



101 NE Harvey, Grimes, Iowa 50111 515.986.3036 Fax 515.986.3846

CITY COUNCIL MEETING

Grimes City Hall
101 NE Harvey Street
February 9, 2016 at 5:30 pm

Mayor Thomas M. Armstrong

**City Council: Jill Altringer, Eric Johansen, Jeremy Hamp
Ty Blackford and Doug Bickford, City Administrator Kelley Brown
City Clerk Rochelle Williams, City Treasurer Deb Gallagher,
City Attorneys Tom Henderson, Erik Fisk, City Engineer John Gade**

Every member of the public and every Council Member desiring to speak shall address the presiding officer, and upon recognition by the presiding officer, shall confine comments to the question under debate, avoiding all indecorous language and references to personalities and abiding by the following rules of civil debate.

- We may disagree, but we will be respectful of one another
- All comments will be directed to the issue at hand
- Personal attacks will not be tolerated

GENERAL AGENDA ITEMS.

1. Call to Order
Pledge of Allegiance
2. Roll Call
3. Approval of the Agenda
4. Approval of the Consent Agenda (**Discussion is not allowed unless the Mayor or a City Council Member ask for an item to be removed and placed under Council actions for consideration**)
 - A. Minutes from previous meeting
 - B. Harn R/O System Inc. -\$3,000 (lease of reverse osmosis equipment trial)
 - C. Smith Fertilizer & Grain \$3,813.69 (deicer liquid for streets)
 - D. Iowa Storm Water Education Partnership \$3,257.91
 - E. Bascom Truck & Automotive \$7,248.64 (replace generator on fire vehicle 3730)
 - F. Central Pump and Motor, LLC \$2,505.16 (repair of Aurora pump)
 - G. Snyder & Associates, Inc. - \$8544.75 (professional services for city traffic signal communication network)
 - H. Hotsy Cleaning Systems - \$2,821.76 (installation supplies and labor on new Hotsy at public works building)
 - I. Municipal Supply – \$4,718.40 (water meters)
 - J. Hawkins Inc. - \$2,724 (chemical for processing at the water treatment plant)
 - K. Mississippi Lime Company -\$4,080 (Quicklime used at the water treatment plant)
 - L. Change Order #8 Concrete Technologies for the SE 19th Street Project increasing total project \$500 (addition of a sign and changes to quantities need for project)



101 NE Hawley, Grimes, Iowa 50111 515.986.3036 Fax 515.986.3846

- M. Approve Final Acceptance and Payment # 20 to Concrete Technologies for the SE 19th Street Improvements in the amount of \$30,000
- N. Payment #5 to Heritage at Grimes Plat 2 Phase 2 Little Beaver Creek Tributary Crossing by Jensen Construction Company - \$108,775
- O. Claims date February 9, 2016

PUBLIC AGENDA ITEMS Council may consider and potentially act on the following Public Agenda items.

- A. Heritage at Grimes Plat 4 Preliminary
- B. Grimes Mini Storage Site Plan
- C. Walmart Lot 2 Site Plan
- D. Casey's General Store Site Plan and Request for Waiver of Ordinance 165A.21
- E. Heritage DC-G Elementary Site Plan #4
- F. Public Hearing and Approval of Plans Specifications and Award of Contract for the Grimes Water/Wastewater improvements
- G. Discussion/presentation from Homeowner Requesting to Build a Tiny Home

PUBLIC FORUM

“Those people wishing to address the Council need to sign up on the sheet which has been provided on the table near the door. Each person will be allowed three minutes from the podium and may address no more than two issues per Grimes Rules of Procedure for Conduct of City Business – May 2005.”

COUNCIL ACTIONS

- A. Resolution 02-0116 Request to Refer back to Planning and Zoning Commission for a Determination and Recommendation on a Request from Caymus Park Holdings, LLC to rezone 22.9 acres from a Planned Unit Development with underlying zoning of R-3 Medium Multiple Family District which allows for the construction of single unit townhomes to a PUD that allows for R-3 Medium Multiple Family Districts and the construction of apartments.

COUNCIL DISCUSSIONS

- 1. Mayor's Report
 - a. Appointments
Board of Adjustment (1 open seat to fill the unexpired term of Dick Pipho until January 2020 and 1 for a new 5 year term)
- 2. City Attorney's Report
- 3. City Engineer's Report
- 4. City Staff Report
- 5. Old Business
- 6. New Business

ADJOURNMENT

CITY COUNCIL MEETING

Tuesday, January 26, 2016

Grimes City Hall 5:30 P.M.

The regular meeting of the Grimes City Council was called to order by Mayor Tom Armstrong on Tuesday, January 26, 2016 at 5:30 P.M. at the Grimes City Hall. The Pledge of Allegiance was led by Mayor Armstrong.

Roll Call: Present: Bickford, Johansen, Hamp Absent: Altringer, Blackford

GENERAL AGENDA ITEMS.

APPROVAL OF THE AGENDA

Mayor Armstrong asked for approval of the agenda with advising that the Life Saving Award would be later in the agenda due to an EMS call.

Moved by Bickford, Seconded by Johansen; the Agenda with the change requested by the Mayor shall be approved.

Roll Call: Ayes: All. Nays: None. Motion passes: 3 to 0.

Approval of the Consent Agenda

A.Minutes from previous meeting B.State Hygienic Laboratory - \$2,595.50 9 (water testing)
C.Harn R/O \$3,000 (Reverse Osmosis Pilot Program Lease) D.AECOM – Northwest Transportation Study - \$6,659.59 E.Kohles & Bach, Inc \$2,900 replace 2 motors on heaters at public works building
F.A&W Electric, Inc \$4,594.14 3 phase power lines and conduit to breaker panel for hot water pressure washer along with vent motor hookup and lift rental G.Municipal Supply Inc. - \$3,712 water meters purchase I. Finance Report for Dec 2015

H. Claims Report in the amount of \$331,097.99 (moved to Council Actions)

Moved by Bickford, Seconded by Johansen; the Consent Agenda shall be approved.

Roll Call: Ayes: All. Nays: None. Motion passes: 3 to 0.

Nov-15

	Beg Balance	Receipts	Expenses	Ending Balance
General Fund	2,718,660.69	328,535.62	502,312.78	2,544,883.53
Special Revenue Fund	2,035,532.50	171,116.20	116,893.57	2,089,755.12
Debt Service Capital Improvements	3,901,456.14	159,348.70	4,883.00	4,055,921.84
Enterprise Fund	5,484,677.17	1,520.88	734,027.10	4,752,170.95
Total	5,990,289.74	388,301.65	282,957.14	6,095,634.25
Total	20,130,616.23	1,048,823.05	1,641,073.59	19,538,365.69

Dec-15

	Beg Balance	Receipts	Expenses	Ending Balance
General Fund	2,783,107.74	985,592.58	576,068.94	3,192,631.38
Special Revenue Fund	2,089,755.12	123,428.73	16,540.24	2,196,643.61
Debt Service Capital Improvements	3,817,697.60	77,456.76	555,825.51	3,339,328.85
Total	4,752,170.95	77,902.62	415,841.59	4,414,231.98

Enterprise Fund	6,095,634.25	380,899.26	387,702.70	6,088,830.81
Total	19,538,365.66	1,645,279.95	1,951,978.98	19,231,666.63

6. Water and Wastewater Report

Andrew Wood of Grimes Water and Wastewater and US Water was present to update the Council. Wood advised that staff performed monthly inspections and completed the monthly preventative maintenance work on all water plant equipment. He added that the Harn Reverse Osmosis pilot study will be completed in April of 2016. Wood stated that four turbidimeters were delivered and installation began in December. He stated they were replacing equipment damaged during a water line break in the building. Wood stated that on December 12, 2015 Grimes experienced a 4.58 inch rain event that caused 330,000 gallons to be bypassed directly to Little Beaver Creek from the waste water treatment plant. He added the bypass was reported to the IDNR and included in the month operations report. Council Member Hamp asked if there were any check points on the reverse osmosis study. Wood advised that bi-weekly samples are sent to the Iowa Hygienic Labs and some of those reports are coming back now.

Life Savings Award to Firefighter Paramedic – Andrew Winter

Mayor Armstrong stated the following: “Tonight we would like to recognize Paramedic Andrew Winter with a life-saving award for extraordinary actions taken on December 27 during an ambulance ride to a Des Moines hospital. Paramedics were called to a Johnston home on the evening of December 27. A female at the residence was complaining of back pain. The woman went in to cardiac arrest shortly after the ambulance left the patients home, in route to the hospital. Paramedic Winter chose to initiate lifesaving actions while the ambulance continued in route to the hospital. This can be very difficult in a moving vehicle, but he felt time was of the essence. Thanks to his efforts, he was able to revive the patient before they even reached the hospital. That patient is alive today, thanks to the efforts for which he is being honored tonight. Congratulations.” Mayor Armstrong presented Winter with a Life Saving Award plaque.

PUBLIC AGENDA ITEMS

A.Presentation on draft of Walnut Creek Watershed Management Authority Plan – Patricia Boddy of RDG Planning and Design

Patricia Boddy of RDG Planning and Design reviewed with the Council a draft of the Walnut Creek Watershed Management Authority Plan. Dillon Mullenix of the Des Moines MPO was also present. Boddy provided maps showing the 53,000 acre area within the Walnut Creek Watershed which makes up 82.8 square miles. She added that Dallas Center, Grimes, Johnston, Clive and Windsor Heights are all in the watershed. Boddy provided information on the process they used to study the water shed which included assessments and looking at the watershed geography. She stated this included the topography, terrain, soil qualities, and change in land use. Boddy added that they also were looking for ways to control outflow rates and protection of top soils.

She reminded the Council this is a draft and they would be coming back again to the Council. Mayor Armstrong commented on the 37% increase in flows in the last 30 years. He stated that he understood that developers were not to cause detriment to streams and allow the same flows as before development. He went on to ask if we weren’t being effective enough with our storm water management. Boddy stated that was probably true. She added that the land use is changing along with weather changes. She

added that some of the data used is old numbers and new numbers are needed. Boddy stated there are changes in the topsoil which affect how things are calculated. She stated that they have organized a water shed authority of which Grimes is a part of. Boddy clarified that the water shed has no authority and it is all at the local level. She advised that at some point they would come back with a plan that we would have the chance to approve.

B.Presentation from Metro Waste Authority on Commingled Yard and Waste Collection – Leslie Irlbeck

Leslie Irlbeck the Program and Outreach Manager for Metro Waste Authority was present to provide information to the Council on commingling of yard and waste collection. Irlbeck discussed different options to manage yard waste from the curb, changes in legislation and environmental impact comparisons. She stated that no changes will be made to yard waste collection in 2016. Irlbeck added that Metro Waste will continue to collect feedback from City Councils which will aid the Metro Waste Board as they move forward on reviewing this issue. She encouraged the Council to have Grimes Board Representative Council Member Blackford relay any concerns or questions. Mayor Armstrong stated that the Council would continue discussion on this and possibly workshop the topic so that when Council Member Blackford votes on the Metro Waste Board he is voting the Grimes vote. Council Member Bickford asked if Metro Waste Authority wanted commingling. Michael McCoy, Interim Executive Director addressed the question. He stated that staff were looking at numbers. He added the board was mixed and was looking for direction from the Councils.

PUBLIC FORUM

No one addressed the Council

COUNCIL ACTIONS

A.Third Reading of Ordinance #651 Grimes Code of Ordinance 166A.04 adding section J. Residential Driveway Criteria

Moved by Bickford, Seconded by Johansen; the Third Reading of Ordinance #651 Grimes Code of Ordinances 166A.04 adding section J. Residential Driveway Criteria shall be approved.

Roll Call: Ayes: All. Nays: None. Motion passes: 3 to 0.

Moved by Bickford, Seconded by Hamp; Ordinance #651 shall receive its Final Passage.

Roll Call: Ayes: All. Nays: None. Motion passes: 3 to 0.

H. Claims Report in the amount of \$331,097.99 (moved from Consent Agenda)

Council Member Johansen stated that he appreciated the Council's indulgence in allowing him to address this item. He advised that he understood from a past resolution the City was allowed to spend money with local clubs on fundraisers. Council Member Johansen struggled with spending other people's money on fundraisers and that we possibly support some and not others.

Moved by Bickford, Seconded by Hamp; the claims report be approved.

Council Member Johansen asked if the Public Purpose could just be removed from the claims. Mayor Armstrong strong advised it could not be as that was a part of the claims. City Administrator Brown advised that we had acted in good faith according the resolution that had been passed and the public purpose bills had already been paid. Brown added that in the future the resolution could certainly be reviewed. Brown stated that she respected Council Member Johansen's position and tried to support all

organizations in town and that the money comes back around to the community. Council Member Johansen asked that they review this resolution for the future.
Roll Call: Ayes: All Nays: None. Motion passes: 3 to 0.

COUNCIL DISCUSSIONS

Mayors Report

Mayor Armstrong recommended the reappointed of Mike Grove to another 3 year term on the Public Health and Safety Board. Mayor Armstrong then recommended the appointment of Ann Haugland to the Library Board to fill the unexpired term of Aaron Chittenden until January of 2021.

City Attorney Report

No Report

City Engineer Report

No Report

City Staff Report

No Report

Old Business

None

New Business

None

Adjourn.

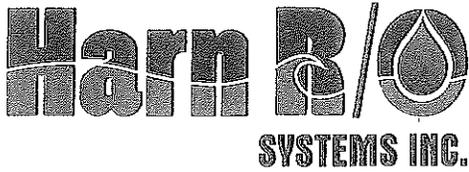
Moved by Hamp; Seconded by Bickford; there being no further business, the meeting shall be adjourned at 6:46 p.m.

Roll Call: Ayes: All. Nays: None. Motion passes: 3 to 0.

ATTEST:

Rochelle Williams, City Clerk

Thomas M. Armstrong, Mayor



MEMBRANE WATER TREATMENT SYSTEMS

RECEIVED JAN 26

Harn R/O Systems, Inc.

310 Center Court
Venice, FL 34285
(941) 488-9671

INVOICE NUMBER: 1773-IN
INVOICE DATE: 1/21/2015
CUSTOMER NO: WAS001
CUSTOMER PO: W2015-0528
JOB NUMBER: 15-2146C
TERMS: NET 30

BILL TO: City of Grimes, IA
101 NE Harvey
Grimes, IA 50111

SHIP TO: Grimes WTP
1801 N. James Street
Grimes, IA 50111

DESCRIPTION:

AMOUNT

RO System Pilot Lease
Per signed proposal dated 7/1/15 and Grimes project # W2015-0528
Start-up date: 8/20/2015
Lease period: Minimum 3 months

6th Monthly Installment
Monthly Lease: 1/20/16 – 02/19/16

3,000.00

CC App 29-16

TOTAL DUE \$ 3,000.00

Payment Terms are Net 30 days. 1.5% will be charged each month on past due invoices.

P.O. No. _____

CITY OF GRIMES

17217

101 N. Harvey, Grimes, IA 50111 phone: 515-986-3036 fax: 515-986-3846

PURCHASE REQUEST/PURCHASE ORDER

Source/Supplier Horn R/O systems
Name

310 Center Court, Venice, FL 34285
Address

941-488-9671
Phone Number/Fax Number

ITEMS	QTY	UNIT PRICE	TOTAL
R.O. Lease	1	3,000.00	3,000.00

PURCHASE JUSTIFICATION: _____

600-5-810-6504

DEPARTMENT: Water

LINE ITEM: _____

BEGINNING BUDGET BALANCE: _____

ENDING BUDGET BALANCE: _____

PURCHASE REQUESTED BY: A. Wood DATE: 1-26-2016

PURCHASE ORDER APPROVAL AND ASSIGNMENT

Kelley Brown
Kelley L. Brown City Administrator/Clerk

1-26-16
Date

CC App 2-10-16
Council Approval date: (if over \$2500)

- Purchaser's Copy
- Vendor's Copy
- File Copy

SMITH FERTILIZER & GRAIN
 '02 EAST JASPER
 PLEASANTVILLE, IA 50225
 515-848-5000



SMITH FERTILIZER & GRAIN

Charge
 Invoice #: 4 004633
 Date: 01/20/2016
 Page: 1 of 1

RECEIVED JAN 26

Bill To - CITGRI

Ship To - CITGRI

CITY OF GRIMES
 ATTN: BLAKE PUTNEY
 101 NE HARVEY STREET
 GRIMES, IA 50111-0000

CITY OF GRIMES
 ATTN: BLAKE PUTNEY
 101 NE HARVEY STREET
 GRIMES, IA 50111-0000

Phone #: 515-986-9636

Exp Date: 12/30/2014

Item	Description	U/M	Tot Qty	Split %	Billed Qty	Unt Price	Extended	T
BEETS+	(B/L# P1527 ST# P7800 SFG DELIVERED) BEET S+	GAL	4767.100	100.000	4767.100	.8000	3813.68	

*PO Pk
 CC App 2-9-16*

Sales rep: JAMIE
 ACCOUNTS NOT RECEIVED BY THE 15TH WILL BEAR
 A 2% FINANCE CHARGE PER MONTH (MINIMUM
 FINANCE CHARGE OF \$10.00).

Subtotal	3813.68
Sales Tax	.00
Discount	0.00
Total	3813.68

STRAIGHT BILL OF LADING - SHORT FORM

NOTICE: Shippers of hazardous materials must enter 24-hour emergency response telephone number under "Emergency Response Phone Number."

Date 1-20-16

Bill of Lading No. P1527

Original—Not Negotiable

SFC
(Name of Carrier)

Shipper No. _____

Carrier No. _____

TO: Consignee <u>CALY OF GMMOS</u>		FROM: Shipper <u>Smith Fertilizer & Grain</u>	
Street <u>901 NE Main St.</u>		Street <u>702 E. Jasper</u>	
Destination <u>GMMOS, IA</u> Zip Code <u>50111</u>		Origin <u>Pleasantville, IA 50257</u> Zip Code _____	
Route: _____	Vehicle No. _____	SCAC _____	Emergency Response Phone Number _____

No. Shipping Units	+HM	Kind of Packaging, Description of Articles Special Marks and Exceptions	Commodities requiring special or additional care or attention in handling or stowing must be so marked and packaged as to ensure safe transportation with ordinary care. See Section 2(e) of National Motor Freight Classification, Item 36D.	Weight (Subject to Correction)*	Rate or Class	CHARGES
1762.1		god Boot SF ST# P1800				

If the shipment moves between two ports by a carrier by water, the law requires that the bill of lading state whether weight is "carrier's or shipper's weight".	REMIT C.O.D. TO: ADDRESS	C.O.D. Amt. \$	C.O.D. FEE: PREPAID <input type="checkbox"/> COLLECT <input type="checkbox"/> \$	TOTAL CHARGES: \$
	Note—Where the rate is dependent on value, shippers are required to state specifically in writing the agreed or declared value of the property. The agreed or declared value of the property is hereby specifically stated by the shipper to be not exceeding \$ _____ per _____.			FREIGHT CHARGES Check Appropriate Box: <input type="checkbox"/> Freight prepaid <input type="checkbox"/> Collect
Subject to Section 7 of the conditions, if this shipment is to be delivered to the consignee without recourse on the consignor, the consignor shall sign the following statement. The carrier shall not make delivery of this shipment without payment of freight and all other charges.		_____ (Signature of Consignor)		

RECEIVED, subject to the classifications and lawfully filed tariffs in effect on the date of the issue of this Bill of Lading, the property described above in apparent good order, except as noted (contents and condition of contents of packages unknown), marked, consigned, and destined as indicated above which said carrier (the word carrier being understood throughout this contract as meaning any person or corporation in possession of the property under the contract) agrees to carry to its usual place of delivery at said destination, if on its route, otherwise to deliver to another carrier on the route to said destination. It is mutually agreed as to each carrier of all or any of, said property over all or any portion of said route to destination and as to each party at any time interested in all or any of said property, that every service to be performed hereunder shall be subject to all the terms and conditions of the Uniform Domestic Straight Bill of Lading set forth (1) in Uniform Freight Classifications in effect on the date hereof, if this is a rail or a rail-water shipment or (2) in the applicable motor carrier classification or tariff, if this is a motor carrier shipment. Shipper hereby certifies that he is familiar with all the terms and conditions of the said bill of lading, set forth in the classification or tariff which governs the transportation of this shipment, and the said terms and conditions are hereby agreed to by the shipper and accepted for himself and his assigns.

Mark with "RD" if appropriate to designate Hazardous Materials as defined in the U.S. Department of Transportation Regulations governing the transportation of hazardous materials. The use of this column is optional method for identifying hazardous materials on Bills of Lading per 172.201(a)(1) (ii) of Title 49 Code of Federal Regulations. Also when shipping hazardous materials, the shipper's certification statement described in section 172.204(e) of the Federal Regulations, as indicated on the Bill of Lading does apply, unless a specific exception from the requirement is provided in the Regulation for a particular material.

The format and content of hazardous item list is the responsibility of individual company interpretation of requirements as described in 49 Code of Federal Regulations 172, Subpart C-Shipping Papers. Such description consists of the following per Sections 172.201 [Hazardous Material Table] and Sections 172.202 and 172.203: Proper shipping name, hazardous class, UN identification number, packing group, and subsidiary class(es).

Note: Liability limitation for loss or damage in this shipment may be applicable. See 49 United States Code, Sections 14706(c) (1)(A) and (B).

HIPPER	CARRIER
ER	PER

This is to certify that the above named materials are properly classified, packaged, marked, and labeled, and are in proper condition for transportation according to the applicable regulations of the U.S. Department of Transportation.

Carrier acknowledges receipt of packages and any required placards. Carrier certifies emergency response information was made available and/or carrier has the U.S. Department of Transportation emergency response guidebook or equivalent documentation in the vehicle. Property described above is received in good order, except as noted.

1-4633

P.O. No. _____

17270

CITY OF GRIMES

101 N. Harvey, Grimes, IA 50111 phone: 515-986-3036 fax: 515-986-3846

PURCHASE REQUEST/PURCHASE ORDER

Source/Supplier

SFG

Name

702 E Jasper Pleasantville IA 50225

Address

Phone Number/Fax Number

ITEMS

QTY

UNIT PRICE

TOTAL

Deicer liquid

4,767 gal

\$0.90

\$3813.68

PURCHASE JUSTIFICATION:

Deicer / pretreat / prewet liquid for snow removal

DEPARTMENT:

streets - snow removal

LINE ITEM:

BEGINNING BUDGET BALANCE:

ENDING BUDGET BALANCE:

PURCHASE REQUESTED BY:

David Siler

DATE:

1-26-16

PURCHASE ORDER APPROVAL AND ASSIGNMENT

Kelley Brown

1-26-16

Kelley L. Brown City Administrator/Clerk *eb*

Date

Council Approval date: (if over \$2500)

2-9-16

Purchaser's Copy

Vendor's Copy

File Copy

INVOICE

Iowa Storm Water Education Partnership
FEIN: 81-1051097

DATE: 1/25/16
1615



PO Box 1826
Ames, IA 50010
Ph: 515-210-6619

BILL TO:

City of Grimes
Attn: Scott Clyce
101 NE Harvey Street
Grimes, IA 50111

DESCRIPTION	AMOUNT
2016 Stormwater Educational Resource Program	\$3,257.91
TOTAL DUE	\$3,257.91

Total Amount Due Upon Receipt

Please make checks payable and remit to:

ISWEP

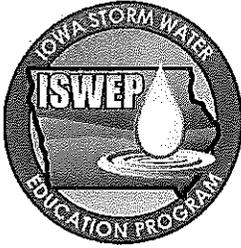
**PO Box 1826
Ames, IA 50010**



Please note: NEW ADDRESS FOR PAYABLE REMITTANCE

Please contact Pat Sauer with questions
(515)210-6619 or psauer@iowastormwater.org

Thank you for your continued membership!



PO Box 1826
Ames, IA 50010

Iowa Storm Water Education Partnership

PH: 515-210-6619

TO: ISWEP Education Program Members
FROM: Brian Stineman, Chair, ISWEP Board of Directors
DATE: January 23, 2016
RE: ISWEP Update & Invoice

Greetings from ISWEP! As many of you know, we have undergone a few changes already in 2016. ISWEP is now an official nonprofit organization. On January 20th the board of directors of this newly formed entity, the Iowa Stormwater Education Partnership, met and approved corporate by-laws, elected officers, approved the 2016 budget, hired an Executive Director and contracted with the Eastern Iowa Coordinator.

The officers of the board are as follow: Brian Stineman (Davenport) Chair, Matt Greiner (Johnston) Vice-Chair, Tracy Warner (Ames) Treasurer and Jenny Corkrean (Waukee) Secretary. The remainder of the board consists of Mark Augustine (Council Bluffs), Darice Baxter (University of Iowa), Amy Bryant (Ankeny), Steve Cooper (Marion), Dan Holderness (Coralville), Karen Oppelt (Altoona), and Phillip Schuppert (Waterloo).

We want to assure you, everything with ISWEP is staying the same except:

- We are no longer co-located at the Iowa Association of Municipal Utilities (IAMU) and our association with this organization has ended.
- To reflect how the organization has grown since 2005 the word "Partnership" has replaced the word "Program" in the ISWEP acronym.

At the initial board meeting, the board voted unanimously to hire Pat Sauer as Executive Director. Pat accepted this position, which means excellent leadership for the organization will continue. The board contracted with Stacie Johnson to assist Pat with programming and coordinating the needs of our Eastern Iowa members. They both looking forward to serving your stormwater education, outreach and training needs. As a group, we are looking forward to staying up to date and working together to address proposed or pending state and federal regulatory and legislative stormwater issues, and provide our members with the best resources and programing available.

Our first ISWEP meeting of 2016 is February 17 from 1:30 pm – 3:30 pm at the Ankeny Public Services Building at for Central Iowa members and February 18 from 1:00 pm – 3:00 pm at the Iowa City Water Treatment Plant. If you would like to meet with the board however, we will all be at the February 17 meeting in Ankeny. As always, we look forward to networking during the "toolbox" meeting.

Please do not hesitate to contact Pat Sauer or myself with questions or concerns. Thank you for your continued membership and support of the Iowa Stormwater Education Partnership.

Brian Stineman	bstineman@ci.davenport.ia.us	563-888-2173
Pat Sauer	psauer@iowastormwater.org	515-269-1999



ISWEP MS4 Education Program MEMBERSHIP ENROLLMENT FORM

With the newly formed non-profit organization, the ISWEP board of directors designated two levels of membership, one with voting rights and another without. The MS4 Education Program is a full membership program with voting rights. The contact and alternative contact provided on this form are the designated voting representative for your organization. *Membership dues are paid on a calendar year basis (January through December) unless requested otherwise.*

Please complete this form, save as pdf and return to Pat Sauer at psauer@iowastormwater.org

Organization: City of Grimes

Contact: Scott Clyce

Title: Building Official

Address: 101 NE Harvey St.

City/State/Zip: Grimes, Iowa 50111

Phone: 515-986-3036 E-mail: sclyce@ci.grimes.ia.us

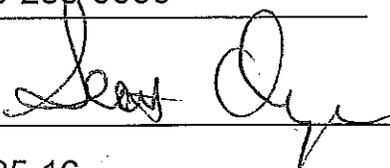
Alternative Contact: Brandt Williamson

Title: Storm Water Engineer

Address: 414 South 17th St STE 107

City/State/Zip: Ames, Iowa 50010

Phone: 515-233-0000 E-mail: sbw@foxeng.com

Signature: 

Date: 01-25-16

We appreciate your continued support and membership.

