRING BURNING (NOT UNTIL AFTER 2ND YEAR) MARCH-APRIL TO CONTROL WEEDS, SMALL TREES AND COOL SEASON GRASSES. COORDINATE BURNING WITH THE CITY

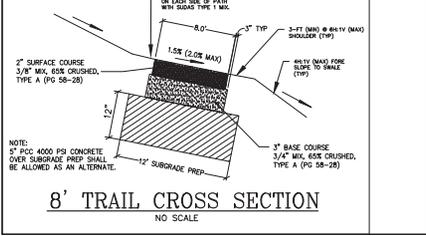
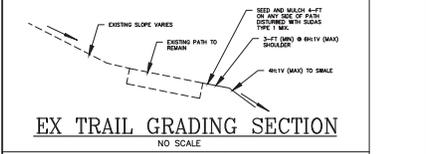
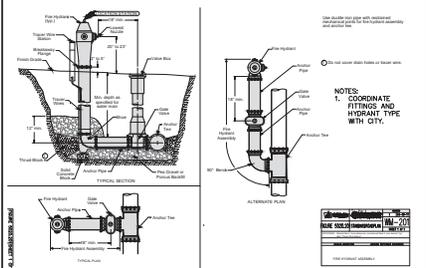
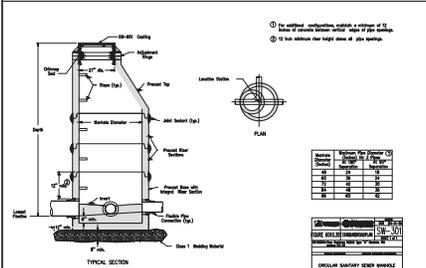
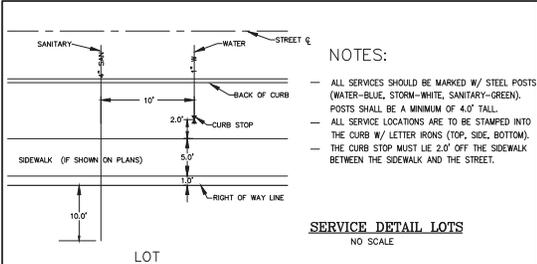
ALL DISTURBED LOT AREAS SHALL BE SEEDED AND MULCHED WITH SUDAS EROSION CONTROL MIX. PERMANENT LOT AREA SEEING SHALL BE BY LOT BUILDER. ALL DISTURBED COMMON AREAS SHALL RECEIVE PERMANENT STABILIZATION SEEING AND MULCHING BY DEVELOPER. SEE SWPPP FOR ADDITIONAL DETAILS.
 MAINTENANCE OF THE GREEN BELT AREAS SHALL BE THE RESPONSIBILITY OF THE HOMEOWNERS ASSOCIATION.

MEADOWLARK SOUTH PLAT 5 - GROUND COVER PLAN

NO. _____ REVISION _____ DATE _____ BY _____ FOR _____
 SCALE: 1" = 50'
 DWG: 14-002-GCP.dwg
 DESIGNED BY: CJB
 CHECKED BY: DJS
 DRAWN BY: P.M.
 DATE: 07/07/13
 SHEET 7 OF 8
 FIELD BOOK: _____
 FILE NO.: 14-002

