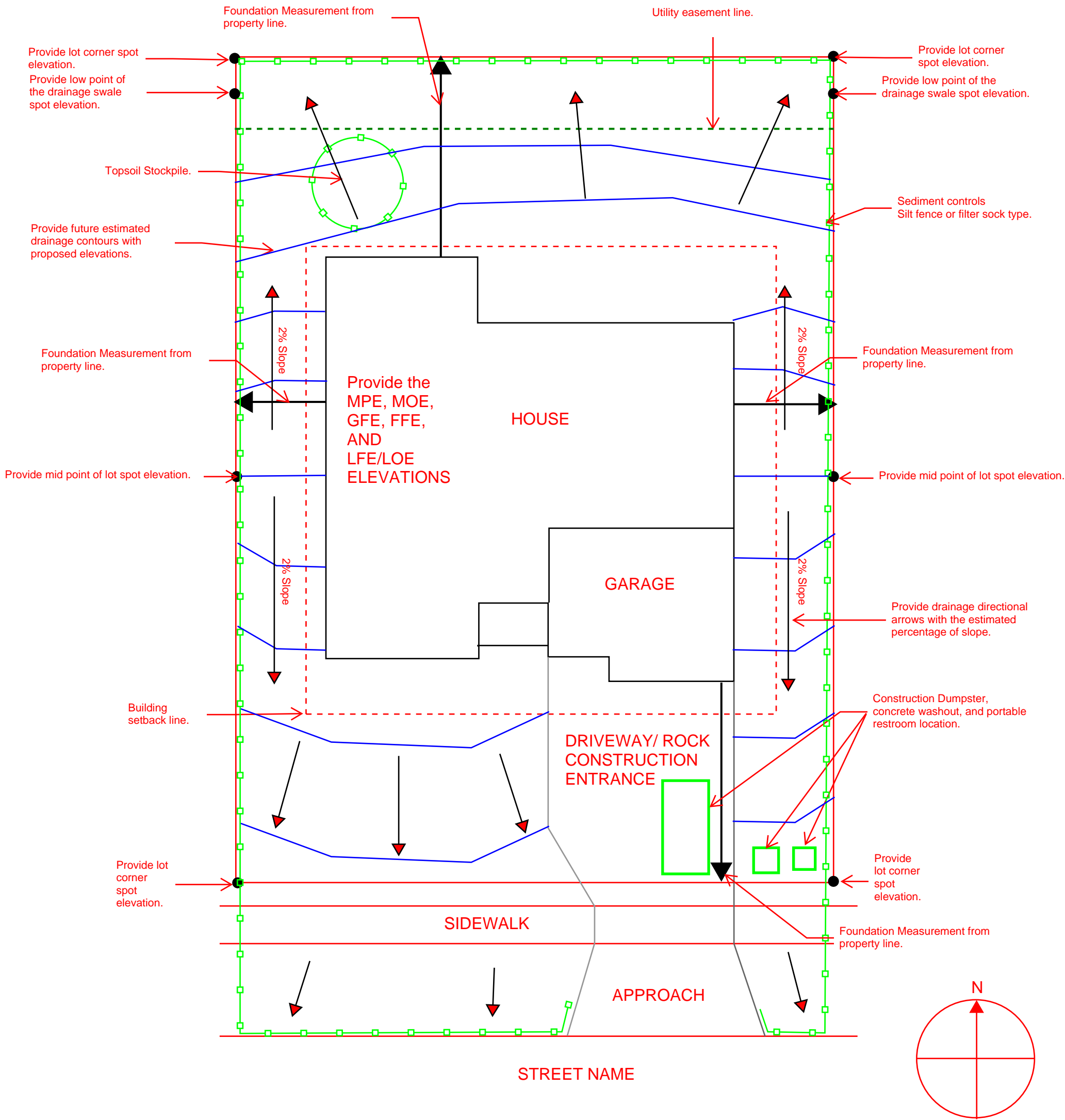


Sample Site Plan for a standard lot with no drainage easement



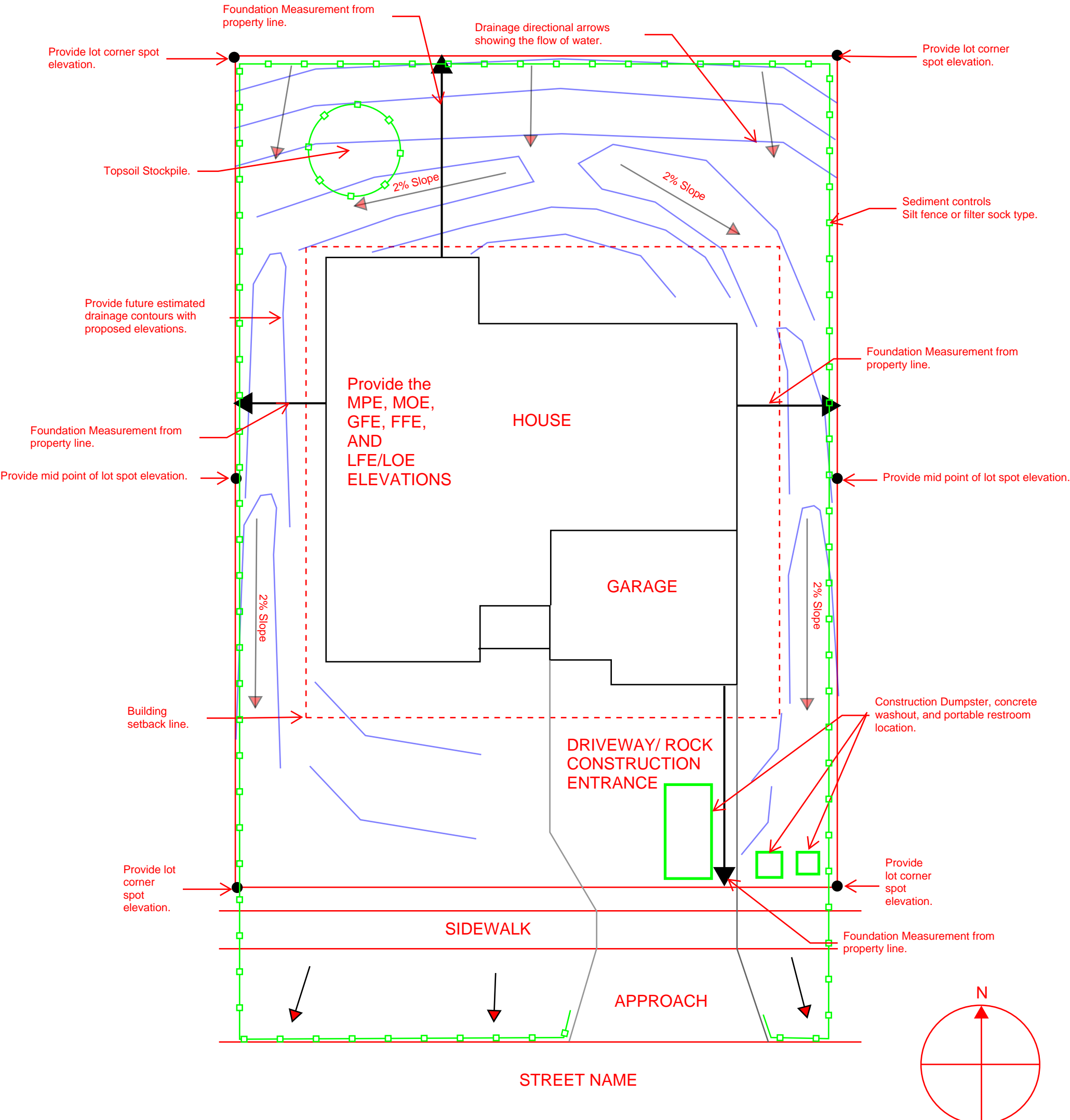
Note: Erosion and sediment control devices shall be installed and maintained in working order throughout this time frame.

Please call out the locations of the lot utility services and all public infrastructure on or adjacent from the property.

The permit applicant's land surveyor shall provide a certified as-built grading plan to the City showing the as-built elevations of critical locations on the site as shown on the individual grading plan (including but not limited to the rear corners, the mid-point of the side yard lines, the front lot corners, overflow locations, and along the drainage ways and easements), sanitary sewer manholes, all storm water management facilities (including but not limited to detention areas, intakes, structures, sub-drain cleanouts, and flared end sections), and Minimum Protection Elevation (MPE) to verify compliance with the approved grading plan.

If the foundation is within 1 foot of any required setback an additional submittal will be required during the foundation phase of construction and can be inclusive to only the structure location verification. If there is a Minimum Protection Elevation (MPE) on the lot, verify compliance with the approved grading plan. Provide one-foot contour lines and spot elevations at all corners of the lots, at each low spot of the overland flowage easement that crosses at the property line, and at any grade change for all disturbed areas in the development. Documents shall be submitted with PDF and CAD with attributes filled in. Elevations shall be within 0.2 foot of the approved grading plan and shall not create any ponding of surface water on adjacent properties.