RECEIVED JAN 2 2

BASCOM TRUCK & AUTOMOTIVE
 6645 N.E. 14TH STREET
 DES MOINES, IA 50313
 (515) 289-4545

CC Approval
 2-9-16



PART #	DESCRIPTION	MECHANIC/WORK		
repair hyd. generato Generator			7214.78	Group Total
G60401-0004	1@ 1.60 1.60 fitting	JSB	1.32hrs @ 95.00/hr	125.40
G60402-0004	1@ 2.00 2.00 fitting			
G60410-0606	1@ 2.61 2.61 fitting	MRS	8.15hrs @ 95.00/hr	774.25
G60401-0006	2@ 1.54 3.08 fitting			
ElitePower	1@ 5338.89 5338.89 Rebuild Generator	RHM	6.73hrs @ 95.00/hr	639.35
STP132HC	7@ 1.09 7.63 terminal			
C10ER	25@ 0.70 17.50 Wire	SGH	1.62hrs @ 95.00/hr	153.90
CL4S	25@ 0.36 9.00 Loom			
HST10	2@ 1.61 3.22 heat shrink			
SST81	4@ 0.57 2.28 connector			
S654	1@ 17.79 17.79 pig tail			
STP125H	2@ 1.37 2.74 terminal			
STP131HC	5@ 1.41 7.05 Terminal			
TA233	1@ 11.53 11.53 fuse holder			
C84385	1@ 0.41 0.41 Teks Screw			
R683	1@ 21.10 21.10 Relay			
TA233	1@ Relay Harness			
81106-1	27@ 0.17 4.59 Cable Tie			
BR325	1@ 9.51 9.51 circuit breaker			
39056	6@ 0.66 3.96 bolt			
39727	6@ 0.20 1.20 washer			
36752	18@ 0.29 5.22 washer			
39603	13@ 0.23 2.99 nut			
HST240B	1@ 9.06 9.06 heat shrink			
STP132HC	1@ 1.09 1.09 terminal			
CL4S	4@ 0.36 1.44 split loom			
HST81R	2@ 7.61 15.22 heat shrink			
STP129H	2@ 1.43 2.86 terminal			
STP139	2@ 0.37 0.74 terminal			
C12ER	2@ 0.50 1.00 wire			
81104-1	10@ 0.10 1.00 cable tie			
C12EB	2@ 0.50 1.00 wire			
28442	1@ 4.33 4.33 hose			
STP139	4@ 0.37 1.48 Connector			
C12ER	2@ 0.50 1.00 Wire			
DS-1325	1@ 5.76 5.76 warning light			

WE RECOMMEND THE FOLLOWING REPAIRS

I, the Registered Owner, authorizes you to perform the above repairs and furnish all materials and include any necessary sublet work in the above estimate. I understand any cost quoted heretofore is an estimate only. Your employees may operate vehicle for inspection, testing, delivery at my risk. You will not be responsible for loss or damage to vehicle or articles left in it. I agree to pay reasonable storage on vehicle left more than 48 hrs. after notification that repairs are completed. An express mechanic's lien is acknowledged on above vehicle to secure the amount of repairs thereto, to including those from any prior work or repair contract on this vehicle. In the event an attorney is retained to foreclose this lien or to bring suit for collection of any sums due. I agree to pay costs of collection of any sum due. I agree to pay costs of collection and reasonable attorney fees. Receipt of a copy of this order is hereby acknowledged.

WE APPRECIATE THE OPPORTUNITY TO SERVE YOU

Charged

*** SEE NEXT PAGE ***

SIGNED _____
 CUSTOMER SIGNATURE

BASCOM TRUCK & AUTOMOTIVE
6645 N.E. 14TH STREET
DES MOINES, IA 50313
(515) 289-4545



PART #	DESCRIPTION	MECHANIC/WORK
--------	-------------	---------------

Parts Sub-Total	5521.88	Labor Sub-Total	1692.90
------------------------	----------------	------------------------	----------------

Checked the hydraulic generator. Found that it was bad. Installed a new generator. The new generator has a new circuit that needs to be added for the cooling fans. Added a circuit using a relay. Ran the 12v from the battery to the relay and then hooked up relay to run power to fans with the generator turned on. Installed and wired a warning light on the left side of the operator panel that indicates that the cooling fans are powered on. Checked the operation, and everything is working correctly.

WE RECOMMEND THE FOLLOWING REPAIRS

I, the Registered Owner, authorizes you to perform the above repairs and furnish all materials and include any necessary sublet work in the above estimate. I understand any cost quoted heretofore is an estimate only. Your employees may operate vehicle for inspection, testing, delivery at my risk. You will not be responsible for loss or damage to vehicle or articles left in it. I agree to pay reasonable storage on vehicle left more than 48 hrs. after notification that repairs are completed. An express mechanic's lien is acknowledged on above vehicle to secure the amount of repairs thereto, to including those from any prior work or repair contract on this vehicle. In the event an attorney is retained to foreclose this lien or to bring suit for collection of any sums due. I agree to pay costs of collection of any sum due. I agree to pay costs of collection and reasonable attorney fees. Receipt of a copy of this order is hereby acknowledged.

SIGNED _____
 CUSTOMER SIGNATURE

WE APPRECIATE THE OPPORTUNITY TO SERVE YOU

PARTS	5521.88
LABOR	1692.90
SHOP SUPPLIES	33.86
<< NO TAX >>	
TOTAL INVOICE #	7248.64

Charged

P.O. No. _____

CITY OF GRIMES

17252

101 N. Harvey, Grimes, IA 50111 phone: 515-986-3036 fax: 515-986-3846

PURCHASE REQUEST/PURCHASE ORDER

Source/Supplier Boscom Truck & Automotive
Name

Address _____

Phone Number/Fax Number _____

ITEMS	QTY	UNIT PRICE	TOTAL
Replace Generator on	3730		\$7248 ⁶⁴

PURCHASE JUSTIFICATION: _____

DEPARTMENT: Fire

LINE ITEM: 001-5-150-6332

BEGINNING BUDGET BALANCE: _____

ENDING BUDGET BALANCE: _____

PURCHASE REQUESTED BY: [Signature] DATE: 1-22-16
PURCHASE ORDER APPROVAL AND ASSIGNMENT

Kelley Brown _____ 1-26-16
Kelley L. Brown City Administrator/Clerk Date

2-9-16
Council Approval date: (if over \$2500)

- Purchaser's Copy
- Vendor's Copy
- File Copy



Central Pump & Motor, LLC

5152-B NE 12th Avenue
Pleasant Hill, IA 50327

515-412-1738

lisa@centralpumpiowa.com

Invoice

Date	Invoice #
1/25/2016	2150

Bill To
City of Grimes 101 Harvey Street Grimes, IA 50111

P.O. No.	Terms	Due Date	Project
	Net 30	2/24/2016	

Quantity	Description	Rate	Amount
	Repair of Aurora pump, #10-1996309, 6X6X6, Type: 364A-BP at the booster station.		
	Parts including gasket, retaining ring, capscrew, o-ring, clamp, packing, bearings, grease seal	362.86	362.86
	Labor, trip charges, mileage	1,105.00	1,105.00
	Machining of shaft and bore impeller	1,012.50	1,012.50
	Miscellaneous	1.00%	24.80
	Installed 1/22/16.		
<i>CC App 2-9-16</i>			
Total			\$2,505.16

P.O. No. _____

17223

CITY OF GRIMES

101 N. Harvey, Grimes, IA 50111 phone: 515-986-3036 fax: 515-986-3846

PURCHASE REQUEST/PURCHASE ORDER

Source/Supplier Central Pump & Motor
Name

Address _____

Phone Number/Fax Number _____

ITEMS	QTY	UNIT PRICE	TOTAL
<u>Pump Rebuild</u>			<u>2565.16</u>

PURCHASE JUSTIFICATION: Rebuild and laser align of Booster pump #3

DEPARTMENT: 665-5-810-6310

LINE ITEM: _____

BEGINNING BUDGET BALANCE: _____

ENDING BUDGET BALANCE: _____

PURCHASE REQUESTED BY: Andrew Wood DATE: 1-22-16
PURCHASE ORDER APPROVAL AND ASSIGNMENT

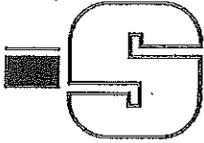
Kelley Brown
Kelley L. Brown City Administrator/Clerk

1-27-16
Date

CC App 2-9-16
Council Approval date: (if over \$2500)

- Purchaser's Copy
- Vendor's Copy
- File Copy

RECEIVED FEB - 1



ENGINEERS & PLANNERS
SNYDER & ASSOCIATES, INC.

IOWA | MISSOURI | NEBRASKA | SOUTH DAKOTA | WISCONSIN

INVOICE FOR PROFESSIONAL SERVICES

January 29, 2016

Kelley Brown
City of Grimes
101 N Harvey Street
Grimes, IA 50111

Invoice No: 115.0756.01 - 3

Project 115.0756.01 City Traffic Signal Communication Network

Professional Services through December 31, 2015

Engineer submitted final plans and started creating coordination timings.

**Phase 1- Design
Lump Sum Fees**

	Contract Amount	% Compl	Total Billed to Date	Previous Billed	Current Billed
Design Services	22,500.00	100.00	22,500.00	14,625.00	7,875.00
Total Fee	22,500.00		22,500.00	14,625.00	7,875.00
Total Fee					7,875.00
Phase Subtotal					\$7,875.00

Phase 3- Coordinated Signal Timings

	Hours	Rate	Amount
Technician II	14.25	47.00	669.75
Total Services	14.25		669.75
Billing Limits	Current	Prior	To-Date
Total Billings	669.75	2,469.00	3,138.75
Limit			15,000.00
Remaining			11,861.25
Phase Subtotal			\$669.75

Construction Administration

310-5750-6781 ✓
cc 2-9-16

Project	115.0756.01	Grimes-CityTrafficSignalCommNetwork	Invoice	3
Billing Limits		Current	Prior	To-Date
Total Billings		0.00	0.00	0.00
Limit				17,500.00
Remaining				17,500.00
			Phase Subtotal	0.00

Amount Due this Invoice \$8,544.75

Billings to Date	Total	Prior	Current
	25,638.75	17,094.00	8,544.75

Snyder & Associates, Inc.



Todd Knox



Invoice

Remit to:
 Hotsy Cleaning Systems
 3100 - 101st Street
 Des Moines, IA 50322
 5152788800

RECEIVED FEB - 1

CC 29-16

Invoice Number: 0164793-IN
 Invoice Date: 1/28/2016

Salesperson:
 Customer Number: GRI004

Sold To:
 GRIMES, CITY OF
 101 N Harvey
 GRIMES, IA 50111

Ship To:
 GRIMES, CITY OF
 101 N Harvey
 GRIMES, IA 50111

Confirm To:
 Blake

Customer P.O.	Ship VIA	Terms				
Blake	DELIVER	Net due on Receipt				
Item Number	Description	Ordered	Shipped	B/O	Price	Amount
5600M10X54	SOFTENER Meterd 48k*red MT/blk	1.000	1.000	0.000	923.00	923.00
32-312	NIPPLE EL 5/8H X 3/4MPT	2.000	2.000	0.000	9.56	19.12
350-008	CLAMP MINI 7/16- 1"	4.000	4.000	0.000	1.02	4.08
350-006	CLAMP MINI 5/16-7/8" SS	1.000	1.000	0.000	0.87	0.87
121087-1	HOSE BYPASS/INLET 1/2 RED* ft	8.000	8.000	0.000	1.13	9.04
87047690-1	HOSE GP 5/8id *ultraflex/foot	6.000	6.000	0.000	2.10	12.60
REEL STAND	STAND pedestal 30" w/powdercoa	2.000	2.000	0.000	160.00	320.00
89194340	BRACKET base mt. Hotsy pivot r	2.000	2.000	0.000	44.25	88.50
*SALT		2.000	2.000	0.000	8.00	16.00
89119520	BRACKET REEL OFFSET NEW900/140	1.000	1.000	0.000	120.06	120.06
NOR165VERT	TANK 165 GAL VERT.31 x 55"	1.000	1.000	0.000	0.00	0.00
	N/C soap tank property of Hotsy					
STAND-772	Stand 18" for 772*32 1/8"ld x	1.000	1.000	0.000	260.00	260.00
RB20034	BUSH RED 2 X 3/4 NYLON	1.000	1.000	0.000	7.64	7.64
RB-3414	BUSH RED 3/4 X 1/4 NYLON	1.000	1.000	0.000	4.08	4.08
90FMB14	Valve ball 1/4 m x f	1.000	1.000	0.000	13.30	13.30
971408	VALVE BALL 1/2" 600WOG	1.000	1.000	0.000	27.30	27.30
32-311	NIPPLE EL 1/2H X 1/2MPT	2.000	2.000	0.000	6.00	12.00
28-134	NIPPLE 1/2" CLOSE BRASS	1.000	1.000	0.000	2.58	2.58
28-027	TEE 1/2" BRASS	1.000	1.000	0.000	11.93	11.93
32-017	NIPPLE HOSE 1/2H X 1/2MPT	1.000	1.000	0.000	2.93	2.93
28-214	NIPPLE 1/2" HEX BR.	1.000	1.000	0.000	3.98	3.98
28-224L	NIPPLE RED. 1/2 X 3/8 BRASS	1.000	1.000	0.000	3.68	3.68
971405	VALVE BALL 1/4" BRASS	2.000	2.000	0.000	11.47	22.94
28-212	NIPPLE 1/4" HEX BR.	3.000	3.000	0.000	1.65	4.95
28-025	TEE 1/4" BRASS	2.000	2.000	0.000	4.88	9.76
32-005	NIPPLE HOSE 1/4H X 1/4MPT	3.000	3.000	0.000	1.30	3.90
350-005	CLAMP MINI 7/16-11/16" SS	2.000	2.000	0.000	1.53	3.06
350-006	CLAMP MINI 5/16-7/8" SS	2.000	2.000	0.000	0.87	1.74
121034-1	HOSE VINYL REINF 1/4*per foot*	18.000	18.000	0.000	0.38	6.84
*OUTSIDE MAT		1.000	1.000	0.000	20.00	20.00

#1,036.00 - All dpt. usage
 1,085.76 - Street

Continued



Invoice

Remit to:
 Hotsy Cleaning Systems
 3100 - 101st Street
 Des Moines, IA 50322
 5152788800

Invoice Number: 0164793-IN
 Invoice Date: 1/28/2016

Salesperson:
 Customer Number: GRI004

Sold To:
 GRIMES, CITY OF
 101 N Harvey
 GRIMES, IA 50111

Ship To:
 GRIMES, CITY OF
 101 N Harvey
 GRIMES, IA 50111

Confirm To:
 Blake

Customer P.O.	Ship VIA	Terms				
Blake	DELIVER	Net due on Receipt				
Item Number	Description	Ordered	Shipped	B/O	Price	Amount
FW-BULK	FLEETWASH BULK/GAL*check gallo	148.000	148.000	0.000	7.00	1,036.00
LABOR HOUSE	labor on stand GS	1.000	1.000	0.000	90.00	90.00

install soap tank and softener

Net Invoice: 2,821.76
 Less Discount: 0.00
 Freight: 0.00
 Sales Tax: 0.00
Invoice Total: 2,821.76

P.O. No. _____

17176

CITY OF GRIMES

101 N. Harvey, Grimes, IA 50111 phone: 515-986-3036 fax: 515-986-3846

PURCHASE REQUEST/PURCHASE ORDER

Source/Supplier Hotsy Cleaning Systems
Name

3100 101st Des Moines Ia 50322
Address

Phone Number/Fax Number _____

ITEMS	QTY	UNIT PRICE	TOTAL
-------	-----	------------	-------

Invoice # 0164793 -INV.

2,821⁷⁶

PURCHASE JUSTIFICATION: Installation supplies and labor on new Hotsy @ new shop. * (1,036⁰⁰ is for bulk Fleet wash for truck @ streets, Parks, and water plant)

DEPARTMENT: Streets (Parks and water plant)

LINE ITEM: _____

BEGINNING BUDGET BALANCE: _____

ENDING BUDGET BALANCE: _____

PURCHASE REQUESTED BY: [Signature] DATE: 2-5-16
PURCHASE ORDER APPROVAL AND ASSIGNMENT

[Signature]
Kelley L. Brown City Administrator/Clerk ⁰⁰

2-5-16
Date

Council Approval date: (if over \$2500)

- Purchaser's Copy
- Vendor's Copy
- File Copy



MUNICIPAL SUPPLY, INC.

Municipal, Contractor, and Industrial Supplies

1550 N.E. 51st Avenue Des Moines, Iowa 50313
 PH: (515) 262-1300 FAX: (515) 262-6662
 WATS (800) 747-2025

INVOICE NUMBER: 0613162-IN
 INVOICE DATE: 1/20/2016

ORDER NUMBER:
 ORDER DATE:
 SHIP DATE: 1/15/2016
 SALESPERSON: C. ALAN BURNHAM
 CUSTOMER NO: 10-GRIMES

RECEIVED JAN 22

SOLD TO:
CITY OF GRIMES
 101 N E HARVEY
 GRIMES, IA 50111

SHIP TO:
CITY OF GRIMES
 101 N E HARVEY
 GRIMES, IA 50111

BUYER:

CUSTOMER P.O. JAKE	JOB NAME	SHIP VIA AL	TERMS NET 30 DAYS
-----------------------	----------	----------------	----------------------

ITEM NO.	UNIT	ORDERED	SHIPPED	BACK ORD	PRICE	AMOUNT
C23XXXXG1GAXX 2" C2 OMNI COMP MTR 1000G 15 1	EACH	3.00	3.00	0.00	1,432.000	4,296.00
SM50535200005 IPERL 25' 3W COMM CABLE	EACH	15.00	0.00	15.00	0.000	0.00
CF31-77NL 2" NL BRONZE MTR FLANGE TAPT 2	EACH	6.00	6.00	0.00	63.700	382.20
75C300BSQ0Z 3/4" X 3" PLTD SQ HEAD BOLT	EACH	12.00	12.00	0.00	1.700	20.40
75CNFHB 3/4" BRASS FINISH HEX NUT	EACH	12.00	12.00	0.00	1.650	19.80

ORDER# 465606

CC App 2.9.16

A SERVICE CHARGE OF 1 1/2% WITH A MINIMUM OF \$1.00 PER MONTH
 WILL BE CHARGED ON ALL PAST DUE ACCOUNTS.

Net Invoice:	4,718.40
Freight:	0.00
Sales Tax:	0.00
Invoice Total:	4,718.40

P.O. No. _____

17229

CITY OF GRIMES

101 N. Harvey, Grimes, IA 50111 phone: 515-986-3036 fax: 515-986-3846

PURCHASE REQUEST/PURCHASE ORDER

Source/Supplier Municipal Supply Inc
Name

1550 N.E. 51st Avenue, Des Moines, IA. 50313
Address

515-262-1300/515-262-6662
Phone Number/Fax Number

ITEMS	QTY	UNIT PRICE	TOTAL
Omni Meters	3	1,432.00	4,296.00
2" Meter Flange	6	63.70	382.20
Sq Head Bolt	12	1.70	20.40
Hex Nut	12	1.65	19.80

PURCHASE JUSTIFICATION: _____ Total 4,718.40

600-5-810-6350-3

DEPARTMENT: Water

LINE ITEM: _____

BEGINNING BUDGET BALANCE: _____

ENDING BUDGET BALANCE: _____

PURCHASE REQUESTED BY: J. Solsma DATE: 1-28-2016
PURCHASE ORDER APPROVAL AND ASSIGNMENT

Kelley Brown _____ 1-28-16
Kelley L. Brown City Administrator/Clerk *clg* Date

2-9-16
Council Approval date: (if over \$2500)

- Purchaser's Copy
- Vendor's Copy
- File Copy



Hawkins, Inc.
2381 Rosegate
Roseville, MN 55113
Phone: (612) 331-6910

INVOICE

RECEIVED JAN 25

Sold To: 117729
City of Grimes
101 N Harvey St
Grimes IA 50111

Total Invoice **\$2,724.00**
Invoice Number/Type 3827110 RI
Invoice Date 1/18/16
Sales Order Number/Type 2030795 SL
Branch Plant 58073
Shipment Number 1841730

Ship To: 135451
City of Grimes
Water Treatment Plant
7850 NW 128th St
Grimes IA 50111

Net Due Date	Terms	FOB Description	Ship Via	Customer P.O.#	P.O. Release	Sales Agent #
2/17/16	Net 30	PPD Origin	HWTG	Water Plant		073

Line #	Item Number Cust Item #	Item Name/ Description	Tax	Qty Shipped	Trans UOM	Unit Price	Price UOM	Weight Net/Gross	Extended Price
3.001	699913	150 Lb Chlorine Cylinder CYL 3AA480	N	6.0000- 6.0000-	CY RT	\$0.0000	RT	.0 LB 600.0- GW	\$0.00

4.000	4800	Chlorine - EPA Reg. No. 7870-2 150 # CYL	N	6.0000 900.0000	CY LB	\$0.5600	LB	900.0 LB 1,632.0 GW	\$504.00
-------	------	---	---	--------------------	----------	----------	----	------------------------	----------

Demurrage charges may be applied if not returned in 60 days.

4.001	699913	150 Lb Chlorine Cylinder CYL 3AA480	N	6.0000 6.0000	CY RT	\$0.0000	RT	.0 LB 600.0 GW	\$0.00
-------	--------	--	---	------------------	----------	----------	----	-------------------	--------

8.000	17002	Sodium Hexametaphosphate Crush 50 # BAG GROUND VITRAFOS CRUSH	N	20.0000 1000.0000	BG LB	\$2.2200	LB	1,000.0 LB 1,020.0 GW	\$2,220.00
-------	-------	---	---	----------------------	----------	----------	----	--------------------------	------------

P.O. #12

Page 1 of 1

Tax Rate 0 %
Sales Tax \$0.00

Invoice Total **\$2,724.00**

No Discounts on Freight or Containers
IMPORTANT: All products are sold without warranty of any kind and purchasers will, by their own tests, determine suitability of such products for their own use. Seller warrants that all goods covered by this invoice were produced in compliance with the requirements of the Fair Labor Standards Act of 1938, as amended. Containers are to be paid for in full, as invoiced, and full refund will be made promptly, provided containers are returned to original point of shipment. Return freight charges to be prepaid. The containers returned must be the same originally shipped, and show no evidence of abuse, or use for purposes other than the storage of original containers. Seller specifically disclaims and excludes any warranty of merchantability and any warranty of fitness for a particular purpose. NO CLAIMS FOR LOSS, DAMAGE OR LEAKAGE ALLOWED AFTER DELIVERY IS MADE IN GOOD CONDITION.

Please
Remit To:

Hawkins, Inc.
P.O. Box 860263
Minneapolis, MN 55486-0263

This contractor and subcontractor shall abide by the requirements of 41 CFR §§60-1.4(a), 60-300.5(a) and 60-741.5(a). These regulations prohibit discrimination against qualified individuals based on their status as protected veterans or individuals with disabilities, and prohibit discrimination against all individuals based on their race, color, religion, sex, or national origin. Moreover, these regulations require that covered prime contractors and subcontractors take affirmative action to employ and advance in employment individuals without regard to race, color, religion, sex, national origin, protected veteran status or disability.

P.O. No. _____

17227

CITY OF GRIMES

101 N. Harvey, Grimes, IA 50111 phone: 515-986-3036 fax: 515-986-3846

PURCHASE REQUEST/PURCHASE ORDER

Source/Supplier Hawkins Inc
 Name
2381 Rosegate, Roseville, MN. 55113
 Address
612-331-6910
 Phone Number/Fax Number

ITEMS	QTY	UNIT PRICE	TOTAL
Cl2 cylinders	900.00 lbs	0.56	504.00
Hexametaphosphate	1000 lbs	2.220	2,220.00
		Total	2,724.00

PURCHASE JUSTIFICATION: _____
600-5-810-6350.4

DEPARTMENT: Water

LINE ITEM: _____

BEGINNING BUDGET BALANCE: _____

ENDING BUDGET BALANCE: _____

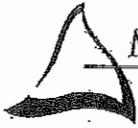
PURCHASE REQUESTED BY: J. Waters DATE: 1-28-2016

PURCHASE ORDER APPROVAL AND ASSIGNMENT

Kelley L. Brown _____ 1-28-16
 Kelley L. Brown City Administrator/Clerk (2) Date

Council Approval date: (if over \$2500)

- Purchaser's Copy Vendor's Copy File Copy



MISSISSIPPI®
LIME

Discovering what's possible with calcium

MISSISSIPPI LIME COMPANY

P.O. Box 840033
Kansas City, MO 64184-0033

Phone: 800-437-5463
314-543-6300
Fax: 314-543-6570

Invoice Number: 1244401

Terms: NET 15 DAYS

Date: 01/27/2016

Bill To
83302 GRIMES IA CITY OF
101 NORTH HARVEY STR
GRIMES, IA 50111 USA

Ship To
83303 GRIMES IA CITY OF
US WATER
7850 NW 128TH ST
GRIMES, IA 50111 US

Shipment Date	Product Number	Product Description	Quantity UOM	Unit Price	Amount
01/27/2016	247	GRAN STANDARD QUICKLIME~ - CaO	27.200 TN	\$150.00	\$4,080.00

Bill of Lading: VIA: TRUCK FOB: STE.GENEVIEVE, MO

Order #: 579451-1

Customer PO: VERBAL JEFF

Carrier: BEELMAN

Trailer No: 10801

Freight Terms: COLLECT

Net Weight: 54,400.000

Subtotal: \$4,080.00

Total Tax: \$0.00

Note: Pricing includes palletizing and stretch wrapping where applicable.

Total Amount Due: \$4,080.00

CC App 29-16

P.O. No. _____

17232

CITY OF GRIMES

101 N. Harvey, Grimes, IA 50111 phone: 515-986-3036 fax: 515-986-3846

PURCHASE REQUEST/PURCHASE ORDER

Source/Supplier Mississippi Lime Company
Name

P.O. Box 840033, Kansas City, MO. 64184-0033
Address

800-437-5463/314-543-6570
Phone Number/Fax Number

ITEMS	QTY	UNIT PRICE	TOTAL
Quicklime	27.20 TN	150.00	4,080

PURCHASE JUSTIFICATION: _____
600-5-810-6350.4

DEPARTMENT: Water

LINE ITEM: _____

BEGINNING BUDGET BALANCE: _____

ENDING BUDGET BALANCE: _____

PURCHASE REQUESTED BY: J. Waters DATE: 1-28-2016
PURCHASE ORDER APPROVAL AND ASSIGNMENT

Kelley Brown
Kelley L. Brown City Administrator/Clerk

1-28-16
Date

2-9-16
Council Approval date: (if over \$2500)

Purchaser's Copy Vendor's Copy File Copy

Change Order

Non-Substantial:

Part Non-Part

No. 8

Substantial:

Concurrence Date _____

Contract Accounting ID No.: 31527

County POLK

SE 19th St

Project No: STP-U-3125(611)-70-77

Kind of Work: PCC PAVING - GRADE & REPLACE Date Prepared: October 20, 2015

Contractor: CONCRETE TECHNOLOGIES, INC

You are hereby authorized to make the following changes to the contract documents.