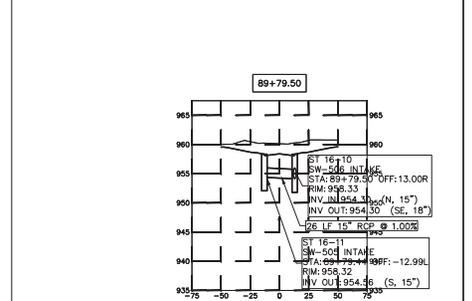
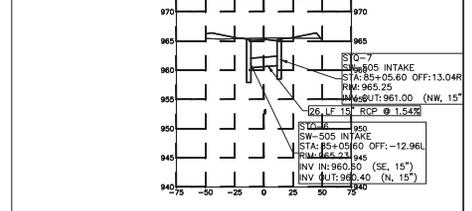
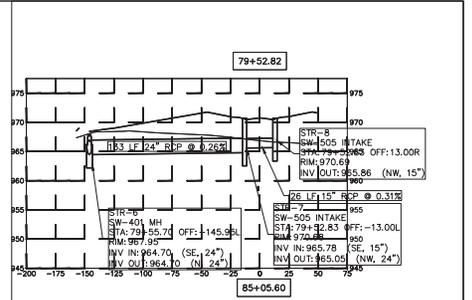
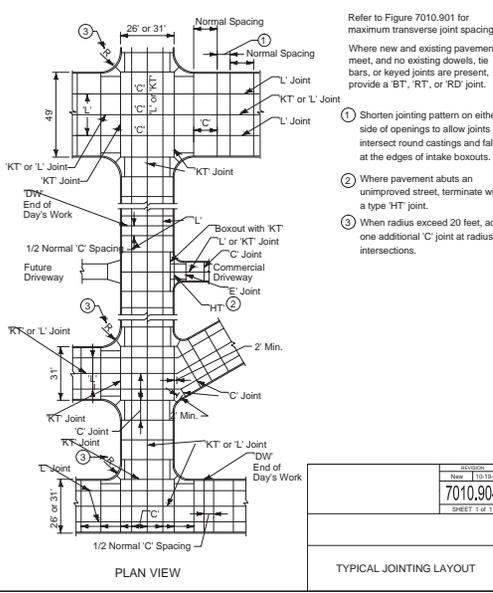
ERC
 Engineers and Surveyors
 14001 14th Street, NW
 Denver, CO 80202
 (303) 733-4623

14-002



- GENERAL NOTES:**
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH URBAN STANDARDS SPECIFICATIONS FOR PUBLIC IMPROVEMENTS AND MEET OR EXCEED THE MINIMUM CITY STANDARDS AND NOTES.
 - ALL DEBRIS SPILLED ON THE STREETS OR ADJACENT PROPERTY SHALL BE PROMPTLY REMOVED BY THE CONTRACTOR.
 - ALL WORK SHALL BE DONE IN ACCORDANCE WITH CURRENT OSHA CODES AND STANDARDS. NOTHING INDICATED ON THESE PLANS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY AND ALL APPROPRIATE SAFETY REGULATIONS.
 - THE CONTRACTOR SHALL FURNISH, PLACE, MAINTAIN AND REMOVE ALL NECESSARY WORK ZONE TRAFFIC CONTROL DURING CONSTRUCTION IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR GIVING THE CITY PROPER NOTICE FOR THEIR REQUIRED INSPECTIONS.
 - WORK SHALL INCLUDE CONNECTION TO EXISTING PUBLIC UTILITIES AND ANY AND ALL FITTINGS, CLEANOUTS AND APPURTENANCES REQUIRED BY CODES.
 - THE CONTRACTOR IS RESPONSIBLE FOR CLEARING & GRUBBING THE SITE, AND REMOVAL & DISPOSAL OF ANY DELETERIOUS AND EXCESS MATERIALS FROM THE SITE.
 - ANY DAMAGE DONE TO THE EXISTING FENCES, YARDS OR OTHER IMPROVEMENTS SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
 - THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY AND ALL REQUIRED PERMITS FOR PERFORMING THE WORK.
 - THE CONTRACTOR SHALL PLACE SILT FENCE AROUND ALL STORM SEWER INLET LOCATIONS, STEEP SLOPES, OR AS DIRECTED BY THE CITY; AND COMPLY WITH THE PROJECT SWPPP.
 - THE CONTRACTOR SHALL VERIFY BEFORE PLACING F.H.'S THAT NO PART OF THE F.H. SHALL BE CLOSER THAN 24" TO A PROPOSED SIDEWALK. F.H.'S SHALL ALSO BE PLACED ON THE EXTENSION OF LOT LINES AND ISLANDS AS SHOWN ON THE PLANS. ADDITIONAL STAKES FOR LOT CORNERS, ISLANDS AND SIDEWALKS SHALL BE SET.
 - ALL DISTURBED AREAS SHOULD BE RESTORED BY SEEDING OR SODDING/MULCHING.