Sample Site Plan for a rear to front draining Lot



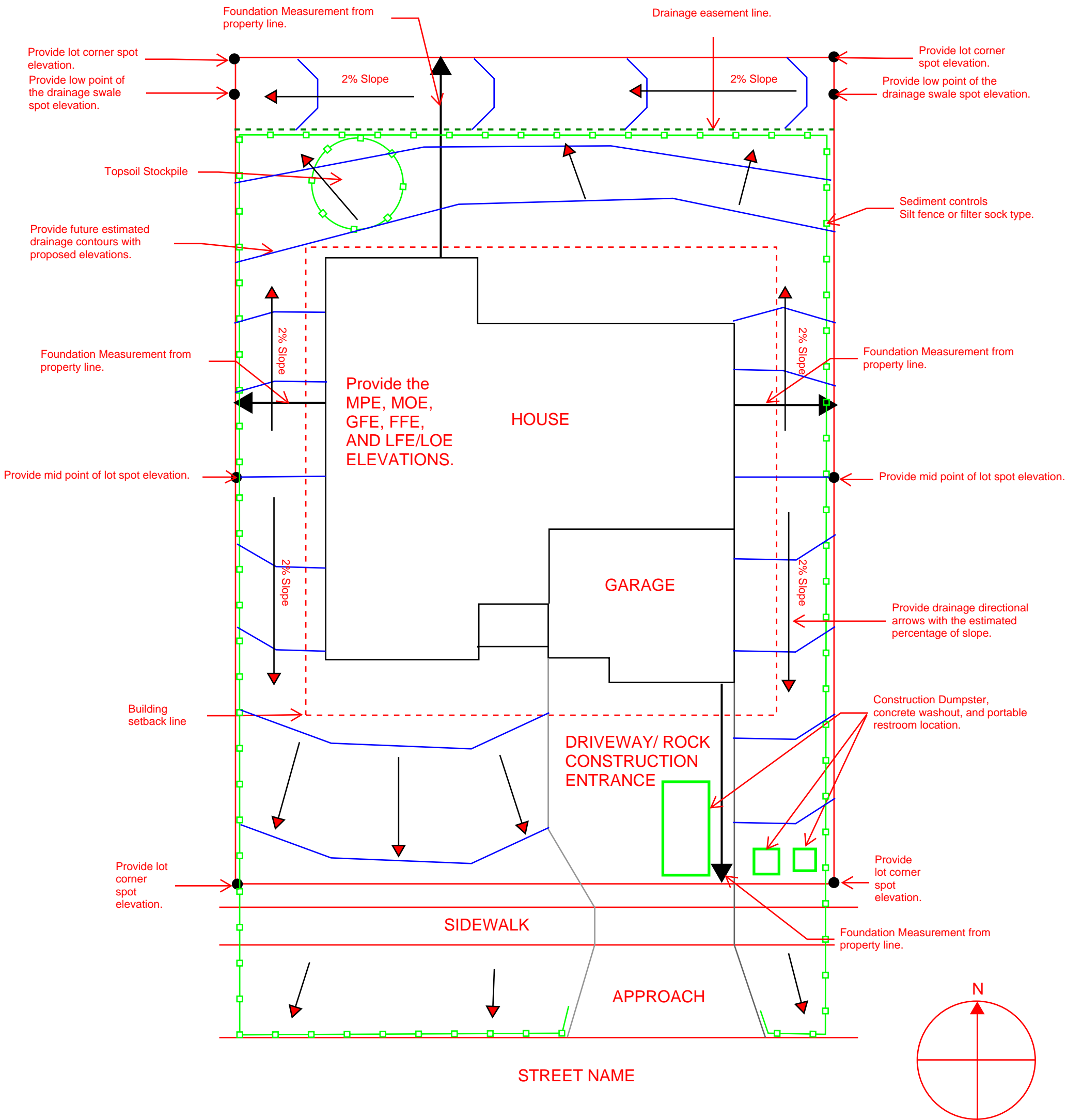
Note: Erosion and sediment control devices shall be installed and maintained in working order throughout this time frame.

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Sample Site Plan walkout/ daylight lot



Note: Erosion and sediment control devices shall be installed and maintained in working order throughout this time frame.

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The permit applicant's land surveyor shall provide a certified as-built grading plan to the City showing the as-built elevations of critical locations on the site as shown on the individual grading plan (including but not limited to the rear corners, the mid-point of the side yard lines, the front lot corners, overflow locations, and along the drainage ways and easements), sanitary sewer manholes, all storm water management facilities (including but not limited to detention areas, intakes, structures, sub-drain cleanouts, and flared end sections), and Minimum Protection Elevation (MPE) to verify compliance with the approved grading plan.

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