A - Description of change to be made or extra work to be done:

1. Additional 'Left Turn Only' sign to be placed on traffic signal. 0 working days time extension granted for extra work.
2. Adjustment of Final Quantities
Items No. 11, 15, 25, 27, 28, 30, 35, 36, 39, 41, 44, 46, 48, 50, 52, 54, 56, 61, 63, 65, 66, 67, 68, 69, 70, 71, 72, 8013

B - Reason for change or extra work:

1. The sign was originally not included in the plan set.
2. Adjustment of Final Quantities
Item 11: Median, Dowelled PCC, 6" was not needed, 30 SY @ \$95.50/SY = (\$2,865.00)
Item 15: Removal of Sign, was underestimated, 47 EA @ \$61.20/EA = \$2,876.40
Item 25: Manhole Adjustment, Major, was underestimated, 1 EA @ \$1,885.00/EA = \$1,885.00
Item 27: Subdrain, STD, Perforated, 4", was overestimated, 655 LF @ \$11.75/LF = (\$7,696.25)
Item 28: Subdrain Outlet (RF-19C), was overestimated, 3 EA @ \$285.00/EA = (\$855.00)
Item 30: Storm SWR G-Main, Trenched, RCP 2000D, 18", was underestimated, 185 LF @ \$42.85/LF = \$7,927.25
Item 35: Engineer Fabric, was underestimated, 60 SY @ \$1.85/SY = \$111.00
Item 36: Revetment, Class E, was overestimated, 27 TON @ \$61.25/TON = (\$1,653.75)
Item 39: Recreational Trail, PCC, 5", was overestimated, 101.6 SY @ \$34.75/SY = (\$3,530.60)
Item 41: Detectable Warnings, was overestimated, 40 SF @ \$25.50/SF = (\$1,020.00)

Items Continued on additional page.

(Continued on reverse side)

Approved _____	_____	_____	_____
District Construction Engineer	Date	Project Engineer	Date

Receipt is acknowledged of this change or extra work and terms of settlement are hereby agreed to.

Approved contingent upon funds being available under the existing project agreement or upon additional Federal-aid funds being made available by a modified project agreement.

Concrete Technologies Incorporated
Contractor
By *David Petersen* 2-4-16
Date

_____	_____	Approved _____	_____
Date	For the Division Administrator Federal Highway Administration	Assistant Construction Engineer	Date

DISTRIBUTION: Project Engineer - Forward original to District.
 District - Nonsubstantial - Forward original and one copy to the Office of Construction and two copies back to the Project Engineer.
 - Substantial - Forward original and two copies to the Office of Construction.

Accounting ID No.

3	1	5	2	7	0
1	2	3	4	5	6

C-1 - Settlement for cost of work to be made as follows:

Change Order No. 8

1. Agreed to a lump sum amount for time and material costs.
2. Adjustments based on as-built quantities and unit prices.

C-2 - Justification for cost(s)

1. Negotiated prices for extra time and material.
2. Project final quantities.

D - ITEMS INCLUDED IN CONTRACT

Change No.	Line Item Number	Unit Price .xxx	If Credit Add "CR"	Amount .xx
			Quantity .xxx	
7				
7				
7				
7				
7				
7				
7				
TOTAL				

E - ITEMS NOT INCLUDED IN CONTRACT

Change No.	Item Description	Item Number	Function Code	Unit Price .xxx	If Credit, Add "CR"	Amount .xx
					Quantity .xxx	
8021	SIGN ADDED TO TRAFFIC SIGNAL, LUMP SUM	C.O. 8.1		\$500.00		\$500.00
8						
8						
8						
8						
8						
TOTAL						\$500.00

Progress Estimate

For (contract): SE 19th Street Improvements

Contractor:

Concrete Technologies

Owner's Proj. No.: STP-U-3125(611)--70-77

Engineer's Proj. No.: 1005-13A

Application Number: 20

Application Date: 12/8/2015

Contractor's Application

A		B			C	D	E	F		G
Item		#Bid Quantity	Unit Price	Bid Value	Estimated Quantity Installed	Value	Materials Presently Stored (not in)	Total Completed and Stored to Date (D + E)	% (F / B)	Balance to Finish (B - F)
Bid Item No.	Description									
1	CLEAR+GRUBB	12	\$ 425.00	\$ 5,100.00	12.00	\$ 5,100.00		\$ 5,100.00	100.0%	\$ -
2	SPECIAL BACKFILL	1621.36	\$ 24.75	\$ 40,128.66	1621.36	\$ 40,128.66		\$ 40,128.66	100.0%	\$ -
3	EXCAVATION, CL 10, RDWY+BORROW	13168	\$ 2.55	\$ 33,578.40	13168.00	\$ 33,578.40		\$ 33,578.40	100.0%	\$ -
4	EXCAVATION, CL 12, BOULDER/ROCK FRAGMENT	50	\$ 10.20	\$ 510.00	50.00	\$ 510.00		\$ 510.00	100.0%	\$ -
5	TOPSOIL, STRIP, SALVAGE+SPREAD	3250	\$ 4.10	\$ 13,325.00	3250.00	\$ 13,325.00		\$ 13,325.00	100.0%	\$ -
6	TOPSOIL, STRIP+STKP	2500	\$ 2.05	\$ 5,125.00	2500.00	\$ 5,125.00		\$ 5,125.00	100.0%	\$ -
7	SPECIAL COMPACTION OF SUBGRADE	52	\$ 714.00	\$ 37,128.00	52.00	\$ 37,128.00		\$ 37,128.00	100.0%	\$ -
8	MODIFIED SUBBASE	3830	\$ 37.75	\$ 144,582.50	3830.00	\$ 144,582.50		\$ 144,582.50	100.0%	\$ -
9	SHOULDER FINISHING, EARTH	103	\$ 163.00	\$ 15,759.00	103.00	\$ 15,759.00		\$ 15,759.00	100.0%	\$ -
10	STD/S-F PCC PAVT, CL C CL 3, 9"	19476.3	\$ 49.00	\$ 954,338.70	19476.3	\$ 954,338.70		\$ 954,338.70	100.0%	\$ -
11	MEDIAN, DOWELLED PCC, 6"		\$ 95.50	\$ -		\$ -		\$ -		\$ -
12	MEDIAN, PCC, 6"	37	\$ 66.25	\$ 2,451.25	37.00	\$ 2,451.25		\$ 2,451.25	100.0%	\$ -
13	PCC PAVT SAMPLE	1	\$ 2,100.00	\$ 2,100.00	1.00	\$ 2,100.00		\$ 2,100.00	100.0%	\$ -
14	SURF, DRIVEWAY, CL A CR STONE	300	\$ 22.50	\$ 6,750.00	300.00	\$ 6,750.00		\$ 6,750.00	100.0%	\$ -
15	REMOVAL OF SIGN	54	\$ 81.20	\$ 3,304.80	54.00	\$ 3,304.80		\$ 3,304.80	100.0%	\$ -
16	APRON, CONC, 30"	1	\$ 2,755.00	\$ 2,755.00	1.00	\$ 2,755.00		\$ 2,755.00	100.0%	\$ -
17	APRON, CONC, 54"		\$ 4,385.00	\$ -		\$ -		\$ -		\$ -
18	RMV+REINSTALL CONC PIPE APRON LE 36"	2	\$ 255.00	\$ 510.00	2.00	\$ 510.00		\$ 510.00	100.0%	\$ -
19	MANHOLE, STORM SWR, SW-401, 48"	3	\$ 2,755.00	\$ 8,265.00	3.00	\$ 8,265.00		\$ 8,265.00	100.0%	\$ -
20	INTAKE, TYPE SW-501	10	\$ 2,450.00	\$ 24,500.00	10.00	\$ 24,500.00		\$ 24,500.00	100.0%	\$ -
21	INTAKE, TYPE SW-503	8	\$ 3,415.00	\$ 27,320.00	8.00	\$ 27,320.00		\$ 27,320.00	100.0%	\$ -
22	INTAKE, TYPE SW-505	1	\$ 2,960.00	\$ 2,960.00	1.00	\$ 2,960.00		\$ 2,960.00	100.0%	\$ -
23	INTAKE, TYPE SW-506	1	\$ 5,710.00	\$ 5,710.00	1.00	\$ 5,710.00		\$ 5,710.00	100.0%	\$ -
24	MANHOLE ADJUSTMENT, MINOR	2	\$ 460.00	\$ 920.00	2.00	\$ 920.00		\$ 920.00	100.0%	\$ -
25	MANHOLE ADJUSTMENT, MAJOR	11	\$ 1,885.00	\$ 20,735.00	11.00	\$ 20,735.00		\$ 20,735.00	100.0%	\$ -
26	CONNECTION TO EXIST MANHOLE	5	\$ 1,430.00	\$ 7,150.00	5.00	\$ 7,150.00		\$ 7,150.00	100.0%	\$ -
27	SUBDRAIN, STD, PERFORATED, 4"	2858	\$ 11.75	\$ 33,581.50	2858.00	\$ 33,581.50		\$ 33,581.50	100.0%	\$ -
28	SUBDRAIN OUTLET (RF-19C)	17	\$ 285.00	\$ 4,845.00	17.00	\$ 4,845.00		\$ 4,845.00	100.0%	\$ -
29	STORM SWR G-MAIN,TRENCHED, RCP 2000D, 15"	1586	\$ 38.75	\$ 61,457.50	1586.00	\$ 61,457.50		\$ 61,457.50	100.0%	\$ -
30	STORM SWR G-MAIN,TRENCHED, RCP 2000D, 18"	314	\$ 42.85	\$ 13,454.90	314.00	\$ 13,454.90		\$ 13,454.90	100.0%	\$ -
31	STORM SWR G-MAIN,TRENCHED, RCP 2000D, 24"	291	\$ 61.25	\$ 17,823.75	291.00	\$ 17,823.75		\$ 17,823.75	100.0%	\$ -
32	STORM SWR G-MAIN,TRENCHED, RCP 2000D, 30"	565	\$ 75.50	\$ 42,657.50	565.00	\$ 42,657.50		\$ 42,657.50	100.0%	\$ -
33	STORM SWR G-MAIN,TRENCHED, RCP 2000D, 54"		\$ 168.00	\$ -		\$ -		\$ -		\$ -
34	RMV STORM SWR PIPE LE 36"	304	\$ 14.25	\$ 4,332.00	304.00	\$ 4,332.00		\$ 4,332.00	100.0%	\$ -
35	ENGINEER FABRIC	80	\$ 1.85	\$ 148.00	80.00	\$ 148.00		\$ 148.00	100.0%	\$ -
36	REVELMENT, CLASS E	23	\$ 61.25	\$ 1,408.75	23.00	\$ 1,408.75		\$ 1,408.75	100.0%	\$ -
37	RMVL OF PAVT	8073	\$ 7.55	\$ 61,758.45	8073.00	\$ 61,758.45		\$ 61,758.45	100.0%	\$ -
38	REMOVAL OF INTAKES AND UTILITY ACCESSSES	2	\$ 815.00	\$ 1,630.00	2.00	\$ 1,630.00		\$ 1,630.00	100.0%	\$ -
39	RECREATIONAL TRAIL, PCC, 6"	2404.1	\$ 34.75	\$ 83,542.48	2404.10	\$ 83,542.48		\$ 83,542.48	100.0%	\$ -
40	SPECIAL COMPACTION OF SUBGRADE/REC TRAIL	26	\$ 205.00	\$ 5,330.00	26.00	\$ 5,330.00		\$ 5,330.00	100.0%	\$ -
41	DETECTABLE WARNINGS	180	\$ 25.50	\$ 4,590.00	180.00	\$ 4,590.00		\$ 4,590.00	100.0%	\$ -
42	DRIVEWAY, PCC, 7"	315.7	\$ 56.00	\$ 17,735.20	315.70	\$ 17,735.20		\$ 17,735.20	100.0%	\$ -
43	SAFETY CLOSURE	4	\$ 127.50	\$ 510.00	4.00	\$ 510.00		\$ 510.00	100.0%	\$ -
44	POST, STEEL, AS PER PLAN	19	\$ 102.00	\$ 1,938.00	19.00	\$ 1,938.00		\$ 1,938.00	100.0%	\$ -
45	TYPE A SIGNS, SHEET ALUMINUM	123	\$ 22.50	\$ 2,767.50	123.00	\$ 2,767.50		\$ 2,767.50	100.0%	\$ -
46	PAINTED PAVT MARK, WATERBORNE/SOLVENT	99.43	\$ 32.50	\$ 3,231.48	99.43	\$ 3,231.48		\$ 3,231.48	100.0%	\$ -
47	PAINTED SYMBOL+LEGEND, WATERBORNE/SOLVNT	24	\$ 102.00	\$ 2,448.00	24.00	\$ 2,448.00		\$ 2,448.00	100.0%	\$ -
48	PAVT MARK RMVD	44.1	\$ 62.75	\$ 2,326.28	44.10	\$ 2,326.28		\$ 2,326.28	100.0%	\$ -
49	TRAFFIC CONTROL	1	\$ 8,160.00	\$ 8,160.00	1.00	\$ 8,160.00		\$ 8,160.00	100.0%	\$ -
50	FLAGGER	11	\$ 335.00	\$ 3,685.00	11.00	\$ 3,685.00		\$ 3,685.00	100.0%	\$ -
51	MOBILIZATION	1	\$ 60,000.00	\$ 60,000.00	1.00	\$ 60,000.00		\$ 60,000.00	100.0%	\$ -

Progress Estimate

Contractor's Application

For (contract): SE 19th Street Improvements

Owner's Proj. No.: STP-U-3125(611)--70-77

Application Number: 20

Contractor:

Concrete Technologies

Engineer's Proj. No.: 10DS-13A

Application Date: 12/8/2015

A		B			C	D	E	F		G
Item		#Bid	Unit Price	Bid Value	Estimated	Value	Materials	Total Completed	%	Balance to
Bid Item No.	Description	Quantity			Quantity		Presently	and Stored to	(F / B)	Finish
					Installed		Stored (not in	Date (D + E)		(B - F)
52	URETHANE CHIMNEY SEAL	2	\$ 765.00	\$ 1,530.00	2.00	\$ 1,530.00		\$ 1,530.00	100.0%	\$ -
53	TRENCH COMPACTION TESTING	1	\$ 3,060.00	\$ 3,060.00	1.00	\$ 3,060.00		\$ 3,060.00	100.0%	\$ -
54	WATER MAIN, TRENCHED, DIP, 6"	75	\$ 41.00	\$ 3,075.00	75.00	\$ 3,075.00		\$ 3,075.00	100.0%	\$ -
55	WATER MAIN, TRENCHED, PVC, 8"	360	\$ 23.50	\$ 8,460.00	360.00	\$ 8,460.00		\$ 8,460.00	100.0%	\$ -
56	FITTINGS BY COUNT, DIP	3	\$ 765.00	\$ 2,295.00	3.00	\$ 2,295.00		\$ 2,295.00	100.0%	\$ -
57	VALVE, GATE, DIP, 8"	1	\$ 1,500.00	\$ 1,500.00	1.00	\$ 1,500.00		\$ 1,500.00	100.0%	\$ -
58	FLUSHING DEVICE (BLOWOFF), 2"	3	\$ 915.00	\$ 2,745.00	3.00	\$ 2,745.00		\$ 2,745.00	100.0%	\$ -
59	VALVE BOX REPLACEMENT	10	\$ 460.00	\$ 4,600.00	10.00	\$ 4,600.00		\$ 4,600.00	100.0%	\$ -
60	CUT IN WATER MAIN TEE SECTION		\$ 1,530.00	\$ -		\$ -		\$ -		\$ -
61	RELOCATE EXISTING FIRE HYDRANT	6	\$ 1,430.00	\$ 8,580.00	6.00	\$ 8,580.00		\$ 8,580.00	100.0%	\$ -
62	TRAFFIC SIGNALIZATION MODIFICATIONS	1	\$ 13,260.00	\$ 13,260.00	1.00	\$ 13,260.00		\$ 13,260.00	100.0%	\$ -
63	COMPOST	4	\$ 10,200.00	\$ 40,800.00	4.00	\$ 40,800.00		\$ 40,800.00	100.0%	\$ -
64	SEED+FERTILIZE (URBAN)	6	\$ 2,345.00	\$ 14,070.00	6.00	\$ 14,070.00		\$ 14,070.00	100.0%	\$ -
65	WATER-SOD/SPEC DITCH CNTLSLOPE PROTECT		\$ 60.00	\$ -		\$ -		\$ -		\$ -
66	SILT FENCE	552	\$ 1.55	\$ 855.60	552.00	\$ 855.60		\$ 855.60	100.0%	\$ -
67	SILT FENCE-DITCH CHECKS	157	\$ 1.80	\$ 282.60	157.00	\$ 282.60		\$ 282.60	100.0%	\$ -
68	RMVL OF SILT FENCE/SILT FENC-DITCH CHECK	709	\$ 0.10	\$ 70.90	709.00	\$ 70.90		\$ 70.90	100.0%	\$ -
69	MAINT OF SILT FENC/SILT FENC-DITCH CHECK		\$ 0.10	\$ -		\$ -		\$ -		\$ -
70	PERIMETER+SLOPE SEDIMENT CNTL DEVICE, 6"	178	\$ 1.55	\$ 275.90	178.00	\$ 275.90		\$ 275.90	100.0%	\$ -
71	RMVL OF PERIMETER+SLOPE SEDIMNT CNTL DEV	178	\$ 0.50	\$ 89.00	178.00	\$ 89.00		\$ 89.00	100.0%	\$ -
72	MOBILIZATIONS, EROSION CONTROL	3	\$ 500.00	\$ 1,500.00	3.00	\$ 1,500.00		\$ 1,500.00	100.0%	\$ -
8001	CHANGEABLE MESSAGE SIGN, PORTABLE	15	\$ 110.00	\$ 1,650.00	15.00	\$ 1,650.00		\$ 1,650.00	100.0%	\$ -
8002	TAPPING VALVE ASSEMBLY, 8 INCH	2	\$ 3,960.00	\$ 7,920.00	2.00	\$ 7,920.00		\$ 7,920.00		\$ -
8003	STREET LIGHTING	1	\$ 109,903.50	\$ 109,903.50	1.00	\$ 109,903.50		\$ 109,903.50		\$ -
8004	REPLACE MAST ARM, TRAFFIC SIGNAL	1	\$ 2,750.00	\$ 2,750.00	1.00	\$ 2,750.00		\$ 2,750.00		\$ -
8005	ADDITIONAL LOOP DETECTOR	1	\$ 7,150.00	\$ 7,150.00	1.00	\$ 7,150.00		\$ 7,150.00		\$ -
8006	FIRE HYDRANT RELOCATION EXTRA WORK	1	\$ 5,390.00	\$ 5,390.00	1.00	\$ 5,390.00		\$ 5,390.00		\$ -
8007	FIRE HYDRANT ASSEMBLY, WM-201	2	\$ 2,365.00	\$ 4,730.00	2.00	\$ 4,730.00		\$ 4,730.00		\$ -
8008	INTAKE CORE HOLES	1	\$ 395.00	\$ 395.00	1.00	\$ 395.00		\$ 395.00		\$ -
8009	COLD WEATHER PROTECTION	1215	\$ 1.00	\$ 1,215.00	1215.00	\$ 1,215.00		\$ 1,215.00		\$ -
8010	GROUND THAW UNIT	1	\$ 2,200.00	\$ 2,200.00	1.00	\$ 2,200.00		\$ 2,200.00		\$ -
8011	INSTALL TEMPORARY DELINATORS	35	\$ 82.50	\$ 2,887.50	35.00	\$ 2,887.50		\$ 2,887.50		\$ -
8012	GRADING FOR TEMPORARY SHOULDERS	1	\$ 2,530.00	\$ 2,530.00	1.00	\$ 2,530.00		\$ 2,530.00		\$ -
8013	STRAW MULCH STABILIZATION	8	\$ 770.00	\$ 6,160.00	8.00	\$ 6,160.00		\$ 6,160.00		\$ -
8014	FIRE HYDRANT ADJUSTMENT	3	\$ 1,045.00	\$ 3,135.00	3.00	\$ 3,135.00		\$ 3,135.00		\$ -
8015	ADJUST FIBER OPTIC HANDHOLE	1	\$ 1,650.00	\$ 1,650.00	1.00	\$ 1,650.00		\$ 1,650.00		\$ -
8016	REMOVAL OF TEMPORARY SHOULDERS	1	\$ 9,883.76	\$ 9,883.76	1.00	\$ 9,883.76		\$ 9,883.76		\$ -
8017	PAY ADJ I/D-PCC PAVT THICKNESS	1	\$ 28,630.16	\$ 28,630.16	1.00	\$ 28,630.16		\$ 28,630.16		\$ -
8018	PAY ADJ I/D-PCC PAVT SMOOTHNESS	1	\$ 4,700.00	\$ 4,700.00	1.00	\$ 4,700.00		\$ 4,700.00		\$ -
8019	SIGNAGE REVISIONS	1	\$ 1,530.50	\$ 1,530.50	1.00	\$ 1,530.50		\$ 1,530.50		\$ -
8020	2015 CONCRETE PRICE ADJ	1	\$ 3,801.00	\$ 3,801.00	1.00	\$ 3,801.00		\$ 3,801.00		\$ -
8021	PAY ADJ ADD SIGN TO TRAFFIC SIGNAL	1	\$ 500.00	\$ 500.00	1.00	\$ 500.00		\$ 500.00		\$ -
Totals				\$2,120,118.01		\$2,120,118.01		\$2,120,118.01	100.0%	

Stored Material Summary

Contractor's Application

For (contract): SE 19th Street Improvements		Owner's Proj. No.: STP-U-3125(611)--70-77		Application Number: 20					
Contractor: Concrete Technologies		Engineer's Proj. No.: 1005-13A		Application Date: 12/8/2015					
A	B	C	D		E	F		G	
Invoice No.	Shop Drawing Transmittal	Materials Description	Stored Previously		Stored this Month		Incorporated in Work		Materials in Storage (\$) (D + E - F)
			Date (Mo./Year)	Amount (\$)	Amount (\$)	Subtotal	Date (Mo./Year)	Amount (\$)	
Totals									

Progress Estimate

Contractor's Application

For (contract): Heritage at Grimes Plat 2 Phase 2 - Little Beaver Creek Tributary
 Contractor: Jensen Construction Company, -

Owner's Proj. No.:
 Engineer's Proj. No.: 1005-15C

Application Number: 5
 Application Date: 2/2/2016

A		B				C	D	E	F		G	
Item		Bid Quantity	Qty added by Change Order	Unit Price	Bid Value	Total Value After Change Orders	Estimated Quantity Installed	Value	Materials Presently Scored (not in %)	Total Committed and Stored to Date (D + E)	% (F / B)	Balance to Finish (B - F)
Bid Item No.	Description											
ESTIMATED CULVERT QUANTITIES												
1.1	STRUCTURAL CONCRETE (RCB)	755		\$800.00	\$604,000.00	\$604,000.00	736	\$588,800.00		\$588,800.00	97.5%	\$15,200.00
1.2	GRANULAR BACKFILL	1,480		\$45.00	\$66,600.00	\$66,600.00						\$66,600.00
1.3	SPECIAL BACKFILL	465		\$57.00	\$26,505.00	\$26,505.00	465	\$26,505.00		\$26,505.00	100.0%	
1.4	REVTMENT, CLASS F	490		\$48.00	\$23,520.00	\$23,520.00						\$23,520.00
1.5	ELECTRICAL CIRCUITS	1		\$10,000.00	\$10,000.00	\$10,000.00						\$10,000.00
ESTIMATED RETAINING WALL QUANTITIES												
2.1	STRUCTURAL CONCRETE (MISC)	735		\$830.00	\$610,050.00	\$610,050.00	61	\$50,630.00		\$50,630.00	8.3%	\$559,420.00
2.2	GRANULAR BACKFILL	1,870		\$64.00	\$119,680.00	\$119,680.00						\$119,680.00
2.3	ORNAMENTAL METAL RAILING	615		\$70.00	\$43,050.00	\$43,050.00						\$43,050.00
2.4	PRECAST CONCRETE COLUMN CAPS	19		\$1,500.00	\$28,500.00	\$28,500.00						\$28,500.00
2.5	CONCRETE RUSTICATION AESTHETICS	8,045		\$9.00	\$72,405.00	\$72,405.00						\$72,405.00
CO1.1	QUAD BOX BASE OVER-EXC.-FIXED COSTS (LS)		1	\$12,000.00		\$12,000.00	1	\$12,000.00		\$12,000.00	100.0%	
CO1.2	QUAD BOX BASE OVER-EXC-EXCAVATION (CY)		306	\$31.00		\$9,486.00	306	\$9,486.00		\$9,486.00	100.0%	
CO1.3	QUAD BOX BASE OVER-EXC.-SUBBASE (TON)		472.52	\$53.00		\$25,043.56	472.52	\$25,043.56		\$25,043.56	100.0%	
Totals					\$1,604,310.00	\$1,650,839.56		\$712,464.56		\$712,464.56	44.4%	\$938,375.00



January 27, 2016

Att: David Bentz
Bishop Engineering
3501 104th Street
Des Moines, IA 50322

Heritage at Grimes Plat 4 – Preliminary Plat

FOX Ref No: 8630-04D.214

FOX Engineering and City Staff has completed the second review for Heritage at Grimes Plat 4 as dated January 26, 2016. Please address the following comments:

1. Please provide the geotechnical report once it is complete. Pavement design shall be as per the report.
2. Please move the setbacks linework along the "NE Beaverbrooke Blvd Outlot" to the easement line.
3. There is concern about the grading for this subdivision as it appears that a majority of the lots drain onto adjacent lots (a general east to west drainage pattern). For this to work correctly without drainage issues on the lots that are downgrade, more direction should be given to the lots so that they are built high enough with swales in the setbacks to convey drainage. It looks like the worst case scenario is for Lots 53 & 54. Please provide language on the preliminary plat that addresses the drainage pattern that will be required by the builder to convey drainage stormwater from backyard to front yard within the lot for those lots that are downgrade (and receiving stormwater) from other lots.
4. The following comments are in regard to the proposed streets and sidewalks within the development in relation to the comprehensive plan and the proposed plan as per the approved PUD and have no further comments.
5. FOX has reviewed the plan in regard to the proposed trail & park plans within the development in relation to the comprehensive plan and the proposed plan as per the approved PUD and have no further comments.
6. FOX has reviewed the plan in regard to the proposed sanitary sewer within the development in relation to the comprehensive plan and have the following comments:
 - a. Discussion is necessary in regard to whether sanitary sewer service check valves shall be utilized for lots within this plat due to location within the basin and depth of sewer. Please investigate. Basements below the elevation of 913.00 appear to be the most at risk.
7. FOX has reviewed the plan in regard to the proposed water main within the development in relation to the comprehensive plan and the proposed plan as per the approved PUD and have no further comments.
8. The following comments are in regard to the proposed storm sewer & drainage plans within the development in relation to the comprehensive plan and the proposed plan as per the approved PUD and have no further comments.

PRELIMINARY PLAT SCHEDULE:

PLANNING & ZONING: February 2, 2016 at 5:30 at the Grimes City Hall

COUNCIL MEETING: February 9, 2016 at 5:30 at the Grimes City Hall

If you have any questions or concerns, please contact John Gade at (515) 233-0000. The City reserves the right to modify or add to these comments.

FOX ENGINEERING ASSOCIATES, INC.

Mitch Holtz

Mitch Holtz, P.E.