- H.C. STALLS, RAMP AND ADAAG NOTES:**
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR FOLLOWING THE PROPOSED SPOT ELEVATIONS, SIDEWALK SLOPES, STRIPING, SIGNAGE AND RAMP DETAILS TO MEET CURRENT REQUIREMENTS OF SUDAS, MUTCD, DOJ AND ADAAG.
 - THE CONTRACTOR SHALL VERIFY WITH THE CITY INSPECTOR THAT THE RAMP, SIDEWALK, AND PARKING AREAS ARE CONSTRUCTED PROPERLY TO MEET STANDARDS.
 - SHOULD DISCREPANCIES OCCUR ON THE PLAN OR WHAT IS REQUIRED BY THE INSPECTOR, THE CONTRACTOR SHALL NOTIFY THE ENGINEER.
 - PERFORMING THE WORK THE WAY THE CONTRACTOR HAS FOR THE LAST XX YEARS ON OTHER APPROVED PROJECTS WILL NOT BE AN EXCUSE FOR NON-COMPLIANCE WITH THESE REQUIREMENTS.
 - SIDEWALKS, TRAILS, AND HANDICAP CURB RAMPS SHALL BE CONSTRUCTED PER, BUT ARE NOT LIMITED TO, APPLICABLE SUDAS FIGURES 7030.201-7030.210, LATEST EDITION. ALL HANDICAP RAMPS SHALL BE INSTALLED BY THE DEVELOPER/FAVER.



MEADOWLARK SOUTH PLAT 5 - DETAILS

FRG Engineering Resource Group, Inc.
2413 GRAND AVENUE
DES MOINES, IOWA 50312
CARD 268-4663

NO. _____
REVISION _____
DATE _____
BY _____
FOR _____

SCALE: 1" = 60'
DWG: 14-002-D1-619
FIELD BOOK: _____

LOCATION: _____

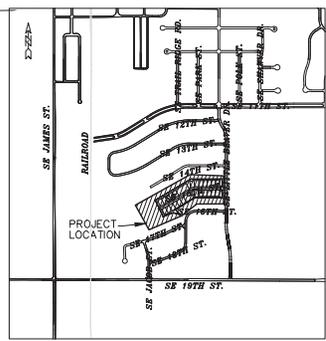
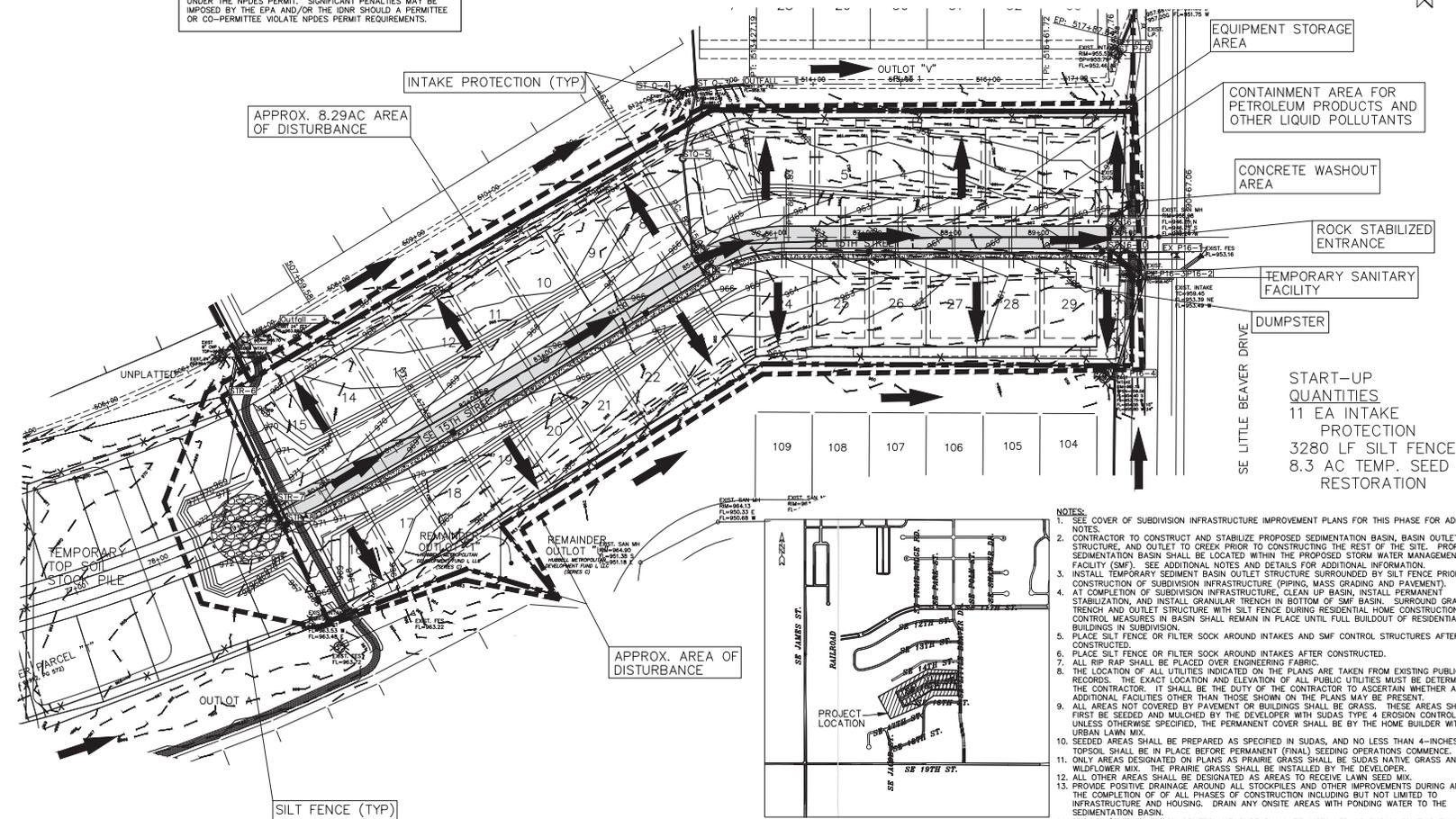
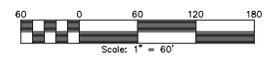
DESIGNED BY: CJB
CHECKED BY: DJS
DATE: 07/07/14
DRAWN BY: PJV
FILE NO.: 14-002
SHEET: 8 OF 8

8

14-002

NOTICE:
 ALL CONTRACTORS AND SUB-CONTRACTORS MUST SIGN THE NPDES CERTIFICATION STATEMENT PRIOR TO PERFORMING ANY WORK ON SITE. BY SIGNING THE CERTIFICATION STATEMENT, THE CONTRACTOR AND/OR SUBCONTRACTOR AGREES TO BECOME A CO-PERMITTEE WITH THE OWNER AND OTHER CO-PERMITTEES. AS A CO-PERMITTEE, YOU AND YOUR COMPANY ARE LEGALLY REQUIRED UNDER THE CLEAN WATER ACT AND THE CODE OF IOWA TO ENSURE COMPLIANCE WITH THE TERMS AND CONDITIONS OF THE STORM WATER POLLUTION PREVENTION PLAN DEVELOPED UNDER THE NPDES PERMIT. SIGNIFICANT PENALTIES MAY BE IMPOSED BY THE EPA AND/OR THE IDNR SHOULD A PERMITTEE OR CO-PERMITTEE VIOLATE NPDES PERMIT REQUIREMENTS.

— 13 — DENOTES EXIST. CONTOUR
 — 14 — DENOTES PROPOSED CONTOUR
 X [56.85] DENOTES PROPOSED SPOT ELEVATION
 T/W DENOTES TOP OF WALL ELEVATION
 B/W DENOTES BOTTOM OF WALL ELEVATION
 X=77.082 DENOTES EXISTING OUTER ELEVATION
 X=74.0212 DENOTES EXISTING TOP OF CURB ELEVATION