Copy to: Kelley Brown, City of Grimes

PRELIMINARY - NOT FOR CONSTRUCTION

HERITAGE AT GRIMES PLAT 4 PRELIMINARY PLAT

- SHEET INDEX:**
- 1 PRELIMINARY PLAT
 - 2 GRADING & UTILITY

OWNER / PREPARED FOR:
BEAVERBROOK DEVELOPMENT COMPANY
GRIMES, IOWA 50411

PROPOSED ZONING:
PUD - PLANNED UNIT DEVELOPMENT
UNDEVELOPED ZONING
SINGLE-FAMILY RESIDENTIAL (PER PLANNED UNIT DEVELOPMENT)
FRONT YARD = 30 FEET
SIDE YARD = 7 FEET ONE SIDE, 14 FEET COMBINED TOTAL
REAR YARD = 25 FEET

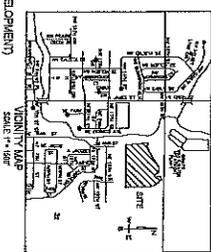
BENCHMARK:
CITY BENCHMARK 694.068 BARY BOLT ON FIRE HYDRANT LOCATED ON THE EAST SIDE OF NORTH JAMES STREET BY THE NW CORNER OF LOT ADDRESS 695. ELEVATION = 894.41 (USGS DATUM)
CITY BENCHMARK 695.068 SQUARE IN NORTHWEST END OF BEAVERBROOK COMMONS LITTLE GREEN AT JAMES STREET. ELEVATION = 929.80 (USGS DATUM)

CITY BENCHMARK:
ARROW ON FIRE HYDRANT LOCATED AT NORTHEAST CORNER OF N. 11TH STREET AND JAMES STREET. ELEVATION = 897.09 (USGS DATUM)

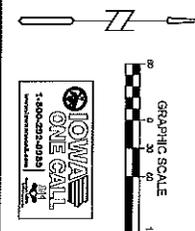
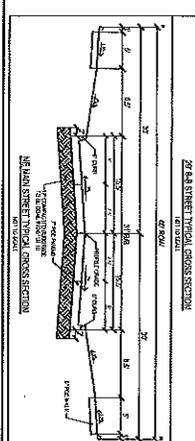
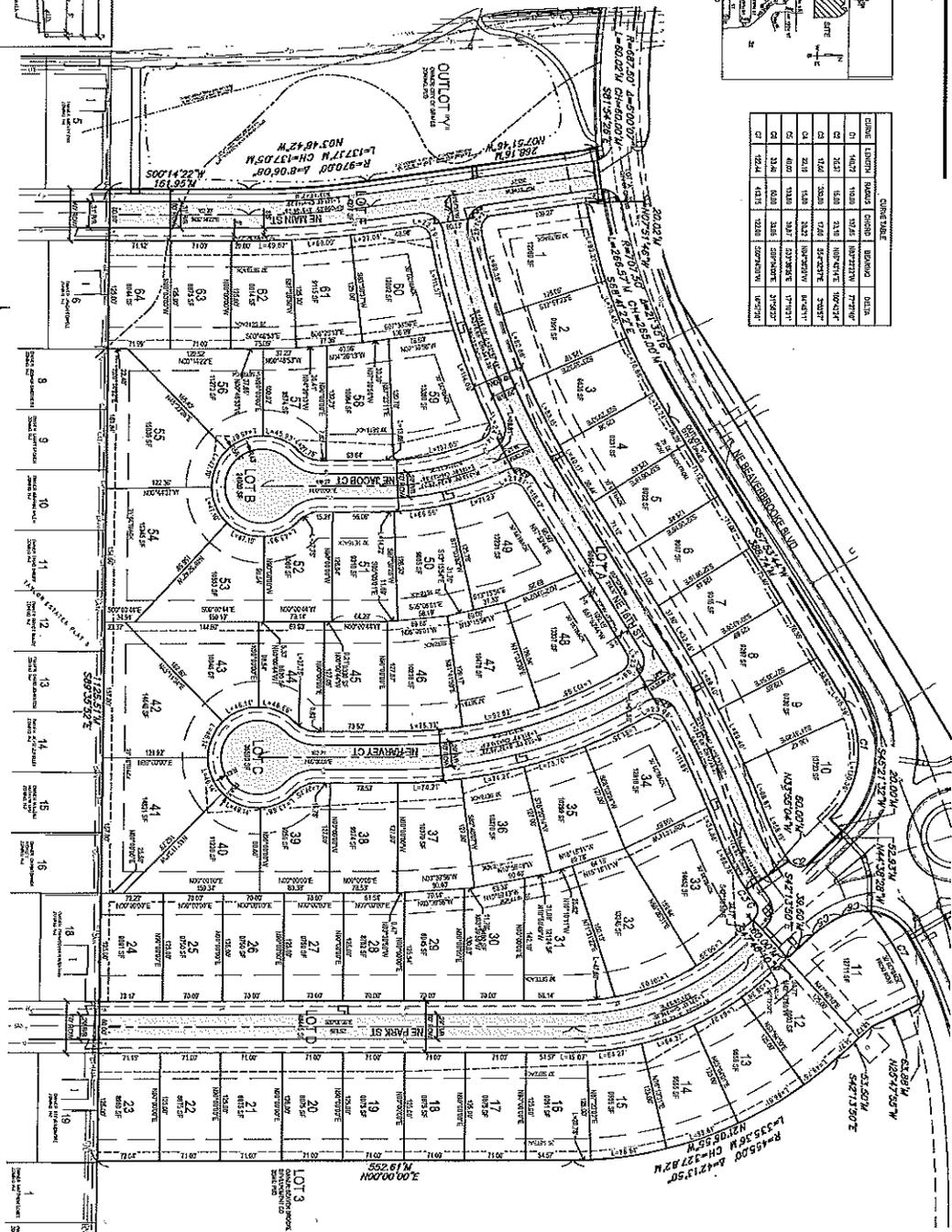
CONSTRUCTION SCHEDULE:
GRADING BY OTHERS FALL 2017
UTILITIES BY OTHERS FALL 2017
PAVING BY OTHERS SPRING 2018

- GENERAL NOTES:**
1. SEE PAVEMENT CROSS SECTION DETAIL FOR PAVEMENT THICKNESS REQUIREMENTS.
 2. PAVEMENT THICKNESS AND CROSS SECTION DESIGN IS DICTATED BY CITY OF GRIMES REQUIREMENTS.
 3. ALL LOTS ARE AFFECTED BY THE 1,000 FT GRIMES WASTEWATER TREATMENT PLANT SEPARATION DISTANCE AND LOT DIMENSIONS REQUIRED FOR FUTURE WWP EXPANSIONS.

PROPERTY DESCRIPTION:
HERITAGE AT GRIMES PLAT 4, BEING AN OFFICIAL REPLAT, IS DESCRIBED AS OUTLOT 3 IN HERITAGE AT GRIMES PLAT 2, AN OFFICIAL PLAT, CITY OF GRIMES, POLK COUNTY, IOWA.
SAID TRACT OF LAND BEING SUBJECT TO AND TOGETHER WITH ANY AND ALL EASEMENTS OF RECORD.
SAID TRACT OF LAND CONTAINS 24,862 ACRES.



CONCRETE SLAB	
CONCRETE	FINISH
01	CONCRETE
02	CONCRETE
03	CONCRETE
04	CONCRETE
05	CONCRETE
06	CONCRETE
07	CONCRETE
08	CONCRETE
09	CONCRETE
10	CONCRETE
11	CONCRETE
12	CONCRETE
13	CONCRETE
14	CONCRETE
15	CONCRETE
16	CONCRETE
17	CONCRETE
18	CONCRETE
19	CONCRETE
20	CONCRETE
21	CONCRETE
22	CONCRETE
23	CONCRETE
24	CONCRETE



UTILITY NOTE:
THE LOCATION OF THE UTILITIES SHOWN ON THE PLAT ARE BASED ON THE INFORMATION PROVIDED BY THE UTILITY COMPANIES AND THE PRELIMINARY CONDUCTED BY THE ENGINEER. THE ENGINEER HAS CONDUCTED VISUAL SURVEYS AND HAS REVIEWED THE RECORD PLANS PROVIDED BY THE UTILITY COMPANIES TO DETERMINE THE LOCATION AND DEPTH OF THE UTILITIES. THE ENGINEER HAS NOT CONDUCTED ANY OTHER SURVEYS TO DETERMINE THE LOCATION AND DEPTH OF THE UTILITIES. THE ENGINEER HAS NOT CONDUCTED ANY OTHER SURVEYS TO DETERMINE THE LOCATION AND DEPTH OF THE UTILITIES.

PLANNING

1. BEAVERBROOK DEVELOPMENT COMPANY HAS THE RIGHT OF FIRST REFUSAL TO PURCHASE THE LAND OF THE STATE OF IOWA UNDER THE TERMS OF THE STATE OF IOWA. THE LAND OF THE STATE OF IOWA IS OWNED BY THE STATE OF IOWA.

2. THE LAND OF THE STATE OF IOWA IS OWNED BY THE STATE OF IOWA.

3. THE LAND OF THE STATE OF IOWA IS OWNED BY THE STATE OF IOWA.

4. THE LAND OF THE STATE OF IOWA IS OWNED BY THE STATE OF IOWA.

5. THE LAND OF THE STATE OF IOWA IS OWNED BY THE STATE OF IOWA.

6. THE LAND OF THE STATE OF IOWA IS OWNED BY THE STATE OF IOWA.

7. THE LAND OF THE STATE OF IOWA IS OWNED BY THE STATE OF IOWA.

8. THE LAND OF THE STATE OF IOWA IS OWNED BY THE STATE OF IOWA.

9. THE LAND OF THE STATE OF IOWA IS OWNED BY THE STATE OF IOWA.

10. THE LAND OF THE STATE OF IOWA IS OWNED BY THE STATE OF IOWA.

11. THE LAND OF THE STATE OF IOWA IS OWNED BY THE STATE OF IOWA.

12. THE LAND OF THE STATE OF IOWA IS OWNED BY THE STATE OF IOWA.

13. THE LAND OF THE STATE OF IOWA IS OWNED BY THE STATE OF IOWA.

14. THE LAND OF THE STATE OF IOWA IS OWNED BY THE STATE OF IOWA.

15. THE LAND OF THE STATE OF IOWA IS OWNED BY THE STATE OF IOWA.

16. THE LAND OF THE STATE OF IOWA IS OWNED BY THE STATE OF IOWA.

17. THE LAND OF THE STATE OF IOWA IS OWNED BY THE STATE OF IOWA.

18. THE LAND OF THE STATE OF IOWA IS OWNED BY THE STATE OF IOWA.

19. THE LAND OF THE STATE OF IOWA IS OWNED BY THE STATE OF IOWA.

20. THE LAND OF THE STATE OF IOWA IS OWNED BY THE STATE OF IOWA.

21. THE LAND OF THE STATE OF IOWA IS OWNED BY THE STATE OF IOWA.

22. THE LAND OF THE STATE OF IOWA IS OWNED BY THE STATE OF IOWA.

23. THE LAND OF THE STATE OF IOWA IS OWNED BY THE STATE OF IOWA.

24. THE LAND OF THE STATE OF IOWA IS OWNED BY THE STATE OF IOWA.

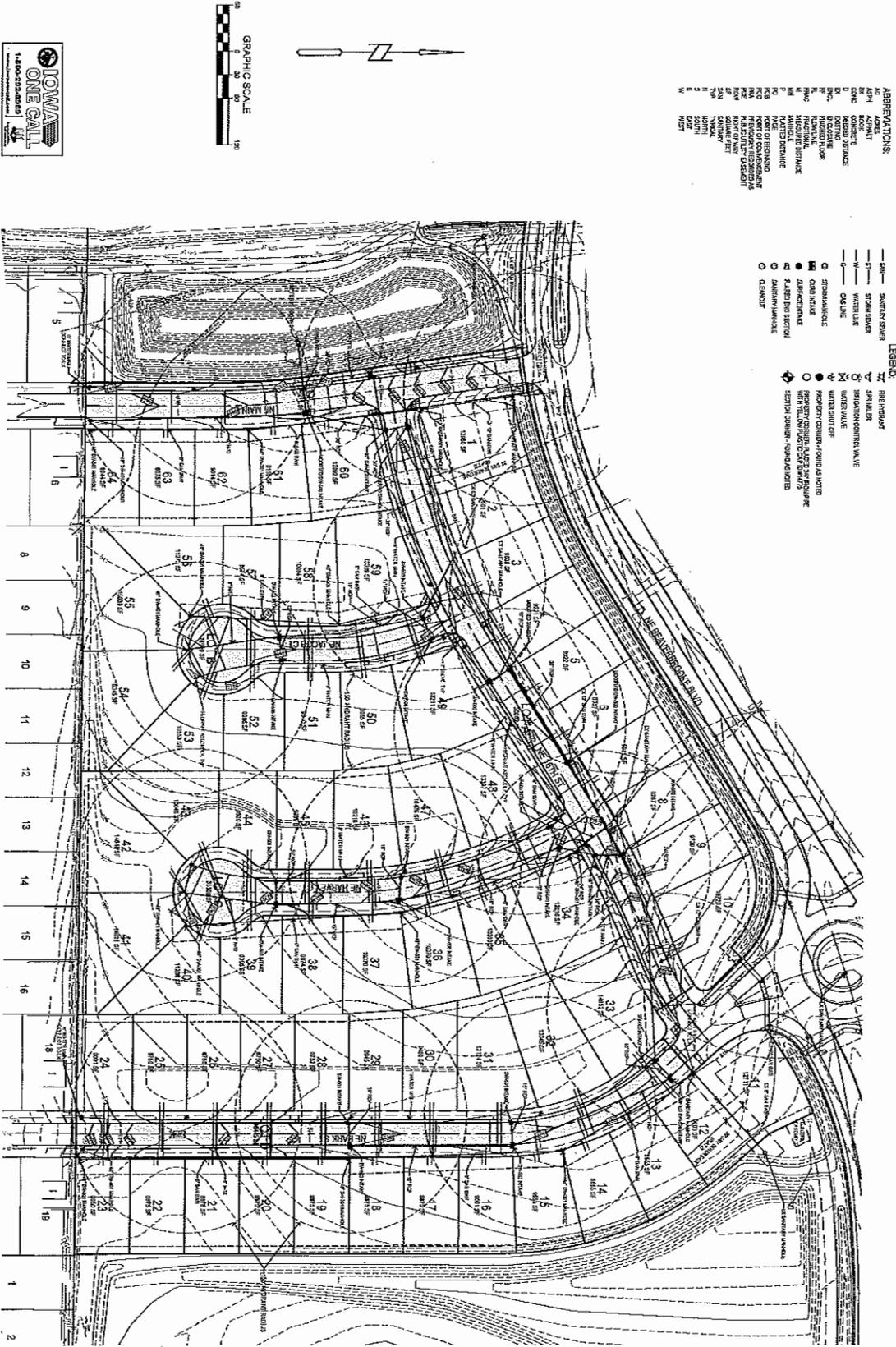
120101-9
1 OF 2

HERITAGE AT GRIMES PLAT 4
GRIMES, IA
PRELIMINARY PLAT

Bishop Engineering
"Planning Your Successful Development"
3501 104th Street
Des Moines, Iowa 50322-8325
Phone: (515) 276-0487 Fax: (515) 276-0317
Civil Engineering & Land Surveying Established 1939

PRELIMINARY- NOT FOR CONSTRUCTION

PLANNING PROJECTS 2/19/10 11:14 PLAT 4 QDW39814.MXD 1/9/2010 10:52:16 AM



UTILITY NOTE:
 THE UTILITY LOCATIONS SHOWN ON THIS PLAN ARE BASED ON THE RECORD DRAWINGS OF THE UTILITY LOCATIONS AND THE PRELIMINARY LOCATIONS. THE EXACT LOCATION OF THE UTILITIES WILL BE DETERMINED BY FIELD SURVEY. THE EXACT LOCATION OF THE UTILITIES WILL BE SHOWN ON THE FINAL PLAN. THE EXACT LOCATION OF THE UTILITIES WILL BE SHOWN ON THE FINAL PLAN. THE EXACT LOCATION OF THE UTILITIES WILL BE SHOWN ON THE FINAL PLAN.



HERITAGE AT GRIMES PLAT 4
GRIMES, IA
GRADING & UTILITY PLAN

Bishop Engineering
 "Planning Your Successful Development"
 3501 184th Street
 Des Moines, Iowa 50322-3825
 Phone: (515) 276-6247 Fax: (515) 276-6119
 Civil Engineering & Land Surveying Established 1959

DATE: 12/01/09
 SHEET: 2 OF 2



January 28, 2016

Att: Monte Appelgate
Snyder & Associates, Inc.
2727 SW Snyder Blvd
Ankeny, IA 50023

Grimes Mini Storage – Site Plan

FOX Ref No: 8630-98N.247

FOX Engineering has completed the second review for the Grimes Mini Storage Site Plan dated December 23, 2015 and sent via email to FOX Engineering on January 26, 2016. Please address the following comments:

Project Information – Sheet 2 of 5

1. Please contact Dave Freese at FOX Engineering (515-233-0000) for the location and description of two benchmarks nearby the subject parcel.
2. The Developer has stated that the block retaining wall will compliment the color of block on the proposed buildings and is anticipated to be dark earth tones.

Dimension and Utility Plan - Sheet 3 of 5

3. Please dimension the office space part of the building.
4. Please provide easements for the interior water mains on the site. This water main connects two important water mains together and also, an easement will allow city staff to maintain the fire hydrants.

Grading and Erosion Control Plan – Sheet 4 of 5

5. No roof drains are shown for the northeast building. Please confirm. Note that discharging a roof drain across a sidewalk is not allowed.

Planting Plan – Sheet 5 of 5

6. The Grimes Code requires sodding within the front setbacks. However, FOX agrees that allowing special seed mix for the detention areas should be allowed for those areas of the front setbacks that are in detention areas.

SWPPP:

7. Page 19, paragraph 6.D...please add Polk County Sheriff's Office and DNR, and their phone numbers, as other entities to contact when there has been a hazardous spill
8. Page 28, please have the owner's certification signed

Stormwater Management Plan

9. Please state in the post-development runoff analysis that the proposed peak discharge rate during the 100-yr storm (2.41cfs) is less than the pre-settlement 5-yr peak discharge rate (2.46cfs) for clarity.
10. The soils mapping information provided is not enough to verify the hydrologic soil groups on this site. Please resubmit the appropriate information in the report.
11. Please reference the Interstate Gateway Business Park stormwater calculations (previously provided) to verify that the discharges from this site do not exceed the allowed per said report. It is important that excess capacity is not taken up by this site as downstream sites will be using the same storm sewer and will utilize some of its capacity based on what is allowed within the report.

Post –Construction Stormwater Maintenance Agreement

12. Please provide a Stormwater Post Construction Easement. See attached template for an example. This will be required prior to beginning grading on the site. This is required in addition to the notes on the site plan and stormwater management plan.

Architectural/Elevation Plans

13. Note: a separate permit is required for any signage on the site. Also, the signage must meet the requirements of the Grimes Code (165A.26).
14. Please attach elevation drawings to the site plan submittal. These shall be included in the index of the site plan to be approved with the site plan.
15. It is highly recommended that you bring building materials to P&Z for discussion. P&Z and Council may request additional information (colored renderings, street view renderings, etc.) to determine whether compliance is met, Architecturally.

Please provide a letter addressing all comments on this comment letter and/or state what was modified on the site plan to address said comments.

SITE PLAN SUBMITTAL SCHEDULE:

PLANNING & ZONING: February 2, 2016 at 5:30 at the Grimes City Hall

COUNCIL MEETING: February 9, 2016 at 5:30 at the Grimes City Hall

Once all comments are addressed, please submit a .pdf for review.

If you have any questions or concerns, please contact John Gade or myself at (515) 233-0000.

FOX ENGINEERING ASSOCIATES, INC.

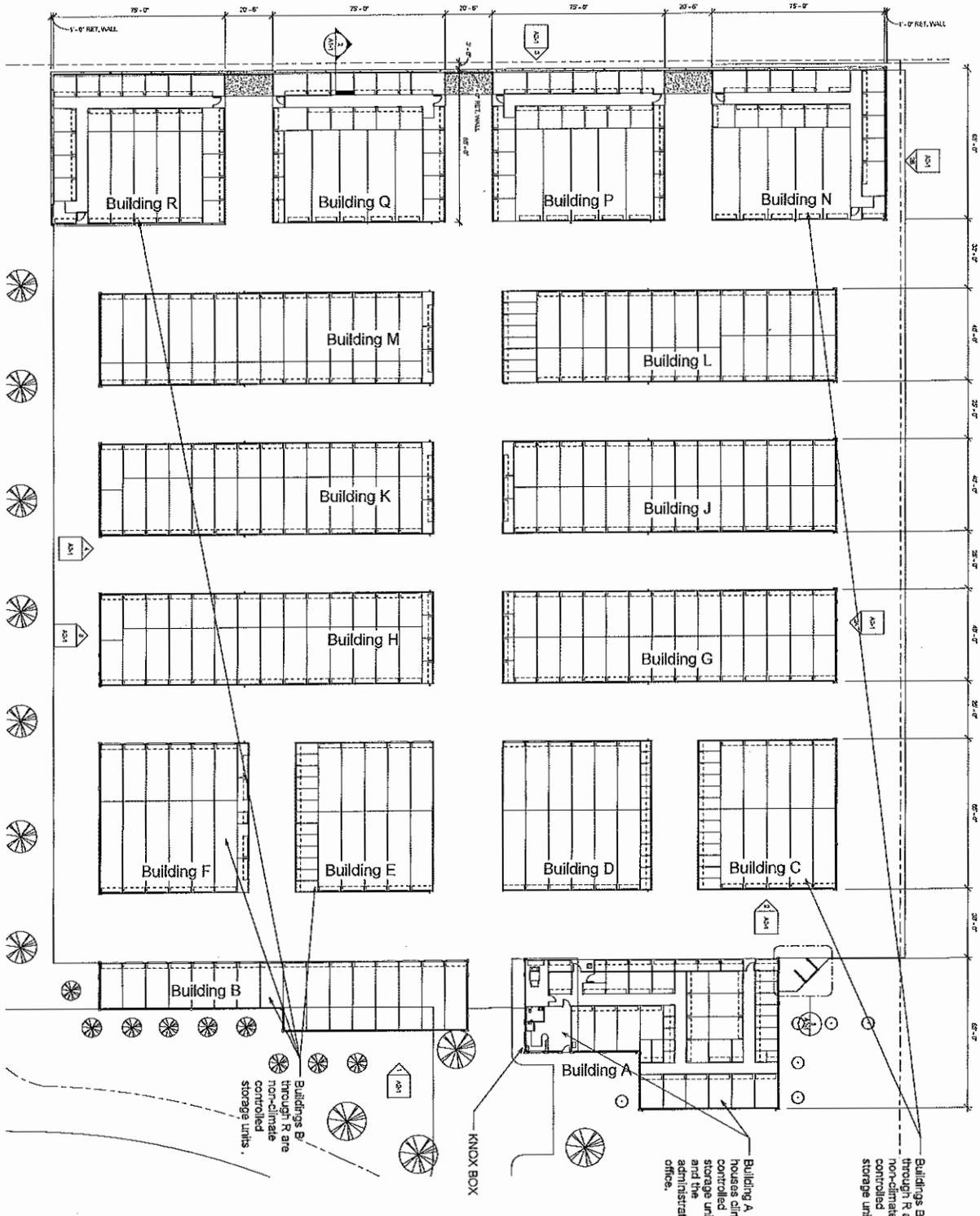


Mitch Holtz, P.E.

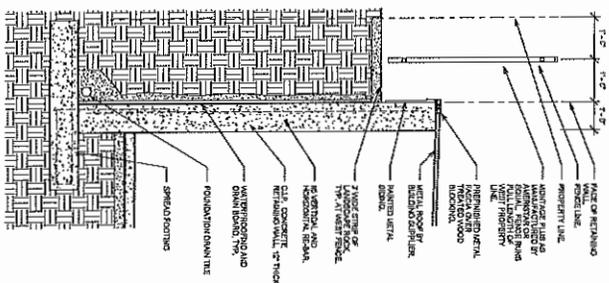
Attachments: Post-Construction Easement Agreement Template

Copy to: Kelley Brown, City of Grimes
Dave Sigler, City of Grimes
Scott Clyce, City of Grimes

① STORAGE UNIT PLANS
17-2509



② Retaining Wall Section, B-B at R. Wall
17-2509



A1-1

Project No. 15-028-01
Date 26 JANUARY 2010

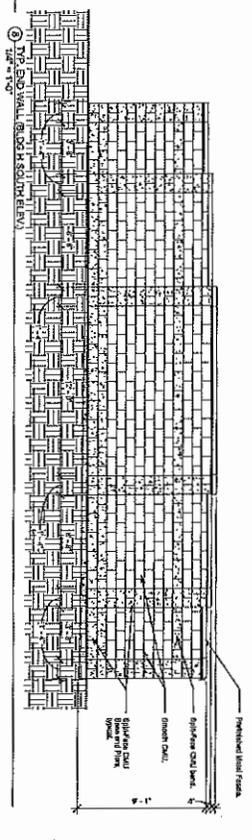
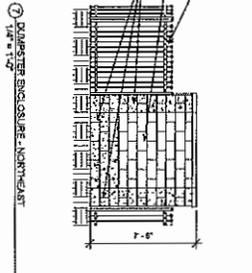
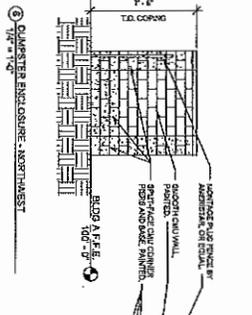
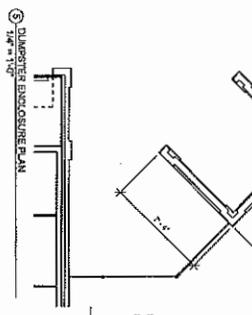
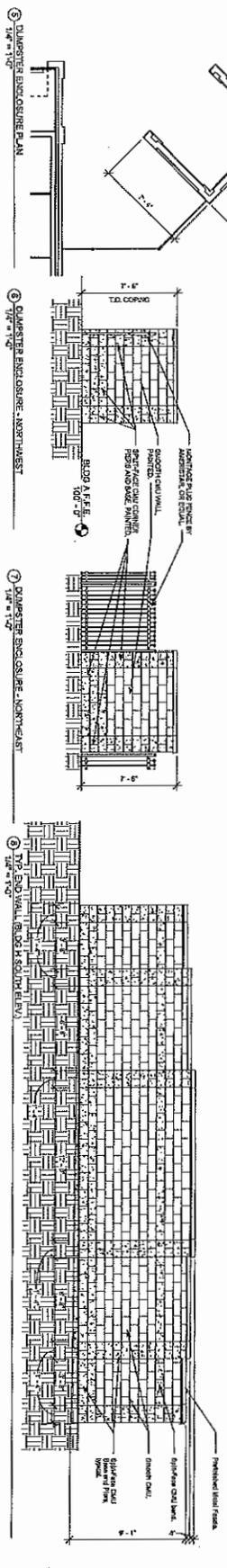
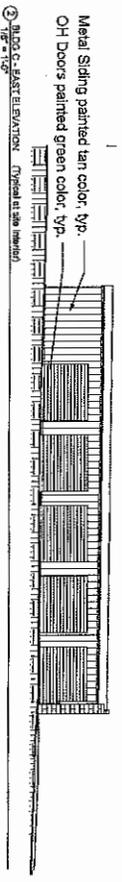
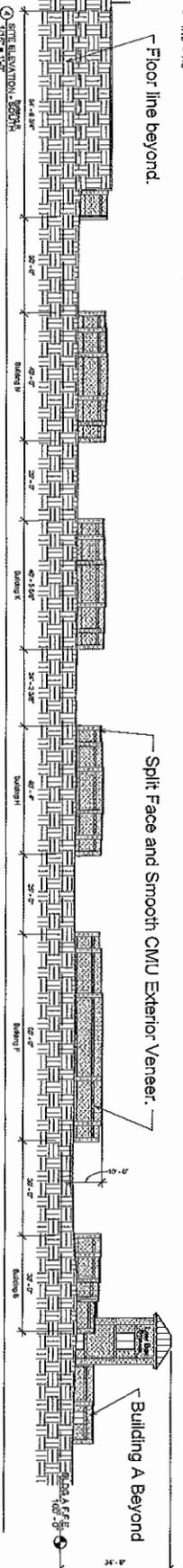
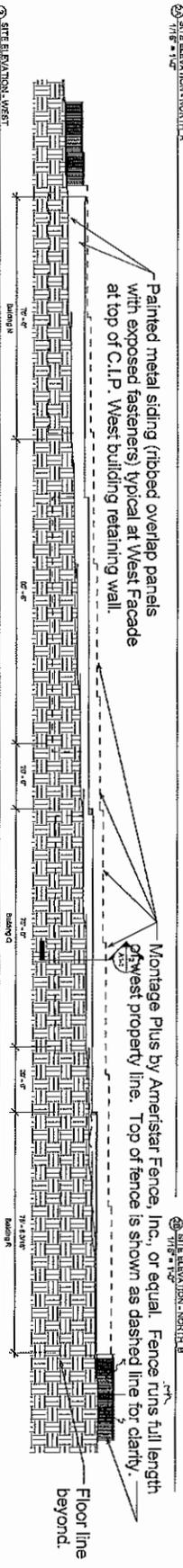
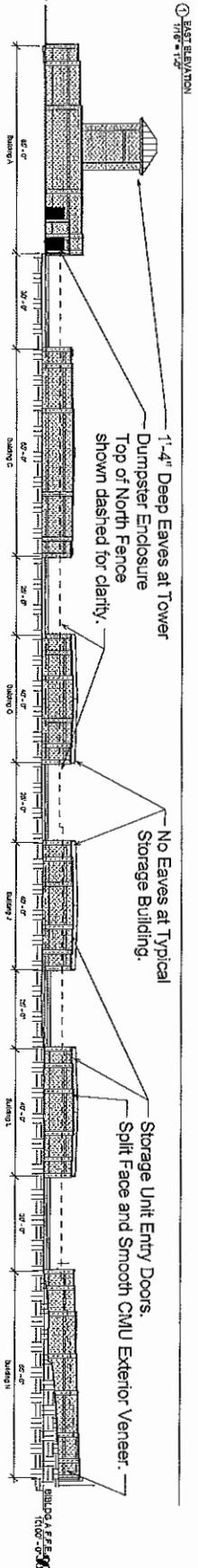
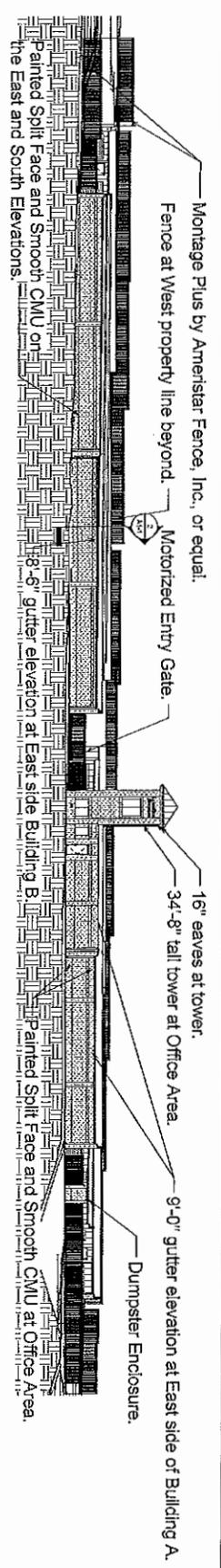
Paul L. Korb
Architect
440 North 1st Street
Orrville, Nevada 89132
(402) 320-4131
pkorb@earthlink.net