- NOTES:**
- SEE COVER OF SUBDIVISION INFRASTRUCTURE IMPROVEMENT PLANS FOR THIS PHASE FOR ADDITIONAL NOTES.
 - CONTRACTOR TO CONSTRUCT AND STABILIZE PROPOSED SEDIMENTATION BASIN, BASIN OUTLET STRUCTURE, AND OUTLET TO CREEK PRIOR TO CONSTRUCTING THE REST OF THE SITE. PROPOSED SEDIMENTATION BASIN SHALL BE LOCATED WITHIN THE PROPOSED STORM WATER MANAGEMENT FACILITY (SMF). SEE ADDITIONAL NOTES AND DETAILS FOR ADDITIONAL INFORMATION.
 - INSTALL TEMPORARY SEDIMENT BASIN OUTLET STRUCTURE SURROUNDED BY SILT FENCE PRIOR TO THE CONSTRUCTION OF SUBDIVISION INFRASTRUCTURE (PIPING, MASS GRADING AND PAVEMENT).
 - AT COMPLETION OF SUBDIVISION INFRASTRUCTURE, CLEAN UP BASIN, INSTALL PERMANENT STABILIZATION, AND INSTALL GRANULAR TRENCH IN BOTTOM OF SMF BASIN. SURROUND GRANULAR TRENCH AND OUTLET STRUCTURE WITH SILT FENCE DURING RESIDENTIAL HOME CONSTRUCTION. SMF CONTROL MEASURES IN BASIN SHALL REMAIN IN PLACE UNTIL FULL BUILDOUT OF RESIDENTIAL LOT BUILDINGS IN SUBDIVISION.
 - PLACE SILT FENCE OR FILTER SOCK AROUND INTAKES AND SMF CONTROL STRUCTURES AFTER CONSTRUCTED.
 - PLACE SILT FENCE OR FILTER SOCK AROUND INTAKES AFTER CONSTRUCTED.
 - ALL RIP RAP SHALL BE PLACED OVER ENGINEERING FABRIC.
 - THE LOCATION OF ALL UTILITIES INDICATED ON THE PLANS ARE TAKEN FROM EXISTING PUBLIC RECORDS. THE EXACT LOCATION AND ELEVATION OF ALL PUBLIC UTILITIES MUST BE DETERMINED BY THE CONTRACTOR. IT SHALL BE THE DUTY OF THE CONTRACTOR TO ASCERTAIN WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT.
 - ALL AREAS NOT COVERED BY PAVEMENT OR BUILDINGS SHALL BE GRASS. THESE AREAS SHALL FIRST BE SEED AND MULCHED BY THE DEVELOPER WITH SUDAS TYPE 4 EROSION CONTROL MIX, UNLESS OTHERWISE SPECIFIED, THE PERMANENT COVER SHALL BE BY THE HOME BUILDER WITH A URBAN LAWN MIX.
 - SEEDING AREAS SHALL BE PREPARED AS SPECIFIED IN SUDAS, AND NO LESS THAN 4-INCHES OF TOPSOIL SHALL BE IN PLACE BEFORE PERMANENT (FINAL) SEEDING OPERATIONS COMMENCE.
 - ONLY AREAS DESIGNATED ON PLANS AS PRAIRIE GRASS SHALL BE SUDAS NATIVE GRASS AND WILDFLOWER MIX. THE PRAIRIE GRASS SHALL BE INSTALLED BY THE DEVELOPER.
 - ALL OTHER AREAS SHALL BE DESIGNATED AS AREAS TO RECEIVE LAWN SEED MIX.
 - PROVIDE POSITIVE DRAINAGE AROUND ALL STOCKPILES AND OTHER IMPROVEMENTS DURING AND AT THE COMPLETION OF ALL PHASES OF CONSTRUCTION INCLUDING BUT NOT LIMITED TO INFRASTRUCTURE AND HOUSING. DRAIN ANY ONSITE AREAS WITH PONDING WATER TO THE SEDIMENTATION BASIN.
 - EROSION / SEDIMENTATION CONTROL MEASURE SHALL BE INSTALLED AS SHOWN ON THIS EXHIBIT AND ARE FOR START UP PURPOSES ONLY. CONTRACTOR SHALL MODIFY EROSION / SEDIMENTATION CONTROL MEASURES DURING THE COURSE OF CONSTRUCTION TO ACCOMMODATE FIELD CONDITIONS AND METHODS OF CONSTRUCTION. MODIFY EXHIBIT AS REQUIRED DURING THE COURSE OF CONSTRUCTION TO REFLECT FIELD MODIFICATIONS. CONTRACTOR TO UTILIZE PROJECT SWPPP AND NPDES NOI PERMIT CONDITIONS FOR ADDITIONAL DETAILS AND DIRECTIONS. EROSION / SEDIMENTATION CONTROL MEASURE MAY BE REMOVED AS ALLOWED BY PERMIT CONDITIONS AND AT THE TERMINATION OF THE NPDES STORM WATER PERMIT AT THE COMPLETION OF THE PROJECT.

STORM WATER POLLUTION PREVENTION PLAN

NO.	REVISION	DATE

DISTANCE FROM SITE NORTH TO RECEIVING WATERS OF STREAM: 10,000 FEET