LockBox Storage
McGregor Interests
3500 SE Gateway Grimes, Iowa 50111

SCHEMATIC DESIGN

FLOOR PLANS		
REVISIONS		
No.	Description	Date



BUILDING ELEVATIONS		
REVISIONS		
No.	Description	Date

SCHEMATIC DESIGN

LockBox Storage
 McGregor Interests
 3500 SE Gateway Grimes, Iowa 50111



Paul L. Kelly
 Architectural
 4001
 Oregon, Nebraska 68702
 (402) 320-4151
 pkarchitect.com

A2-1

Project#: 15-008-01
 Date: 26 JANUARY 2018



Aerial View from Southeast



LockBox Storage Facility at 99th and Redick, Omaha



Press Point Fence



Typical Street Side End Wall at LockBox Facing Redick Street



Metal Walls at LockBox Sapp Brothers Road



LockBox Storage

McGregor Interests

3500 SE Gateway Grimes, Iowa 50111



Paul J. Kelly
Architecture
440 North 8th Street
Omaha, Nebraska 68102
(402) 333-4151
pk@pkarch.com
15-026-01
29 JANUARY 2016

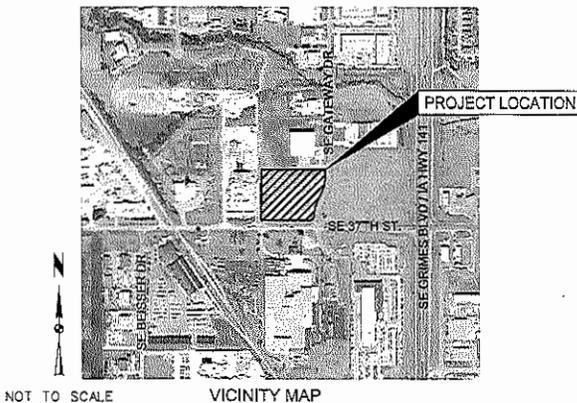


Image capture: Oct 2014 © 2016 Google

SITE PLANS FOR GRIMES MINI STORAGE

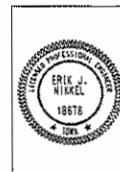
3600 SE GATEWAY DRIVE
CITY OF GRIMES, POLK COUNTY, IOWA

OWNER/DEVELOPER
MCREGOR INTERESTS, INC.
1750 STONEGATE CIRCLE
OMAHA, NE 68164
CONTACT: GEOF MCREGOR



INDEX OF SHEETS

1. TITLE SHEET
2. PROJECT INFORMATION
3. DIMENSION AND UTILITY PLAN
4. GRADING AND EROSION CONTROL PLAN
5. PLANTING PLAN



I hereby certify that this engineering document was prepared by me or under my direct personal supervision and that I am a duly licensed Professional Engineer under the laws of the State of Iowa.

ERIK J. NIAKEL, P.E. Date
License Number: 18676
by License Renewal Date 14 December 31, 2017
Page or sheets covered by this seal:
1-4

1	REVISED AS PER CITY COMMENTS	12-16	TLS
	REVISION	DATE	BY
1	Engineer: JAL	Check: JAA	Scale: 1/8"=1'-0"
	Designer: T.L.S.	Date: 12/17/15	Project: 1150729
			Sheet: 1 of 5

GRIMES MINI STORAGE
TITLE SHEET

GRIMES, IOWA

SNYDER & ASSOCIATES, INC.

2727 S.W. SHRYVER BLVD.
ANKENY, IOWA 50023
515-664-2020 | www.snyderandassociates.com



Project No: 1150729
Sheet 1 of 5

LEGEND

Table with columns: Features, Existing, Proposed. Lists various utility symbols like Spot Elevation, Sanitary Sewer, Fire Hydrant, etc.

UTILITY QUALITY SERVICE LEVELS

QUALITY LEVELS OF UTILITIES ARE SHOWN IN THE PARENTHESES WITH THE UTILITY TYPE AND WHEN APPLICABLE, SIZE. THE QUALITY LEVELS ARE BASED ON THE C/1 ASCE 38-02 STANDARD.

UTILITY WARNING

THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND/OR RECORDS OBTAINED. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES OR SUBSURFACE FEATURES SHOWN COMPRISE ALL SUCH ITEMS IN THE AREA.

UTILITY CONTACT INFORMATION

Table listing contact info for various utilities: C1-COMMUNICATION LINE, C2-COMMUNICATION LINE, S-SANITARY SEWER, FO-FIBER OPTIC, CLEAR, O2-OVERHEAD ELECTRIC, E3-ELECTRIC LINE.

CITY OF GRIMES STANDARD NOTES

- 1. GENERAL NOTES: A. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CURRENT VERSION OF THE IOWA STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS... B. A PRE-CONSTRUCTION MEETING IS REQUIRED PRIOR TO THE START OF CONSTRUCTION...

GENERAL NOTES

- A. NOTIFY UTILITY PROVIDERS PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES AND COORDINATE WITH UTILITY PROVIDERS AS NECESSARY DURING CONSTRUCTION... B. CONSTRUCTION OF ALL STREET AND UTILITY IMPROVEMENTS SHALL CONFORM TO IOWA 2015 STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS...

POLLUTION PREVENTION NOTES

- A. POLLUTION PREVENTION AND EROSION PROTECTION: 1. CODE COMPLIANCE: THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL POTENTIAL POLLUTION AND SOIL EROSION CONTROL... 2. DAMAGE CLAIMS: THE CONTRACTOR WILL HOLD THE OWNER AND ARCHITECT...

BENCHMARKS

NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) - GEOIDAL (ARTN DERIVED) - US SURVEY FEET. ALL BENCHMARKS SHOWN ON SURVEY.

CONTROL POINTS

- IOWA STATE PLANE SOUTH COORDINATE SYSTEM NAD83(2011) EPOCH 2010.00 (ARTN DERIVED) - US SURVEY FEET. ALL CONTROL POINTS SHOWN ON SURVEY.

LOT INFORMATION

LOT AREA: 234,322 SF (14.70 AC) FLOOR SPACE: 45,738 SF (23.20 AC) BEARING: FRONT YARD 30'

BUILDING DESCRIPTION

TOTAL BUILDING HEIGHT: 12.0' FLOOR SPACE: 45,738 SF (TOTAL OF ALL BUILDINGS)

PARKING REQUIREMENTS:

PROFESSIONAL OFFICE, 5 SPACES MIN. REQUIRED PROVIDED 5 SPACES MINIMUMS (HANDICAP 2/11)

PROPERTY DESCRIPTION

LOTS 9 & 10 INTERSTATE GATEWAY BUSINESS PARK

PROPERTY ADDRESS

3600/3800 GATEWAY DRIVE GRIMES, IA 50711

ZONING

M-3 - HEAVY INDUSTRIAL DISTRICT AND HIGHWAY 101 OVERLAY DISTRICT (ZONE 2)

GENERAL USE

INDOOR STORAGE FACILITY



1-800-292-9899 www.iowaonecall.com

Table with columns: REVISIONS, PER CITY COMMENTS, DATE, BY. Shows revision history.

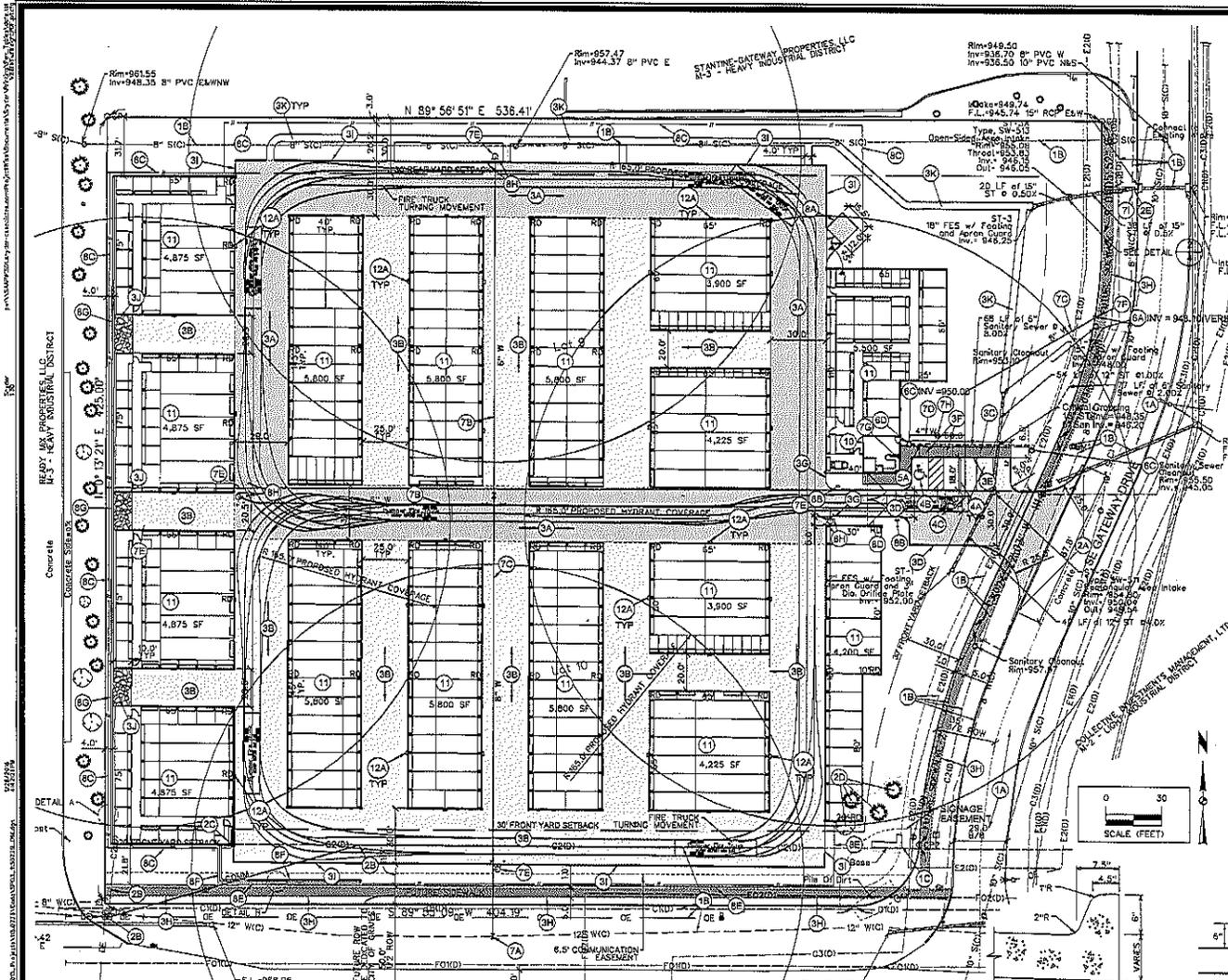
Table with columns: GRIMES, IOWA, PROJECT INFORMATION, SNYDER & ASSOCIATES, INC. Includes project name and contact info.

Table with columns: PROJECT INFORMATION, SNYDER & ASSOCIATES, INC. Includes project name and contact info.

Table with columns: PROJECT INFORMATION, SNYDER & ASSOCIATES, INC. Includes project name and contact info.



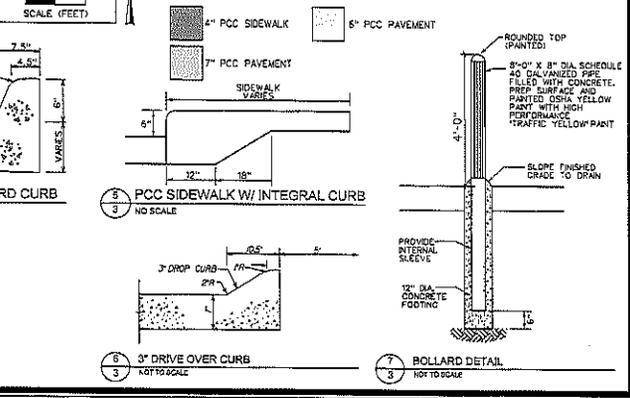
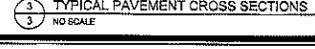
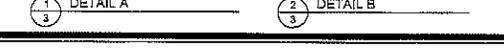
Project No: 1150729 Sheet 2 of 5



- ### DIMENSION PLAN CONSTRUCTION NOTES
- PROTECT ALL SITE FEATURES NOT SCHEDULED FOR DEMOLITION OR MODIFICATION. ANY DAMAGES TO ITEMS NOT SHOWN SHALL BE REPAIRED BY THE CONTRACTOR TO THE EXISTING SPECIFICATIONS WITHOUT ADDITIONAL COMPENSATION.
 - EXISTING PAVEMENTS TO REMAIN.
 - EXISTING UTILITIES COORDINATE ANY NECESSARY RELOCATIONS OR ADJUSTMENTS WITH THE OWNER AND UTILITY PROVIDER PRIOR TO CONSTRUCTION. ADJUSTMENTS OF UTILITY APPROPRIATE TO FINISH GRADE IS CONSIDERED INCIDENTAL TO THE PROJECT.
 - EXISTING SIGN.
 - DEMOLITION REMOVE AND DISPOSE OF THE FOLLOWING EXISTING ITEMS:
 - CRIMP CURB AT DRIVEWAY CONNECTION COORDINATE WITH UTILITY PROVIDER PRIOR TO CONSTRUCTION.
 - COMMUNICATION LINES TO LIMITS SHOWN COORDINATE WITH UTILITY PROVIDER PRIOR TO CONSTRUCTION.
 - RELOCATE EXISTING COMMUNICATION PIPING TO LOCATION SPECIFIED BY UTILITY PROVIDER.
 - CLEAR AND CRUIB EXISTING TREES INCLUDING STUMPS, ROOTBALL AND VEGETATION AS NEEDED TO CONSTRUCT IMPROVEMENTS.
 - REMOVE EXISTING 2' LONG STORM SEWER STUB.
 - PAVEMENTS PROVIDE THE FOLLOWING:
 - 4" DEPTH PCC PAVEMENT ON 12" DEPTH PREPARED SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY.
 - 8" DEPTH PCC PAVEMENT ON 12" DEPTH PREPARED SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY.
 - 4" DEPTH PCC SIDEWALK ON 6" DEPTH PREPARED SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY.
 - STANDARD CURB SEE DETAIL.
 - PCC INTEGRAL CURB SEE DETAIL.
 - PEDESTRIAN RAMP WITH MAXIMUM SLOPE OF 8.33%.
 - 4" TAPER CURB.
 - 4" PCC SIDEWALK 8' WIDTH SIDEWALK IS FUTURE AND SHALL BE INSTALLED AT OWNERS EXPENSE. CITY OF GRIMES WILL ALLOW OWNER ADEQUATE TIME FRAME TO INSTALL IMPROVEMENTS AND WILL INSTALL SIDEWALK ONLY AT TIME OF SIDEWALK INSTALLATION ON ADJACENT PROPERTY (POSS. LEAKY TONES).
 - 3" PCC DRIVE OVER CURB SEE DETAIL.
 - 8" DEPTH LANDSCAPING (POSS. LEAKY TONES).
 - PCC FILLAGE, SEE DETAIL.
 - PAVEMENT MARKINGS PROVIDE THE FOLLOWING:
 - 4" WIDE PAINTED PARKING SPOT LINES, COLOR AS PER OWNER.
 - PAINTED STATE OF IOWA APPROVED ACCESSIBLE SYMBOL.
 - 4" STRIPPING AT 3' ON CENTER SPACING WHERE SHOWN.
 - ACCESSIBLE PARKING SIGNAGE:
 - PROVIDE SIGN WITH ACCESSIBLE SYMBOL AS PER "ADAAG" STANDARDS.
 - SANITARY SEWER SERVICE: PROVIDE SANITARY SEWER PIPE AND STRUCTURES AS NOTED ON PLAN AND AS FOLLOWS:
 - CONNECT TO EXISTING SANITARY SEWER SERVICE AS PER CITY OF GRIMES STANDARDS. CONTRACTOR TO VERIFY LOCATION AND DEPTH OF EXISTING SANITARY SEWER PRIOR TO CONSTRUCTION.
 - 6" PVC SANITARY SEWER SERVICE.
 - SANITARY CLEANOUT COORDINATE WITH ARCHITECT'S PLUMBING PLANS FOR ADDITIONAL INFORMATION. CONTRACTOR SHALL VERIFY ALL FLOWLINE INFORMATION WITH PLUMBING PLANS PRIOR TO CONSTRUCTION.
 - WATER SERVICE 5.5" VITRUM DEPTH: PROVIDE WATER PIPE AND STRUCTURES AS NOTED ON PLAN AND AS FOLLOWS:
 - CONNECT TO EXISTING WATER MAIN WITH TAPPING SLEEVE AND VALVE. COORDINATE REQUIREMENTS WITH CITY OF GRIMES.
 - 4" WATER SERVICE LINE.
 - BUILDING SERVICE CONNECTION, COORDINATE WITH ARCHITECT'S MECHANICAL AND PLUMBING PLANS FOR ADDITIONAL INFORMATION.
 - HYDRANT ASSEMBLY.
 - CONNECT TO EXISTING WATER SERVICE.
 - KNOCK BOX LOCATION FOR FIRE DEPARTMENT ACCESS.
 - CURB STOP.
 - LOWER WATER MAIN AS NECESSARY TO PROVIDE 18" OF SEPARATION FROM PROPOSED 12" STORM SEWER. VERIFY LOCATION PRIOR TO CONSTRUCTION.
 - SITE AMENITIES PROVIDE THE FOLLOWING:
 - TRASH ENCLOSURE, SEE ARCHITECTURAL PLANS FOR DETAILS.
 - ENTRY KEY PAD SEE GATE DRAWINGS FOR DETAIL.
 - PROVIDE GALVANIZED CHAIN LINK FENCE (8' HIGH).
 - PROVIDE ORNAMENTAL STEEL LINK GATE SEE ARCHITECTURAL DRAWINGS FOR DETAILS.
 - PROVIDE ORNAMENTAL STEEL LINK GATE (8' HIGH) SEE ARCHITECTURAL DRAWINGS FOR DETAILS.
 - INTERLOCKING BLOCK RETAINING WALL, COORDINATE COLOR AND STYLE WITH OWNER.
 - RETAINING WALL SEE ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION.
 - BOLLARDS, SEE DETAIL THIS SHEET.
 - CONTRACTOR TO VERIFY ALL UTILITY CROSSINGS AND MAINTAIN MINIMUM 18" CLEARANCE BETWEEN UTILITIES.
 - CONTRACTOR TO COORDINATE NATURAL GAS, ELECTRICAL AND COMMUNICATION DATA SERVICES WITH UTILITY SERVICE PROVIDERS PRIOR TO START OF CONSTRUCTION.
 - SEE ARCHITECTURAL PLANS FOR DETAILED BUILDING CONSTRUCTION INFORMATION.
 - SITE ELECTRICAL PROVIDE THE FOLLOWING:
 - SITE LIGHTING LOCATIONS SHOWN FOR COORDINATION PURPOSES ONLY. SEE ELECTRICAL PLAN FOR ADDITIONAL INFORMATION.

CURVE TABLE

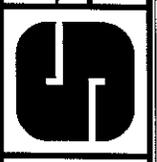
CURVE NO.	DELTA	RADIUS	ARC LENGTH	TANGENT	CHORD BEARING/DISTANCE
C-1	24° 20' 45" RT	287.00'	113.84'	57.80'	S 12° 09' 10" W 112.08'
C-2	21° 08' 54" LT	333.00'	122.92'	52.01'	S 13° 49' 07" W 121.03'
C-3	80° 40' 25" RT	35.00'	52.95'	33.02'	S 48° 36' 14" W 48.04'



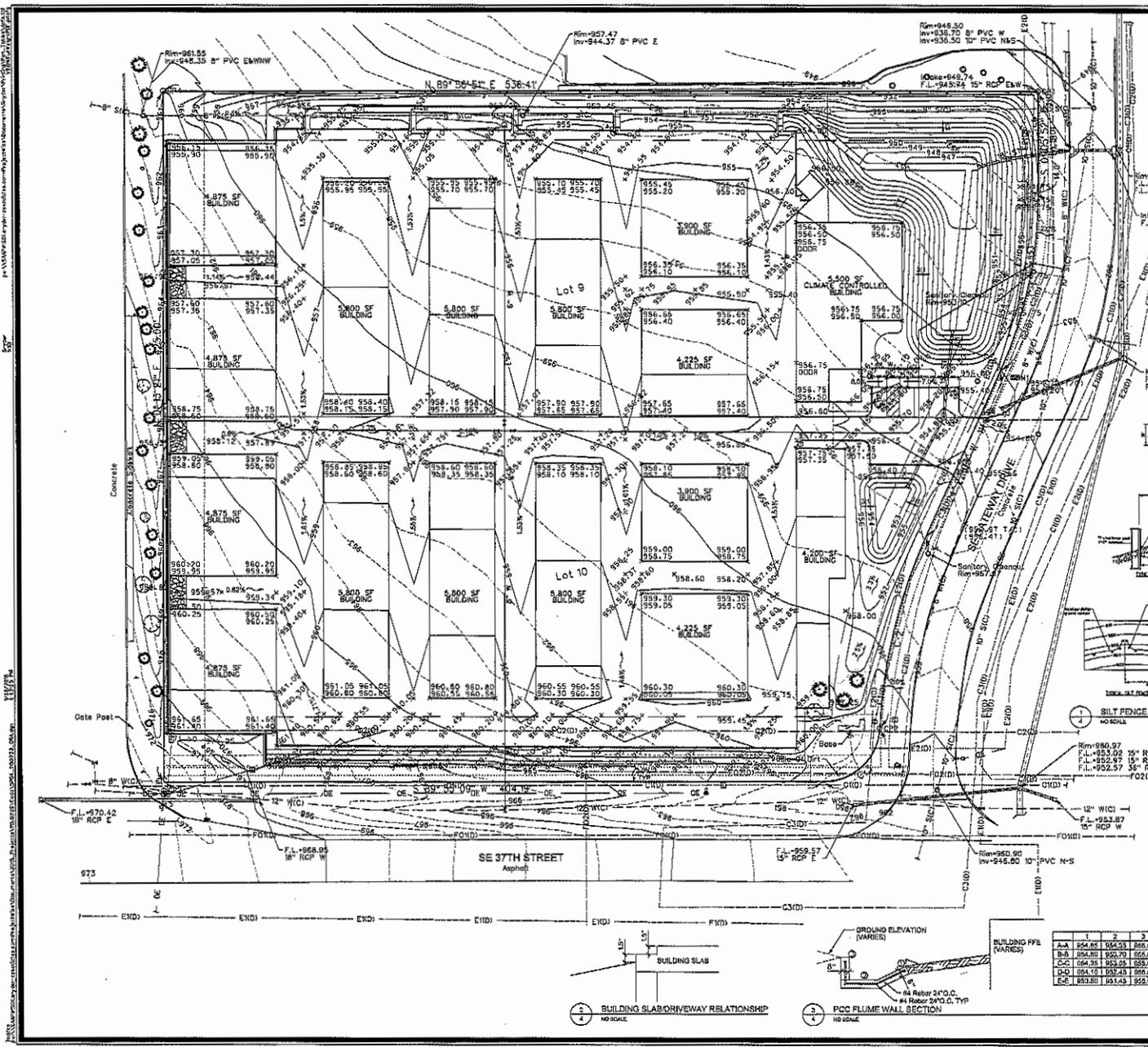
NO.	REVISIONS	DATE	BY
1	REVISED AS PER CITY COMMENTS	12/18/25	JAL

PROJECT NO: 1150729
 SHEET: 3 OF 5

GRIMES, IOWA
 DIMENSION AND UTILITY PLAN
SNYDER & ASSOCIATES, INC.

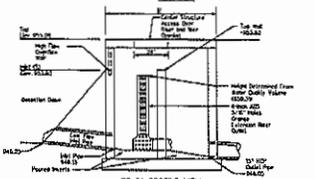
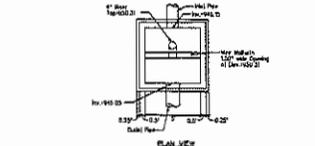
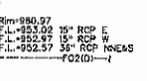
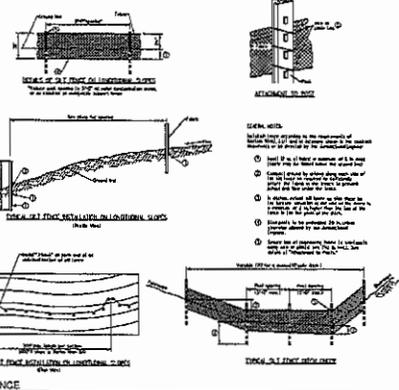
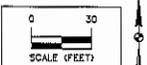


Project No: 1150729
 Sheet 3 of 5



GRADING PLAN GENERAL NOTES

- A. UTILITY WARNING: THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND/OR RECORDS OBTAINED. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COINCIDE ALL SUCH UTILITIES IN THE AREA. EITHER BY SERVICE OR ASSIGNMENT, THE SURVEY FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED.
- B. NOTIFY UTILITY OWNERS PRIOR TO BEGINNING ANY CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR DETERMINING EXISTENCE, EXACT LOCATION AND DEPTH OF ALL UTILITIES. AVOID DAMAGE TO UTILITIES AND SERVICES DURING CONSTRUCTION. ANY DAMAGE DUE TO THE CONTRACTOR'S CARELESSNESS SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE. COORDINATE AND COOPERATE WITH UTILITY COMPANIES DURING CONSTRUCTION.
- C. ALL PROPOSED CONTOURS AND SPOT ELEVATIONS SHOWN ARE FINISHED GRADES AND/OR TOP OF PAVING SLAB (OUTLET), UNLESS OTHERWISE NOTED.
- D. ALL STORM SEWER PIPE LENGTHS ARE MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE AND INCLUDE FLARED END SECTION.
- E. CONTRACTOR TO STRIP AND STOCKPILE TOPSOIL FROM ALL AREAS TO BE CUT OR FILLED. RESPIRATE TO MINIMUM 8" DEPTH TO FRESH GRADES.
- F. THE CONTRACTOR IS RESPONSIBLE FOR CLEANING DIRT AND DEBRIS FROM STREETS, DRIVEWAYS, AND SIDEWALKS CAUSED BY CONSTRUCTION ACTIVITIES.



	1	2	3
A-A	\$54.85	\$54.53	\$55.00
B-B	\$55.00	\$55.70	\$55.20
C-C	\$54.91	\$55.25	\$55.00
D-D	\$54.10	\$55.48	\$55.00
E-E	\$53.80	\$54.45	\$55.00

2 BUILDING SLAB/DRIVEWAY RELATIONSHIP
NO SCALE

3 PCC FLUME WALL SECTION
NO SCALE

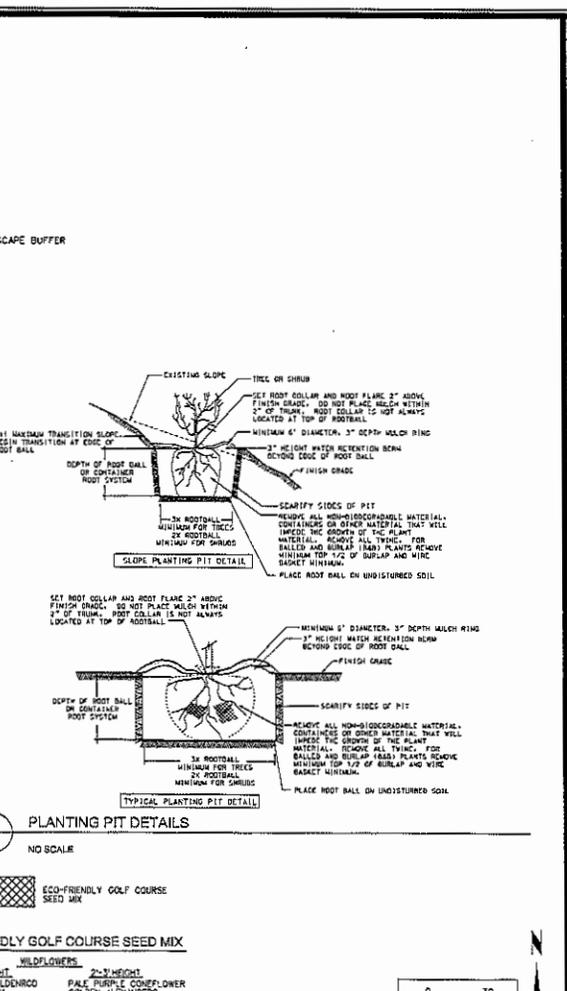
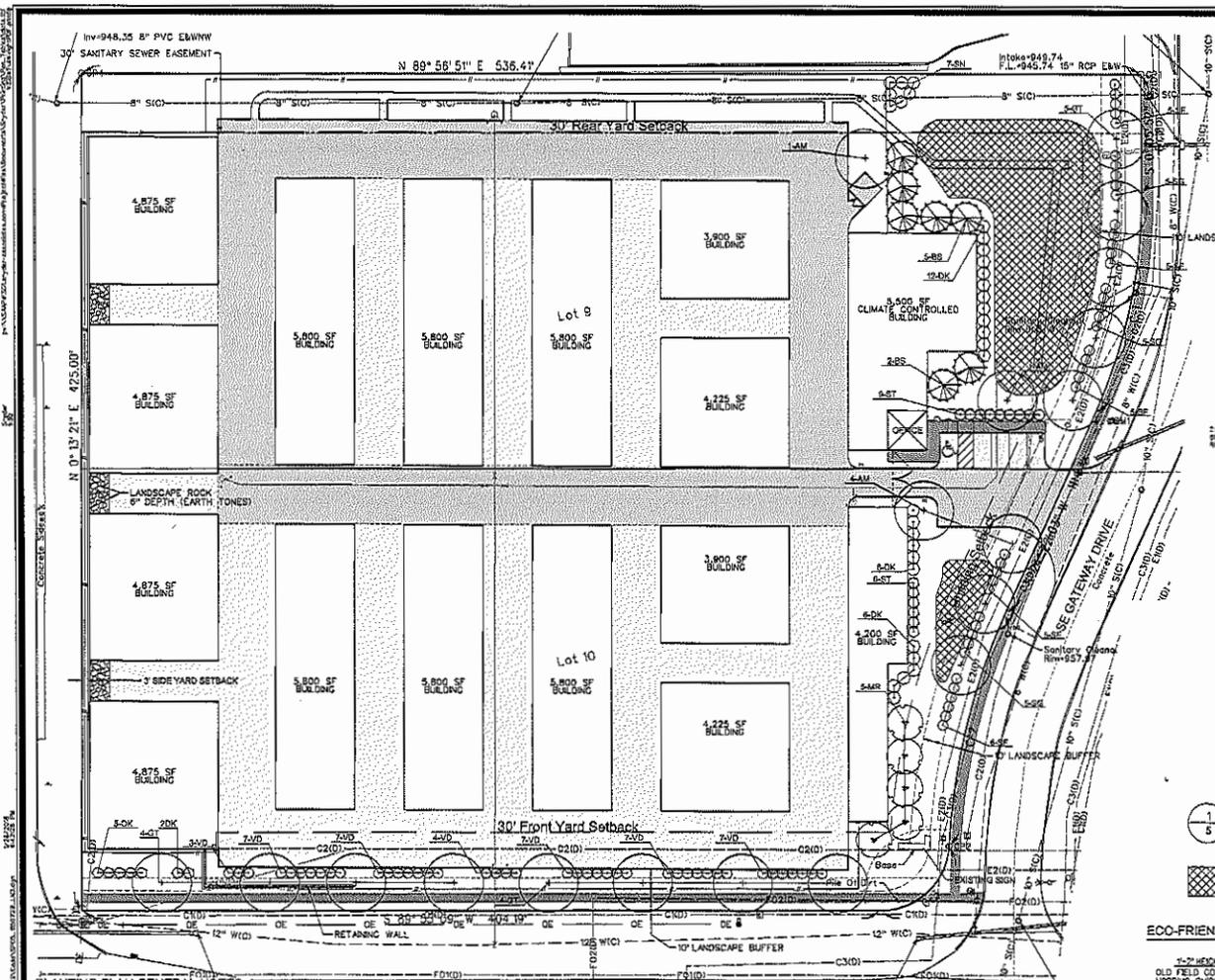
4 MODIFIED OPEN-SIDED AREA INTAKE OUTLET STRUCTURE
NO SCALE

NO.	REVISIONS PER CITY COMMENTS	DATE	BY
1	REVISED AS PER CITY COMMENTS	12/18/15	JAL

GRIMES, IOWA
2727 S.W. SNYDER BLVD.
ANKERST, IOWA 50003
515-364-2620 | www.grimesassociates.com

GRIMES MINI STORAGE
GRADING AND EROSION CONTROL PLAN
SNYDER & ASSOCIATES, INC.





PLANTING PIT DETAILS
NO SCALE

ECO-FRIENDLY GOLF COURSE SEED MIX

- WILDFLOWERS**
- 1/2" HEIGHT: OLD FIELD GOLDENROD, NOODLE ONION, PARTISAN PEA
 - 2-3" HEIGHT: PALE PURPLE CONEFLOWER, GOLDEN ALEXANDERS, FOXGLOVE, BEARDTONGUE, BUTTERFLY MILKWEED, PURPLE PRINCE CLOVER
 - 3-4" HEIGHT: BLUE WILD RINDO, ROYAL CATCHFLY, PURPLE CONEFLOWER, DENSE BLACKBERRY, MONARDA FISTULOSA
 - 2-3" HEIGHT: LITTLE BLUESTEM, PRAIRIE DROPSIDE
- GRASSES**
- 5"-12" HEIGHT: BLUE GRAMA
 - 18"-24" HEIGHT: SIDAETS GRAMA
 - 3'-4" HEIGHT: LITTLE BLUESTEM, PRAIRIE DROPSIDE

PLANT SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	COMMENTS	7
AM	5	Acer x Freemanii 'Mormo'	NARROW MAPLE	2" CAL	9B-B	21
BS	7	Platanus occidentalis	BLACKWALNUT SPRUCE	8" DB	9B-B	23
CT	13	Quercus bicolor 'Stargazer var. Strawn's Shrike'	STARKING HONEYLOCUST	2" CAL	9B-B/2AL	42
LR	3	Malva 'Royal Velvet'	ROYAL VELVET MALVA	8" DB	9B-B	16
OK	24	Syringa meyeri 'Paloma'	SWAMP NORTON LILAC	36" HL	ONT. 15 (D.C.)	
SN	7	Physocarpus opulifolius 'Soyuzhnoy'	CHINAER WINE NINEBARK	36" HL	ONT. 15 (D.C.)	
ST	39	Salix bebbiana 'Ice'	TOR BRICKLEAF SPIREA	36" HL	ONT. 15 (D.C.)	
VD	42	Viburnum dentatum 'Christina'	BLUE HOPBURN VIBURNUM	36" HL	ONT. 15 (D.C.)	
VO	18	Juniperus horizontalis 'Blue Spire'	TEA CUPFUL JUNIPER	24" HL	ONT. 15 (D.C.)	
SF	26	Salix humilis 'Froebel'	FROEBEL SPIREA	36" HL	ONT. 15 (D.C.)	

PLANTING PLAN GENERAL NOTES

A. UTILITY WARNING: THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND/OR RECORDS OBTAINED. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED. THE SURVEY FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED.

B. NOTIFY UTILITY OWNERS PRIOR TO BEGINNING ANY CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR DETERMINING EXISTENCE, EXACT LOCATION AND DEPTH OF ALL UTILITIES. AVOID DAMAGE TO UTILITIES AND SERVICES DURING CONSTRUCTION. ANY DAMAGE DUE TO THE CONTRACTOR'S NEGLIGENCE SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE. COORDINATE AND COOPERATE WITH UTILITY COMPANIES DURING CONSTRUCTION.

C. ALL PLANT MATERIAL SHALL AT LEAST MEET MINIMUM REQUIREMENTS SHOWN IN THE AMERICAN STANDARDS FOR NURSERY STOCK (AAS) 2012, LATEST EDITION.

D. CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR FROM DATE OF INSTALLATION.

E. CONTRACTOR TO PROVIDE BLACK LANDSCAPE FABRIC IN ALL PLANT BEDS.

F. CONTRACTOR TO WATER PLANT MATERIAL PER SUBAS SECTION 9030.

G. MECHANICAL UNITS LOCATED ON INTERIOR AREA OF CLIMATE CONTROL BUILDING. NO SCREENING REQUIRED.

PLANTING PLAN CONSTRUCTION NOTES

1. PROVIDE 3" W/4" DEPTH SHREDED HARDWOOD MULCH ON ALL MASS PLANTING AREAS AND INDIVIDUAL PLANTS AT 3" DIA. MINIMUM.

2. ALL AREAS DISTURBED BY CONSTRUCTION UNLESS OTHERWISE NOTED, INSTAL AND MAINTAIN 500 PER SUBAS SECTION 9030.

3. PROVIDE ECO-FRIENDLY GOLF COURSE SEED MIX AS PROVIDED BY ION EXCHANGE WWW.IONEXCHANGE.COM 1875 OLD MISSISSIPPI DRIVE, HARRISBURG, PENN. 17133. 610-663-8800. 1875-2143. OR APPROVED EQUAL ALLOWABLE SEEDING RATES SHALL BE DETERMINED BY MANUFACTURER'S RECOMMENDATIONS. SEEDING RATE = 1 LB. PER 1,000 SQ. FT.

A. YEAR 1 MAINTENANCE: KEEP MOVED TO 4-6" THROUGH THE ENTIRE FIRST SEASON.

B. YEAR 2 MAINTENANCE: KEEP MOVED TO 6-8" THROUGH THE ENTIRE SECOND SEASON.

C. YEARS 3 AND BEYOND: BURN AREA BY SPRING OR FALL. IF BURNING IS NOT POSSIBLE, MOW THE AREA IF WEEDS BECOME A PROBLEM.

LANDSCAPING REQUIREMENTS

OPEN SPACE REQUIREMENT:
TOTAL LOT AREA = 204,468 SF
204,468 X .5% = 10,223 SF REQUIRED
145,850 SF PROVIDED (22.3%)

2. TREES PER 3,000 SF OF OPEN SPACE
45,860/3,000 SF = 15.22 PLANT UNITS
9.22 X 2 = 18 TREES REQUIRED (18 TREES PROVIDED)

1 SHRUB PER 1,000 SF OF OPEN SPACE
45,860/1,000 SF = 45.86 PLANT UNITS
45.86 X 1 = 45.86 SHRUBS REQUIRED (46 SHRUBS PROVIDED)

PUBLIC RIGHT-OF-WAY REQUIREMENT - 1 OVERSTORY TREE PER 50 LF OF LOT FRONTAGE

SE GATEWAY DRIVE - 370 LF/50 LF = 7.4 TREES REQUIRED (7 PROVIDED)

SE 37TH STREET - 459 LF/50 LF = 9.18 TREES REQUIRED (8 PROVIDED)

PERFORATED BARRIER LANDSCAPE REQUIREMENTS

1 SHRUB PER 10 LF OF NON LIVING BARRIER
466 LF FRONTAGE/10 = 46.6 SHRUBS REQUIRED (49 SHRUBS PROVIDED) USE 37TH ST.

410 LF FRONTAGE/10 = 41 SHRUBS REQUIRED (41 PROVIDED USE GATEWAY DRIVE)

NO.	REVISIONS PER CITY COMMENTS	DATE	BY
1	REVISED AS PER CITY COMMENTS	12/16/15	JAL

Engineer: JAL
Checked By: MAA
Title: 17-37
Date: 12/16/15
Project No: 150729
Sheet 5 of 5

GRIMES MINI STORAGE
GRIMES, IOWA

PLANTING PLAN

SNYDER & ASSOCIATES, INC.

2737 S.W. SNYDER BLVD.
ANKENY, IOWA 50023
515-964-2020 | www.snyder-associates.com

Project No: 150729
Sheet 5 of 5



January 28, 2016

Att: Jerry Oliver, P.E., P.L.S.
Civil Engineering Consultants, Inc.
2400 86th Street Unit 12
Des Moines, Iowa 50322

Lot 2 Wal-Mart's Second Addition – Site Plan

FOX Ref No: 8630-04C.270

FOX Engineering has completed the second review for the Lot 2 Wal-Mart's Second Addition Construction Plan dated January 26, 2015. Please address the following comments:

Site Plan Cover – Sheet O1

1. Please note that the fire chief has yet to review this site plan. His comments will be forthcoming.

Dimension & Landscape Plan – Sheet O2

2. In general, the parking provided appears to meet the city ordinance. However, City staff shall review and approve parking space requirements when tenants file for occupancy.
3. Discussion is necessary about the placement of the irrigation meter for the site.

SWPPP:

4. Please provide a signed owner's certification on the SWPPP sheet.

Lighting Plan

5. Please provide cut sheets for fixtures and provide a visual of what the fixtures will look like to verify that they generally match with the Wal-Mart lighting fixtures. It appears that significant light spills to the adjacent properties. Discussion is necessary whether this should be allowed. Fixtures should all be sharp cut-off.

Architectural/Elevation Plans

6. Typically, EIFS is not allowed in the Highway 141 and Highway 44 corridor; however the city has allowed small amounts of EIFS in the past. The current elevation plans have too much EIFS. Please consider revising the building plans prior to the P&Z and Council Meeting. In addition, please state the amount of building material percentages on each side of the structure. Please verify that all exterior building walls facing adjacent streets are glazed along a minimum of 40% of the wall length of clear glass at eye level.
7. It is highly recommended that you bring detailed building materials and color schemes with you to P & Z.
8. Note: a separate permit is required for any signage on the site. Also, the signage must meet the requirements of the Grimes Code (165A.26).

Please provide a letter addressing all comments on this comment letter and/or state what was modified on the site plan to address said comments.

SITE PLAN SUBMITTAL SCHEDULE:

PLANNING & ZONING: February 2, 2016 at 5:30 at the Grimes City Hall

COUNCIL MEETING: February 9, 2016 at 5:30 at the Grimes City Hall

Once all comments are addressed, please submit a .pdf for review.

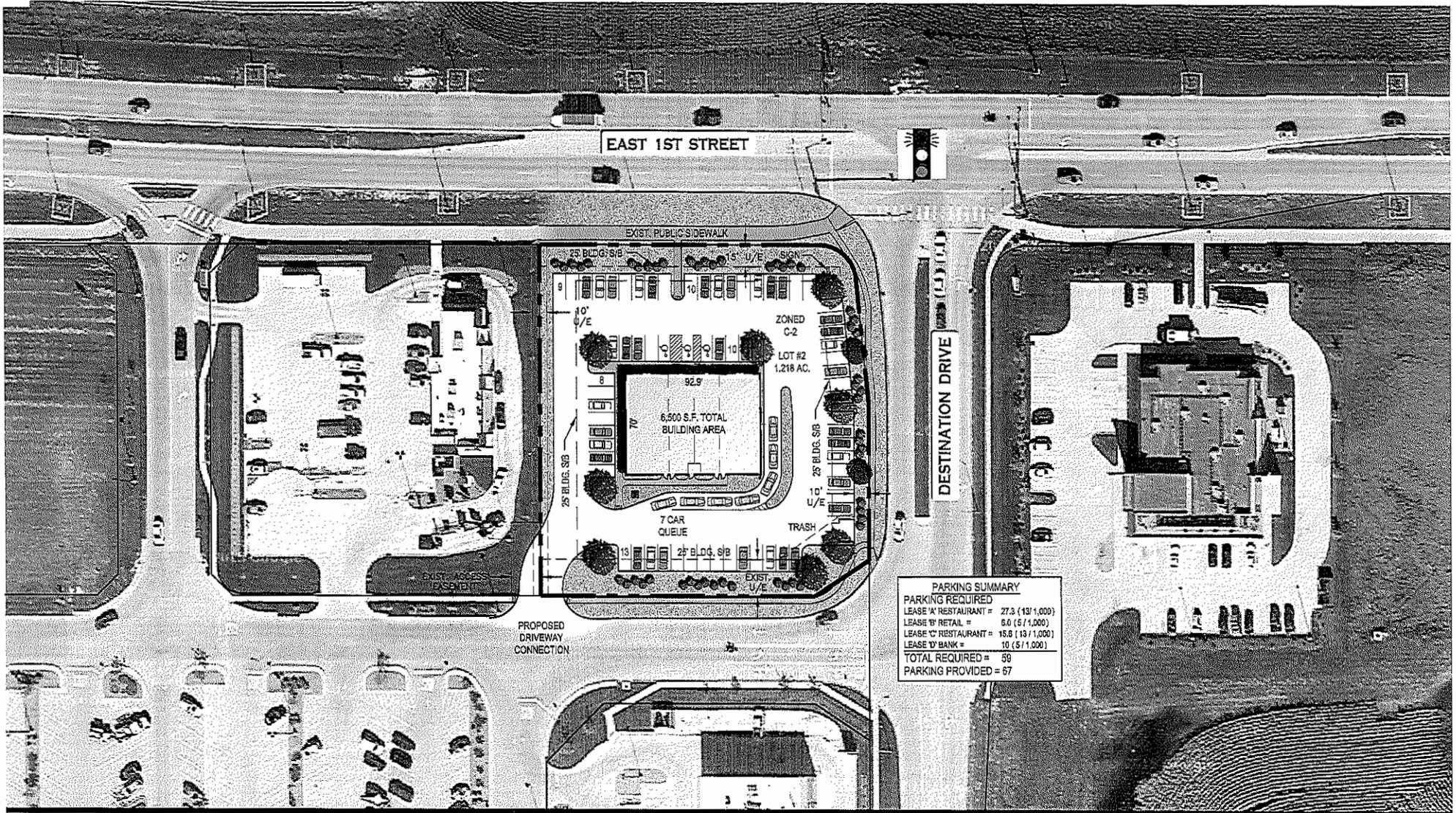
If you have any questions or concerns, please contact John Gade or myself at (515) 233-0000.

FOX ENGINEERING ASSOCIATES, INC.



Mitch Holtz, P.E.

Copy to: Kelley Brown, City of Grimes
Dave Sigler, City of Grimes
Scott Clyce, City of Grimes



This drawing has been prepared by the Architect or under the Architect's direct supervision. The accuracy is intended to be approximate in nature only. Property boundaries, easements, encroachments, topographic features, and other information shown on this drawing were obtained from the information available to be relied on at the time of design. This document reflects a site plan concept only, and does not necessarily reflect all governing authority requirements, including, but not limited to, zoning, building, fire, and other applicable codes, and other factors that may impact final design. The drawing shall not be used for construction or legal proceedings without the written consent of Simonson & Associates Architects, LLC.

LOT #2 WAL-MART'S SECOND ADDITION

SITE CONCEPT #2
GRIMES, IOWA

JANUARY 27, 2016

NORTH

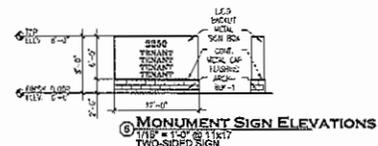
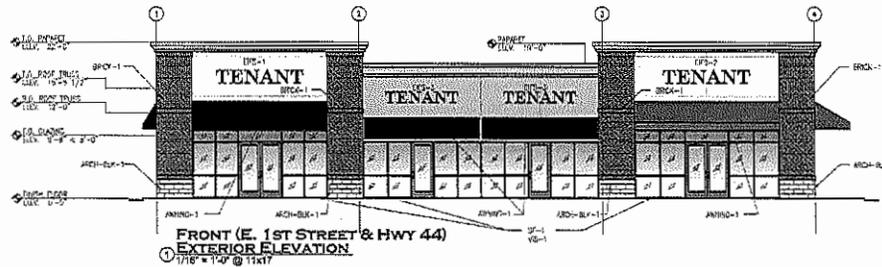


1" = 60'-0" @ 11"x17" Sheet
SAA# 10128
DRAWN BY: AVG



simonson

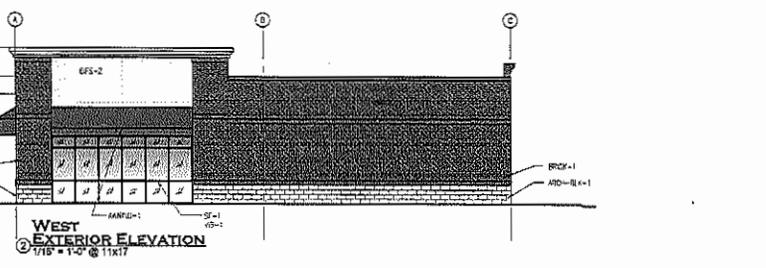
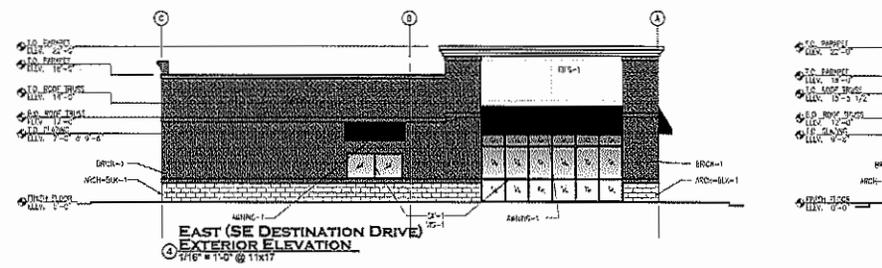
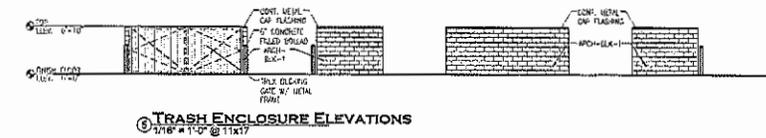
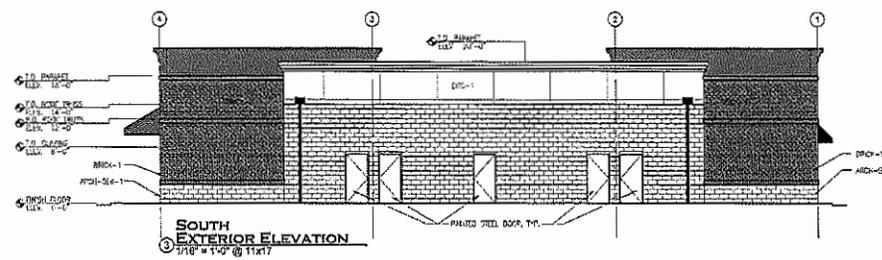
SIMONSON & ASSOCIATES ARCHITECTS LLC
1717 Ingersoll Avenue Suite 117 des Moines IA 50309
562 515 449 5646 www.simonsonarc.com



EXTERIOR MATERIAL LEGEND

MAT. LABEL	MATERIAL DESCRIPTION	MATERIAL SPECIFICATION INFORMATION
ARCH-BLK-1	BRICK	SPARKLE PAPERFINISH, COOL TONED, FULL BODIED, 80% NATURAL, 20% GLAZED
BRCK-1	BRICK	NATURAL, WEAR
ARCH-GLZ-1	GLAZING	LOW EMISSION, CLEAR GLASS, METAL FRAME
GRS-1	EXTERIOR REGULATION FINISH SYSTEM	SAFARI, GRP-RITE
GRS-2	EXTERIOR REGULATION FINISH SYSTEM	SAFARI, LOW EMISS
GRS-3	EXTERIOR REGULATION FINISH SYSTEM	SAFARI, DARK BLUE
SP-1	TA. ALUMINUM EXTERIOR FINISH	CLASH, ANODIZED FINISH
MS-1	1" BOREALIS POLYURETHANE	EXTERIOR, 1/2" LOW E, COATING

1/4" METAL SIGN LOGOS & FRAMES, FINISHED TO MATCH ADJACENT BRICK COLOR. SIGNING & ORNAMENTS, METAL FINISHED TO MATCH ADJACENT BRICK. PANELS & SOFFITS, METAL FINISHED TO MATCH BRICK COLOR. CHAIRS, METAL, PRE-PANDED TO MATCH ADJACENT METAL PANEL COLOR. LIGHT FIXTURES, PRE-FINISHED BRASS BRONZE FINISHES. SEALANTS, CONCRETE FILLER, BRICK, DILATED FINISH, SATIN YELLOW.



LOT 2 WAL-MART'S SECOND ADDITION
 2250 E. 1ST STREET
 GRIMES, IOWA
 02-02-2016

The drawings have been prepared by the Architect or Engineer and are intended to be used for the construction of the project. They are not to be used for any other purpose without the written consent of the Architect or Engineer. The Architect or Engineer is not responsible for any errors or omissions in the drawings.

simonson
 simonson & associates architects llc
 1717 Ingersoll Avenue Suite 100 Des Moines IA 50309
 515.266.3645 www.simonsonpa.com

SA01 15128



simonson & associates architects llc
1717 ingersoll avenue suite 117
des moines ia 50309
ph 515 440 5626
www.simonsonassoc.com

February 2, 2016

John Gade & Mitch Holtz
Fox Engineering Associates, Inc.
Aspen Business Park
414 South 17th Street
Ames, Iowa 50010

Re: Lot 2 Wal-marts Second Addition, 2250 E. 1st Street, Grimes, Iowa
Exterior Building Material Percentages

Dear John & Mitch,

On behalf of All Points Development we are submitting revised Lot 2 Wal-marts Second Addition 2nd Submittal comment response.

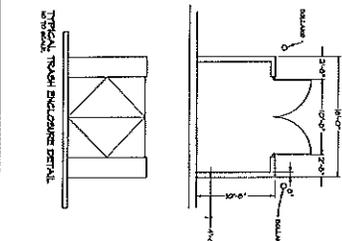
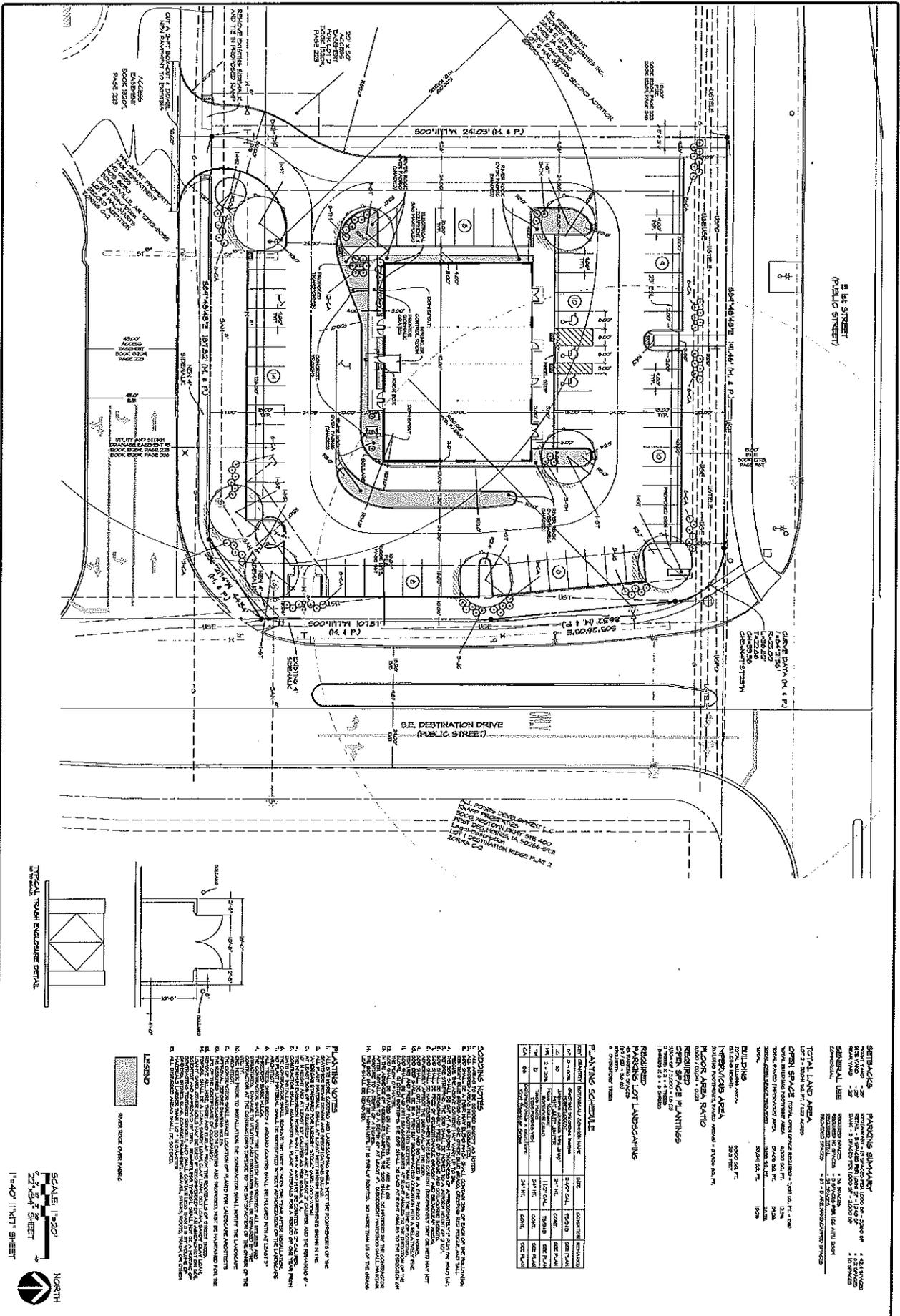
6. The viewable Exterior Building Material Percentages for each side of the structure for the Exterior Elevations Rendering dated 02-02-2016 are indicated in the table below:

	North Elevation E. 1 st Street	East Elevation SE Destination Dr.	South Elevation	West Elevation	Building Total
Masonry	21%	64%	73%	67%	55%
Glass	34%	16%		14%	16%
EIFS	31%	13%	20%	13%	20%
Awning	14%	7%		6%	7%
Metal Doors			7%		2%
Wall length glazed with clear glass at eye level	78%	40%		29%	

If you need anything further or have any comments or questions, please do not hesitate to contact us.

Best Regards,

Scott W. Snyder
Simonson & Associates Architects LLC



PLANTING NOTES

1. ALL PLANTING, INCLUDING LANDSCAPING, SHALL MEET THE REQUIREMENTS OF THE IOWA PLANTING ACT, CHAPTER 177C, IAC 177C.1 AND 177C.2.
2. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE IOWA PLANTING ACT, CHAPTER 177C, IAC 177C.1 AND 177C.2.
3. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE IOWA PLANTING ACT, CHAPTER 177C, IAC 177C.1 AND 177C.2.
4. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE IOWA PLANTING ACT, CHAPTER 177C, IAC 177C.1 AND 177C.2.
5. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE IOWA PLANTING ACT, CHAPTER 177C, IAC 177C.1 AND 177C.2.
6. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE IOWA PLANTING ACT, CHAPTER 177C, IAC 177C.1 AND 177C.2.
7. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE IOWA PLANTING ACT, CHAPTER 177C, IAC 177C.1 AND 177C.2.
8. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE IOWA PLANTING ACT, CHAPTER 177C, IAC 177C.1 AND 177C.2.
9. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE IOWA PLANTING ACT, CHAPTER 177C, IAC 177C.1 AND 177C.2.
10. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE IOWA PLANTING ACT, CHAPTER 177C, IAC 177C.1 AND 177C.2.

LEGEND

- SHRUBS
- GRASS
- OPEN MOUND

SCOPING NOTES

1. THE DESIGNER HAS CONDUCTED VISUAL SURVEYS OF THE SITE AND THE ADJACENT AREAS.
2. THE DESIGNER HAS CONDUCTED VISUAL SURVEYS OF THE SITE AND THE ADJACENT AREAS.
3. THE DESIGNER HAS CONDUCTED VISUAL SURVEYS OF THE SITE AND THE ADJACENT AREAS.
4. THE DESIGNER HAS CONDUCTED VISUAL SURVEYS OF THE SITE AND THE ADJACENT AREAS.
5. THE DESIGNER HAS CONDUCTED VISUAL SURVEYS OF THE SITE AND THE ADJACENT AREAS.
6. THE DESIGNER HAS CONDUCTED VISUAL SURVEYS OF THE SITE AND THE ADJACENT AREAS.
7. THE DESIGNER HAS CONDUCTED VISUAL SURVEYS OF THE SITE AND THE ADJACENT AREAS.
8. THE DESIGNER HAS CONDUCTED VISUAL SURVEYS OF THE SITE AND THE ADJACENT AREAS.
9. THE DESIGNER HAS CONDUCTED VISUAL SURVEYS OF THE SITE AND THE ADJACENT AREAS.
10. THE DESIGNER HAS CONDUCTED VISUAL SURVEYS OF THE SITE AND THE ADJACENT AREAS.

PLANTING SCHEDULE

NO.	PLANTING	QUANTITY	SIZE	LOCATION	REMARKS
1	PLANTING	1	12"	DRIVE LANE	SEE PLAN
2	PLANTING	1	12"	DRIVE LANE	SEE PLAN
3	PLANTING	1	12"	DRIVE LANE	SEE PLAN
4	PLANTING	1	12"	DRIVE LANE	SEE PLAN
5	PLANTING	1	12"	DRIVE LANE	SEE PLAN
6	PLANTING	1	12"	DRIVE LANE	SEE PLAN
7	PLANTING	1	12"	DRIVE LANE	SEE PLAN
8	PLANTING	1	12"	DRIVE LANE	SEE PLAN
9	PLANTING	1	12"	DRIVE LANE	SEE PLAN
10	PLANTING	1	12"	DRIVE LANE	SEE PLAN

REQUIRED PARKING LOT LANDSCAPING

SEE PLAN FOR DETAILS.

GENERAL NOTES

1. THE DESIGNER HAS CONDUCTED VISUAL SURVEYS OF THE SITE AND THE ADJACENT AREAS.
2. THE DESIGNER HAS CONDUCTED VISUAL SURVEYS OF THE SITE AND THE ADJACENT AREAS.
3. THE DESIGNER HAS CONDUCTED VISUAL SURVEYS OF THE SITE AND THE ADJACENT AREAS.
4. THE DESIGNER HAS CONDUCTED VISUAL SURVEYS OF THE SITE AND THE ADJACENT AREAS.
5. THE DESIGNER HAS CONDUCTED VISUAL SURVEYS OF THE SITE AND THE ADJACENT AREAS.
6. THE DESIGNER HAS CONDUCTED VISUAL SURVEYS OF THE SITE AND THE ADJACENT AREAS.
7. THE DESIGNER HAS CONDUCTED VISUAL SURVEYS OF THE SITE AND THE ADJACENT AREAS.
8. THE DESIGNER HAS CONDUCTED VISUAL SURVEYS OF THE SITE AND THE ADJACENT AREAS.
9. THE DESIGNER HAS CONDUCTED VISUAL SURVEYS OF THE SITE AND THE ADJACENT AREAS.
10. THE DESIGNER HAS CONDUCTED VISUAL SURVEYS OF THE SITE AND THE ADJACENT AREAS.

TOTAL LAND AREA

SEE PLAN FOR DETAILS.

OPEN SPACE PLANTINGS

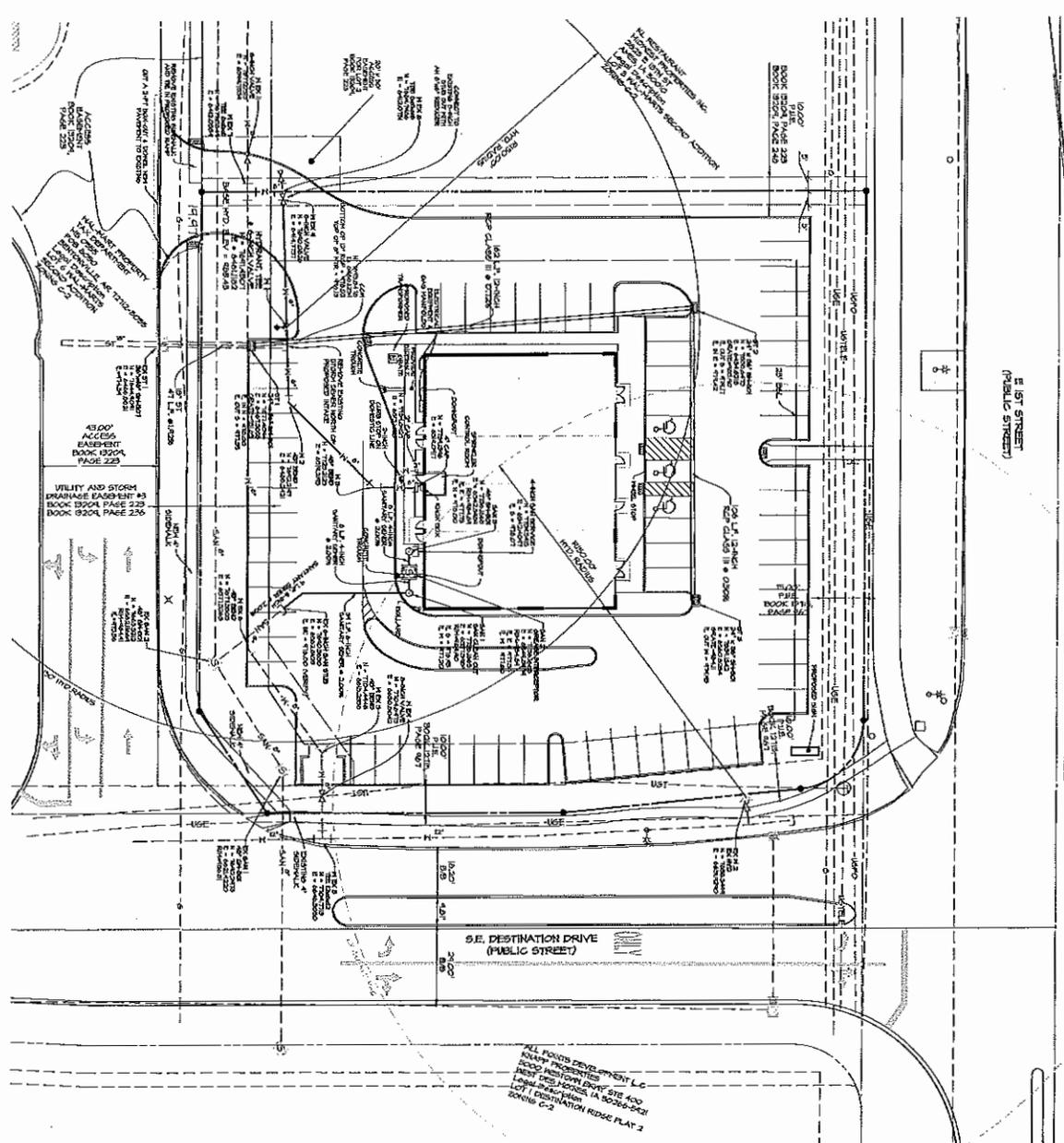
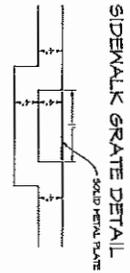
SEE PLAN FOR DETAILS.

FLOOR AREA RATIO

SEE PLAN FOR DETAILS.

SCALE: 1"=20'

NORTH



SCALE: 1"=20'
 SHEET 24 OF 25
 1"=40' 11"x17" SHEET

LOT 2 WAL-MART'S SECOND ADDITION
 GRIMES, IOWA
UTILITY PLAN

DATE	REVISIONS	COMMENTS
JANUARY 25, 2006	1	01-26-2006
	2	
	3	
	4	
	5	
	6	

DATE OF SURVEY: DEC. 24, 2005
 DESIGNED BY: JFD
 DRAWN BY: PC



Civil Engineering Consultants, Inc.
 2400 86th Street, Unit 12 • Des Moines, Iowa 50322
 515.276.4884 • Fax: 515.276.7084 • mail@ceclac.com



January 28, 2016

Att: Ed Pelds

Leo Pelds Engineering Company
2323 Dixon Street
Des Moines, IA 50316

Casey's General Store – Site Plan

951 Gateway Drive
FOX Ref No: 8630-16A.240

FOX Engineering has completed the second review for the Casey's General Store Site Plan to be located at 951 Gateway Drive dated January 21, 2016. Please address the following comments:

General Comments

1. If you have not already, please consider beginning the approval process through the State Fire Marshal for the UST. This can take some time to accomplish.

Sheet 3 – Site Plan(AL-101)

2. Dimension the monument sign size.
3. Please match the driveway approach line work to that which is shown on the other sheets.
4. The ramp at the intersection of SW 11th and SE Gateway does not appear to be ADA accessible (tactile warning pad would be within the turning space). Please review configuration of this ramp and repave as necessary to achieve ADA accessibility. It appears that the sidewalk should connect to the trail further to the east which can be done by bending the sidewalk along the radius at the lot corner.
5. Please provide the irrigation meter in the same room as the building water meter.

Sheet 4 – Grading Plan

6. Please provide erosion control at discharge points into the pond. Riprap is not allowed.

Sheet 6 – Landscape Plan

7. Please provide a formal request for waiver for submittal to the city for the dumpster placement facing public right of way front setback as per 165A.27.

Colored Rendering:

8. Please provide the updated colored renderings once they are complete. Please bring to the Planning and Zoning and Council meetings.

Architectural/Elevation Plans

9. Discussion is necessary whether the provided EIFS in the building front peak meets the intent of the Grimes Code. In the past, Grimes has allowed small amounts of EIFS on structures within Zone 1.
10. It is highly recommended that you bring building materials to P&Z for discussion.

Stormwater Management Plan

11. Section 4.e.1 – Please provide a spillway that is sized for the 100-yr proposed condition event and provide comments accordingly. This formal spillway is required in the event of a catastrophic event and/or clogging of the outlet pipe. Overflow protection in the form of proper erosion control is required. This shall be designed based on the 100-yr proposed event discharge over the spillway. Revise Section 4.e accordingly. Provide the calculations in the report.

Stormwater Pollution Prevention Plan

12. Page 56, insert Public Notice, proof of publishing, Notice of Intent and DNR authorization letter.
13. The grading plan has a detail for a construction entrance but does not indicate where the construction entrance will be located. Because the site is so small, I am alright with not showing the construction entrance(s) and staging area(s) on the site so long as it is understood:
 - a. A construction entrance(s) will be installed
 - b. Staging area, chemical toilet, PCC washout will be appropriately located on the site
 - c. These items will be shown on site map for weekly observation reports

Post –Construction Stormwater Maintenance Agreement

14. Please provide a Stormwater Post Construction Easement. Please state how the detention areas and swales will be maintained (type of grass, mowing requirements, etc).

Please provide a letter addressing all comments on this comment letter and/or state what was modified on the site plan to address said comments.

SITE PLAN SUBMITTAL SCHEDULE:

PLANNING & ZONING: February 2, 2016 at 5:30 at the Grimes City Hall

COUNCIL MEETING: February 9, 2016 at 5:30 at the Grimes City Hall

Once all comments are addressed, please submit a .pdf for review.

If you have any questions or concerns, please contact John Gade or myself at (515) 233-0000.

FOX ENGINEERING ASSOCIATES, INC.



Mitch Holtz, P.E.

Copy to: Kelley Brown, City of Grimes
Dave Sigler, City of Grimes
Scott Clyce, City of Grimes



101 Harvey Street
Grimes, Iowa 50111

FOR INFORMATIONAL AND ILLUSTRATION PURPOSES ONLY. ALL PRODUCT,
SERVICE AND CORPORATE NAMES ARE THE PROPERTY OF THEIR RESPECTIVE OWNERS.

www.redleonard.com
513-574-9500

red leonard associates



101 Harvey Street
Grimes, Iowa 50111

FOR INFORMATIONAL AND ILLUSTRATION PURPOSES ONLY. ALL PRODUCT,
SERVICE AND CORPORATE NAMES ARE THE PROPERTY OF THEIR RESPECTIVE OWNERS.

www.redleonard.com
515-574-9500

red leonard associates



101 Harvey Street
Grimes, Iowa 50111

FOR INFORMATIONAL AND ILLUSTRATION PURPOSES ONLY. ALL PRODUCT,
SERVICE AND CORPORATE NAMES ARE THE PROPERTY OF THEIR RESPECTIVE OWNERS.

www.redleonard.com
513-574-9500

red leonard associates



101 Harvey Street
Grimes, Iowa 50111

FOR INFORMATIONAL AND ILLUSTRATION PURPOSES ONLY. ALL PRODUCT,
SERVICE AND CORPORATE NAMES ARE THE PROPERTY OF THEIR RESPECTIVE OWNERS.

www.redleonard.com
513-574-9500

red leonard associates



101 Harvey Street
Grimes, Iowa 50111

FOR INFORMATIONAL AND ILLUSTRATION PURPOSES ONLY. ALL PRODUCT,
SERVICE AND CORPORATE NAMES ARE THE PROPERTY OF THEIR RESPECTIVE OWNERS.

www.redleonard.com
515-574-9500

red leonard associates



101 Harvey Street
Grimes, Iowa 50111

FOR INFORMATIONAL AND ILLUSTRATION PURPOSES ONLY. ALL PRODUCT,
SERVICE AND CORPORATE NAMES ARE THE PROPERTY OF THEIR RESPECTIVE OWNERS.

www.redleonard.com
515-574-9500

red leonard associates

Site Improvements

for

Casey's General Stores

951 Gateway Drive

Grimes, Iowa



ZONING:
 C-2 WITH ZONE 1 HIGHWAY MIXED USE DEVELOPMENT CORRIDOR RESTRICTIONS
 (SEE ZONING TABLE)

BUILDINGS:
 PROPOSED CASEY'S BUILDING ~ 43' x 106' (4,474 SQ.FT.)

PAVING:
 THE APPROACH SHALL BE 7" THICK P.C.C.
 THE PARKING LOT SHALL BE 8" THICK P.C.C.
 THE PROPOSED CURB WILL BE A 6" STANDARD CURB

SITE AREA:
 2.15 ACRES (92,812 SQ.FT.)

OPEN SPACE:
 REQUIRED - 2.13 ACRES * 0.20 = 0.43 ACRES (18,822 SQ.FT.) = 20%
 PROPOSED - 1.01 ACRES / 2.13 ACRES * 100% = 47%

IMPERVIOUS SPACE:
 PROPOSED 1.12 ACRES (48,831 SQ.FT.)

PARKING:
 REQUIRED - 2206 NET FLOOR AREA, (USE 200 SQ.FT. FOR PARKING SPACE SIZE)
 SALES FLOOR AREA = 2,000 SQ.FT. (2,000*2000)/(100*200) = 20 SPACES REQUIRED
 30 TOTAL PARKING SPACES ARE PROVIDED
 14 SPACES (INCLUDING 2 HANDICAP PARKING STALLS) AND 16 PUMP ISLAND SPACES.

FLOODPLAIN:
 PER FEMA PANEL #180228 001 B, THE SITE IS LOCATED IN ZONE C, AREAS OF MINIMAL FLOODING.

SION:
 PROPOSED CASEY'S MONUMENT SIGN AT THE SOUTHEAST CORNER OF THE PROPERTY.

DISTURBED AREAS:
 ALL DISTURBED AREAS SHALL BE SODDED.
 THE DISTURBED AREA FOR THIS SITE IS GREATER THAN 1 ACRE, THEREFORE A NPDES PERMIT IS REQUIRED.

CONSTRUCTION SCHEDULE:

ACTIVITY	START	STOP
GRADING	APRIL '16	SEPTEMBER '16
UTILITIES	MAY '16	NOV '16
PAVEMENT	MAY '16	AUGUST '16
BUILDING	MAY '16	AUGUST '16
LANDSCAPING	AUGUST '16	SEPTEMBER '16

- GENERAL NOTES:**
- ALL CONSTRUCTION TO BE COMPLETED PER CURRENT IOWA S.U.D.A.S. ADDITION.
 - ANY DIRT OR CONSTRUCTION DEBRIS SPILLED ON ADJACENT PROPERTIES OR RIGHT OF WAYS SHALL BE PROMPTLY REMOVED.
 - ALL DISTURBED AREAS SHALL BE SODDED AFTER CONSTRUCTION.
 - ALL EXTERIOR LIGHTING SHALL BE INSTALLED TO SHINE DOWN AND AWAY FROM RESIDENTIALLY ZONED AREAS.
 - ALL EXTERIOR SIGNS ARE TO BE REVIEWED SEPARATELY, AND MUST BE APPROVED WITH ZONING ENFORCEMENT BEFORE SIGN PERMITS CAN BE ISSUED.
 - ANY AMENDMENTS OR CHANGES TO THE PROJECT SITE THAT DO NOT MEET WHAT IS SHOWN ON THE SITE PLAN NEED TO BE APPROVED WITH THE CITY OF GRIMES PRIOR TO INSTALLATION/CONSTRUCTION.
 - ALL TRASH AND RECYCLING SHALL BE CONTAINED IN THE OUTDOOR DUMPSTER/RECYCLE AREA.
 - HANDICAPPED PARKING STALLS & SIGNS SHALL BE PROVIDED PERMITS TO THE STATE CODE.
 - ACCESS TO THE PRIVATE DRIVE AND PROPERTY TO THE EAST OF THE SITE MUST BE MAINTAINED AT ALL TIMES.

- CITY OF GRIMES STANDARD NOTES FOR SITE PLANS:**
- GENERAL NOTES:**
 - All work shall be done in accordance with the current version of the Urban Standards Specifications for Public Improvements on the date of approval and the City of Grimes Supplemental Specifications.
 - A preconstruction meeting is required prior to the start of construction. The Contractor shall be responsible to coordinate this meeting. Contact Fredrick Willerton with IOK Engineering (515-233-0000).
 - All permits (DNR, DOT, Army Corps, etc.) shall be obtained prior to the start of construction.
 - The Developer and/or Contractor shall be responsible to provide the City of Grimes with Record Drawings of all improvements as per City Standard procedures.
 - A Knox box is required by the fire department and shall be obtained at City Hall.
 - All site lighting shall not spill onto adjacent properties or right-of-ways.
 - SANITARY SEWER NOTES:**
 - The Contractor is required to place a temporary plug in the existing downstream sanitary sewer manhole prior to the start of construction. The plug shall be removed following approval of construction by the City of Grimes.
 - Sanitary gravity pipe material shall be PVC SDR 26 or Truex (8" to 18").
 - Sanitary gravity service pipe material shall be PVC SDR 23.5 (4" to 8").
 - All sanitary sewer manholes shall have elcos.
 - All sanitary sewer manhole castings shall be coated with interior chimney acrole.
 - All sanitary sewer manhole castings located within pavement shall be based out.
 - Sanitary Sewer testing & televising (8" to 18") shall be completed prior to paving.
 - The sewer system shall be flushed with water prior to televising.
 - WATER MAIN NOTES:**
 - All fire hydrants shall be American Fire Control-Hydrox Pump W-67-250, Mueller Super Centurion 230 (3way A-23), or City Medallion P-2348. All hydrants shall have the following: 8" Wd. Shoe, 2-1/2" Hoop Nipple, 4-1/2" Stearns Nozzle, NSI Threaded, Pentagon NPT/BSPT 1 1/2" Chain on each end left, 3-1/2" bury, one factory painted red. The minimum spool pipe length from one (1) valve to hydrant shall be 20'.
 All hydrants will immediately be covered with a black plastic bag (or equivalent) once the hydrant is installed. The City of Grimes will notify the Contractor when the bags can be removed.
 - A tracer wire receptacle shall be installed at each hydrant.
 - All valves shall be resilient wedge gate valves.
 - Water service shall be 1-inch minimum type K copper.
 - Proposed water main shall be pressure tested and chlorinated by the Developer. The filling of the water main shall be done by the City of Grimes. The Electric Test and a minimum of 1st to 1st test shall be done by the Developer and results provided by FAX to US Water at 515-285-7300. If the test does not pass, the Contractor will be required to pay for all the water used to repeat the test.
 - STORM SEWER NOTES:**
 - All storm sewer in the ROW shall be RCP, unless otherwise approved by the City.
 - All lined end sections shall have footings and apron grates. The last 3 pipe sections and the flared end section on all culverts shall be tiled. All storm sewer joints shall be wrapped with engineering fabric.
 - The Contractor is responsible for roofing any field tile damaged during construction. The tile should be directed to public storm sewer if possible. The Contractor shall record the elevation and location of all tiles.
 - All sump service lines shall have tracer wire.

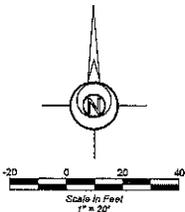
SHEET INDEX

Sheet 1	.....Cover Sheet
Sheet 2	.....Boundary & Topo
Sheet 3	.....Site Plan (AL-101)
Sheet 4	.....Grading Plan
Sheet 5	.....Utility Plan
Sheet 6	.....Landscaping Plan
Sheet 7	.....Details
Sheet 8	.....Elevation (A-201)
Sheet 9	.....Elevation (A-202)
Sheet 10	.....Elevation (AL-201)

Zoning Information

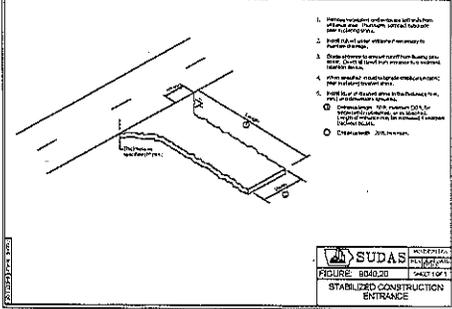
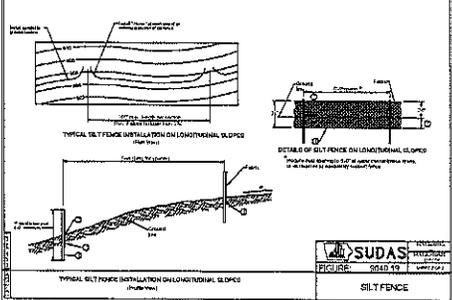
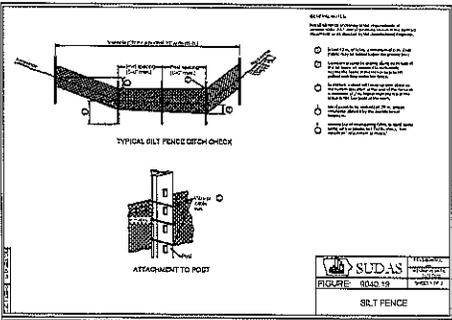
CURRENT ZONING	C-2 WITH ZONE 1 HIGHWAY MIXED USE DEVELOPMENT CORRIDOR RESTRICTIONS			
CURRENT USE	VACANT PROPERTY			
ITEM	REQUIRED	PROPOSED	APPROVED	300 NE Harvey Street Grimes, Iowa 52124
APPROVAL AUTHORITY	1.0000	3.0000	1.0000	1.0000
MINIMUM FLOOR AREA	---	---	---	---
MINIMUM HEIGHT	---	---	---	---
MINIMUM SETBACK	---	---	---	---
MINIMUM LOT AREA	---	---	---	---
MINIMUM LOT WIDTH	---	---	---	---
MINIMUM LOT DEPTH	---	---	---	---
MINIMUM LOT AREA	---	---	---	---
MINIMUM LOT WIDTH	---	---	---	---
MINIMUM LOT DEPTH	---	---	---	---
MINIMUM LOT AREA	---	---	---	---
MINIMUM LOT WIDTH	---	---	---	---
MINIMUM LOT DEPTH	---	---	---	---
MINIMUM LOT AREA	---	---	---	---
MINIMUM LOT WIDTH	---	---	---	---
MINIMUM LOT DEPTH	---	---	---	---
MINIMUM LOT AREA	---	---	---	---
MINIMUM LOT WIDTH	---	---	---	---
MINIMUM LOT DEPTH	---	---	---	---
MINIMUM LOT AREA	---	---	---	---
MINIMUM LOT WIDTH	---	---	---	---
MINIMUM LOT DEPTH	---	---	---	---
MINIMUM LOT AREA	---	---	---	---
MINIMUM LOT WIDTH	---	---	---	---
MINIMUM LOT DEPTH	---	---	---	---
MINIMUM LOT AREA	---	---	---	---
MINIMUM LOT WIDTH	---	---	---	---
MINIMUM LOT DEPTH	---	---	---	---
MINIMUM LOT AREA	---	---	---	---
MINIMUM LOT WIDTH	---	---	---	---
MINIMUM LOT DEPTH	---	---	---	---
MINIMUM LOT AREA	---	---	---	---
MINIMUM LOT WIDTH	---	---	---	---
MINIMUM LOT DEPTH	---	---	---	---
MINIMUM LOT AREA	---	---	---	---
MINIMUM LOT WIDTH	---	---	---	---
MINIMUM LOT DEPTH	---	---	---	---
MINIMUM LOT AREA	---	---	---	---
MINIMUM LOT WIDTH	---	---	---	---
MINIMUM LOT DEPTH	---	---	---	---
MINIMUM LOT AREA	---	---	---	---
MINIMUM LOT WIDTH	---	---	---	---
MINIMUM LOT DEPTH	---	---	---	---
MINIMUM LOT AREA	---	---	---	---
MINIMUM LOT WIDTH	---	---	---	---
MINIMUM LOT DEPTH	---	---	---	---
MINIMUM LOT AREA	---	---	---	---
MINIMUM LOT WIDTH	---	---	---	---
MINIMUM LOT DEPTH	---	---	---	---
MINIMUM LOT AREA	---	---	---	---
MINIMUM LOT WIDTH	---	---	---	---
MINIMUM LOT DEPTH	---	---	---	---
MINIMUM LOT AREA	---	---	---	---
MINIMUM LOT WIDTH	---	---	---	---
MINIMUM LOT DEPTH	---	---	---	---
MINIMUM LOT AREA	---	---	---	---
MINIMUM LOT WIDTH	---	---	---	---
MINIMUM LOT DEPTH	---	---	---	---
MINIMUM LOT AREA	---	---	---	---
MINIMUM LOT WIDTH	---	---	---	---
MINIMUM LOT DEPTH	---	---	---	---
MINIMUM LOT AREA	---	---	---	---
MINIMUM LOT WIDTH	---	---	---	---
MINIMUM LOT DEPTH	---	---	---	---
MINIMUM LOT AREA	---	---	---	---
MINIMUM LOT WIDTH	---	---	---	---
MINIMUM LOT DEPTH	---	---	---	---
MINIMUM LOT AREA	---	---	---	---
MINIMUM LOT WIDTH	---	---	---	---
MINIMUM LOT DEPTH	---	---	---	---
MINIMUM LOT AREA	---	---	---	---
MINIMUM LOT WIDTH	---	---	---	---
MINIMUM LOT DEPTH	---	---	---	---
MINIMUM LOT AREA	---	---	---	---
MINIMUM LOT WIDTH	---	---	---	---
MINIMUM LOT DEPTH	---	---	---	---
MINIMUM LOT AREA	---	---	---	---
MINIMUM LOT WIDTH	---	---	---	---
MINIMUM LOT DEPTH	---	---	---	---
MINIMUM LOT AREA	---	---	---	---
MINIMUM LOT WIDTH	---	---	---	---
MINIMUM LOT DEPTH	---	---	---	---
MINIMUM LOT AREA	---	---	---	---
MINIMUM LOT WIDTH	---	---	---	---
MINIMUM LOT DEPTH	---	---	---	---
MINIMUM LOT AREA	---	---	---	---
MINIMUM LOT WIDTH	---	---	---	---
MINIMUM LOT DEPTH	---	---	---	---
MINIMUM LOT AREA	---	---	---	---
MINIMUM LOT WIDTH	---	---	---	---
MINIMUM LOT DEPTH	---	---	---	---
MINIMUM LOT AREA	---	---	---	---
MINIMUM LOT WIDTH	---	---	---	---
MINIMUM LOT DEPTH	---	---	---	---
MINIMUM LOT AREA	---	---	---	---
MINIMUM LOT WIDTH	---	---	---	---
MINIMUM LOT DEPTH	---	---	---	---
MINIMUM LOT AREA	---	---	---	---
MINIMUM LOT WIDTH	---	---	---	---
MINIMUM LOT DEPTH	---	---	---	---
MINIMUM LOT AREA	---	---	---	---
MINIMUM LOT WIDTH	---	---	---	---
MINIMUM LOT DEPTH	---	---	---	---
MINIMUM LOT AREA	---	---	---	---
MINIMUM LOT WIDTH	---	---	---	---
MINIMUM LOT DEPTH	---	---	---	---
MINIMUM LOT AREA	---	---	---	---
MINIMUM LOT WIDTH	---	---	---	---
MINIMUM LOT DEPTH	---	---	---	---
MINIMUM LOT AREA	---	---	---	---
MINIMUM LOT WIDTH	---	---	---	---
MINIMUM LOT DEPTH	---	---	---	---
MINIMUM LOT AREA	---	---	---	---
MINIMUM LOT WIDTH	---	---	---	---
MINIMUM LOT DEPTH	---	---	---	---
MINIMUM LOT AREA	---	---	---	---
MINIMUM LOT WIDTH	---	---	---	---
MINIMUM LOT DEPTH	---	---	---	---
MINIMUM LOT AREA	---	---	---	---
MINIMUM LOT WIDTH	---	---	---	---
MINIMUM LOT DEPTH	---	---	---	---
MINIMUM LOT AREA	---	---	---	---
MINIMUM LOT WIDTH	---	---	---	---
MINIMUM LOT DEPTH	---	---	---	---
MINIMUM LOT AREA	---	---	---	---
MINIMUM LOT WIDTH	---	---	---	---
MINIMUM LOT DEPTH	---	---	---	---
MINIMUM LOT AREA	---	---	---	---
MINIMUM LOT WIDTH	---	---	---	---
MINIMUM LOT DEPTH	---	---	---	---
MINIMUM LOT AREA	---	---	---	---
MINIMUM LOT WIDTH	---	---	---	---
MINIMUM LOT DEPTH	---	---	---	---
MINIMUM LOT AREA	---	---	---	---
MINIMUM LOT WIDTH	---	---	---	---
MINIMUM LOT DEPTH	---	---	---	---
MINIMUM LOT AREA	---	---	---	---
MINIMUM LOT WIDTH	---	---	---	---
MINIMUM LOT DEPTH	---	---	---	---
MINIMUM LOT AREA	---	---	---	---
MINIMUM LOT WIDTH	---	---	---	---
MINIMUM LOT DEPTH	---	---	---	---
MINIMUM LOT AREA	---	---	---	---
MINIMUM LOT WIDTH	---	---	---	---
MINIMUM LOT DEPTH	---	---	---	---
MINIMUM LOT AREA	---	---	---	---
MINIMUM LOT WIDTH	---	---	---	---
MINIMUM LOT DEPTH	---	---	---	---
MINIMUM LOT AREA	---	---	---	---
MINIMUM LOT WIDTH	---	---	---	---
MINIMUM LOT DEPTH	---	---	---	---
MINIMUM LOT AREA	---	---	---	---
MINIMUM LOT WIDTH	---	---	---	---
MINIMUM LOT DEPTH	---	---	---	---
MINIMUM LOT AREA	---	---	---	---
MINIMUM LOT WIDTH	---	---	---	---
MINIMUM LOT DEPTH	---	---	---	---
MINIMUM LOT AREA	---	---	---	---
MINIMUM LOT WIDTH	---	---	---	---
MINIMUM LOT DEPTH	---	---	---	---
MINIMUM LOT AREA	---	---	---	---
MINIMUM LOT WIDTH	---	---	---	---
MINIMUM LOT DEPTH	---	---	---	---
MINIMUM LOT AREA	---	---	---	---
MINIMUM LOT WIDTH	---	---	---	---
MINIMUM LOT DEPTH	---	---	---	---
MINIMUM LOT AREA	---	---	---	---
MINIMUM LOT WIDTH	---	---	---	---
MINIMUM LOT DEPTH	---	---	---	---
MINIMUM LOT AREA	---	---	---	---
MINIMUM LOT WIDTH	---	---	---	---
MINIMUM LOT DEPTH	---	---	---	---
MINIMUM LOT AREA	---	---	---	---
MINIMUM LOT WIDTH	---	---	---	---
MINIMUM LOT DEPTH	---	---	---	---
MINIMUM LOT AREA	---	---	---	---
MINIMUM LOT WIDTH	---	---	---	---
MINIMUM LOT DEPTH	---	---	---	---
MINIMUM LOT AREA	---	---	---	---
MINIMUM LOT WIDTH	---	---	---	---
MINIMUM LOT DEPTH	---	---	---	---
MINIMUM LOT AREA	---	---	---	---
MINIMUM LOT WIDTH	---	---	---	---
MINIMUM LOT DEPTH	---	---	---	---
MINIMUM LOT AREA	---	---	---	---
MINIMUM LOT WIDTH	---	---	---	---
MINIMUM LOT DEPTH	---	---	---	---
MINIMUM LOT AREA	---	---	---	---
MINIMUM LOT WIDTH	---	---	---	---
MINIMUM LOT DEPTH	---	---	---	---
MINIMUM LOT AREA	---	---	---	---
MINIMUM LOT WIDTH	---	---	---	---
MINIMUM LOT DEPTH	---	---	---	---
MINIMUM LOT AREA	---	---	---	---
MINIMUM LOT WIDTH	---	---	---	---
MINIMUM LOT DEPTH	---	---	---	---
MINIMUM LOT AREA	---	---	---	---
MINIMUM LOT WIDTH	---	---	---	---
MINIMUM LOT DEPTH	---	---	---	---
MINIMUM LOT AREA	---	---	---	---
MINIMUM LOT WIDTH	---	---	---	---
MINIMUM LOT DEPTH	---	---	---	---
MINIMUM LOT AREA	---	---	---	---
MINIMUM LOT WIDTH	---	---	---	---
MINIMUM LOT DEPTH	---	---	---	---
MINIMUM LOT AREA	---	---	---	---
MINIMUM LOT WIDTH	---	---	---	---
MINIMUM LOT DEPTH	---	---	---	---
MINIMUM LOT AREA	---	---	---	---
MINIMUM LOT WIDTH	---	---	---	---
MINIMUM LOT DEPTH	---	---	---	---
MINIMUM LOT AREA	---	---	---	---
MINIMUM LOT WIDTH	---	---	---	---
MINIMUM LOT DEPTH	---	---	---	---
MINIMUM LOT AREA	---	---	---	---
MINIMUM LOT WIDTH	---	---	---	---
MINIMUM LOT DEPTH	---	---	---	---
MINIMUM LOT AREA	---	---	---	---
MINIMUM LOT WIDTH	---	---	---	---
MINIMUM LOT DEPTH	---	---	---	---
MINIMUM LOT AREA	---	---	---	---
MINIMUM LOT WIDTH	---	---	---	---
MINIMUM LOT DEPTH	---	---	---	---
MINIMUM LOT AREA	---	---	---	---
MINIMUM LOT WIDTH	---	---	---	---
MINIMUM LOT DEPTH	---	---	---	---
MINIMUM LOT AREA	---			

- LEGEND:**
- STANDARD SYMBOLS:**
- IRON ROD OR PIPE FOUND
 - CALCULATED CORNER
 - NEARLY CORNER
 - WATER
 - NOT TO SCALE
 - MATCH EXISTING ELEVATION
 - BOTTOM OF CURB ELEVATION
 - TOP OF SLAB ELEVATION
 - UTILITY LINE OR PIPE
 - LIGHT POLE
 - TELEPHONE JUNCTION BOX
 - FIRE HYDRANT
 - SANITARY SEWER MANHOLE
 - CLEANOUT
 - DOWNSPOUT
 - STORM SEWER MANHOLE
 - VALVE
 - WATER
 - GAS
 - SAN
 - SANITARY SEWER
 - STORM SEWER
 - UNDERGROUND ELEC. / TEL.
 - OVERHEAD ELEC. / TEL.
 - CABLE TELEVISION
 - FLARED END SECTION WITH APRON GUARDS



OVERFLOW SWALE DETAIL
Not to Scale

- DRAINING NOTES:**
1. STRIP TOPSOIL (8") FROM ALL THE AREAS WHICH ARE TO BE FILLED OR CUT FOR BORROW.
 2. ALL AREAS TO RECEIVE STRUCTURAL FILL SHALL BE GRADED.
 3. PREPARE SLOPE OF BANK FOR FILL BY SPREADING TO A DEPTH OF 4 FEET AND COMPACT.
 4. ANY LOCALIZED AREAS WHICH CANNOT BE SATISFACTORILY GRADDED OR WHICH SHOW EVIDENCE OF PAVING ACTION SHALL BE REPAIRED AND DISCARDED WITH CRUSHED FILL MATERIALS.
 5. ALL STRUCTURAL FILL SHALL BE COMPACTED TO A DENSITY THAT IS NOT LESS THAN 95%.
 6. ALL AREAS WHICH ARE TO RECEIVE PAVED AREAS SHALL HAVE THE TOP 12 INCHES DENSE AND
 7. FINISH IN ALL CUT AND FILL AREAS TO ACCOMMODATE SURFACE DRAINAGE.
 8. SOAK CONSTRUCTION METHOD SHALL BE USED FOR SOAKING.
 9. FINISH GRASS ON ALL UNPAVED AREAS SHALL BE WITHIN 2.00 FEET AND PAVED AREAS SHALL BE WITHIN 1.00 FEET OF THE PROPOSED GRADES BOUND BY THE CURB.
 10. THE CONTRACTOR SHALL PROTECT ALL UTILITIES AND STRUCTURES. ANY DAMAGE SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE OWNER OF THE UTILITIES.
 11. TYPICAL SLOPE SHALL BE 2% TO 5% UNLESS OTHERWISE SPECIFIED BY NOTE.
 12. ALL PROPOSED MATERIALS SHALL BE APPROVED BY THE CITY OF GRIMES.
 13. ALL WORK SHALL BE CONTROLLED BY THE CONTRACTOR. CONTRACTOR SHALL NOTIFY THE CITY OF GRIMES.
 14. MAXIMUM 2% CROSS-SLOPE ON ALL SIDEWALKS.

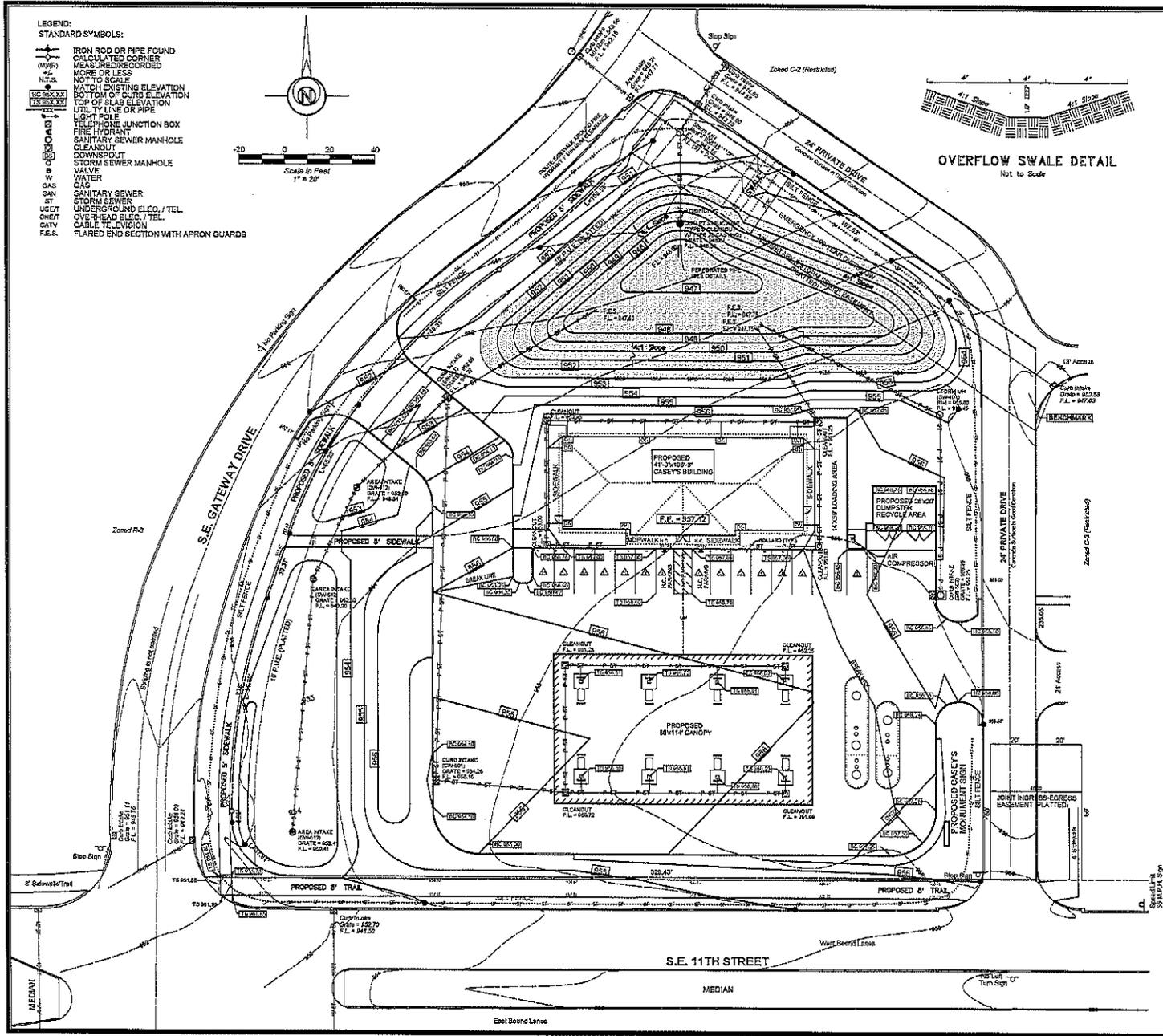


Casey's General Stores
951 Gateway Drive
Grimes, Iowa

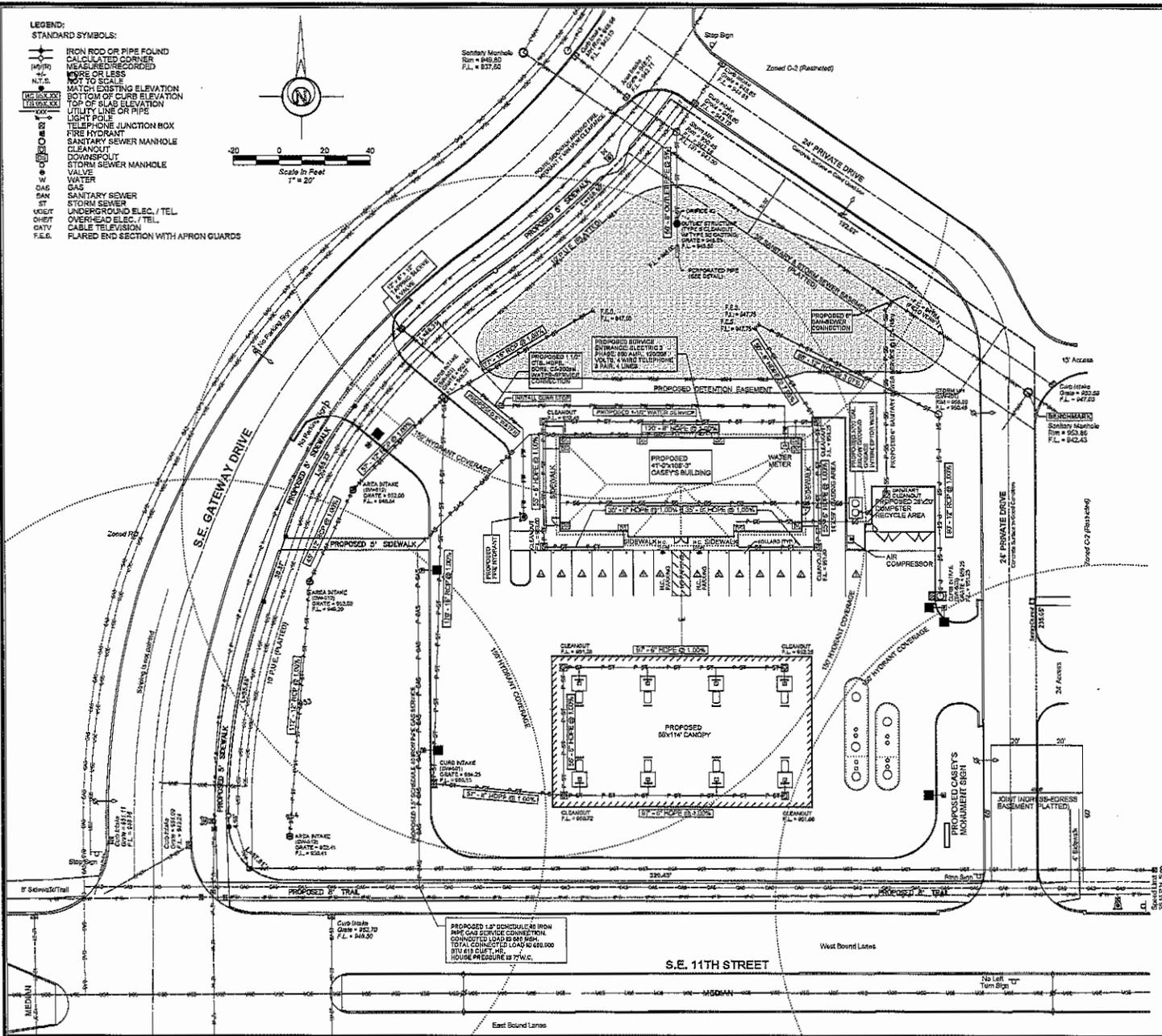
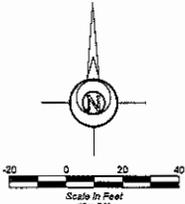
GRIMES IOWA

10-14-2016 E. P. P. 1" = 20' 1-27-2016 16-003

GRADING PLAN

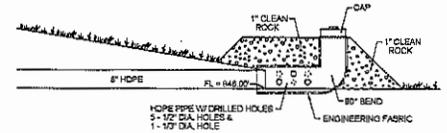
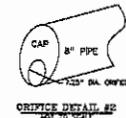


- LEGEND:**
STANDARD SYMBOLS:
- IRON ROD OR PIPE FOUND
 - CALCULATED CORNER
 - MEASURE RECORDED
 - PIPE OR LESS
 - NOT TO SCALE
 - MATCH EXISTING ELEVATION
 - BOTTOM OF CURB ELEVATION
 - TOP OF SLAB ELEVATION
 - UTILITY LINE OR PIPE
 - LIGHT POLE
 - TELEPHONE JUNCTION BOX
 - FIRE HYDRANT
 - SANITARY SEWER MANHOLE
 - CLEANOUT
 - DOWNSPOUT
 - STORM SEWER MANHOLE
 - VALVE
 - WATER
 - GAS
 - SANITARY SEWER
 - ST
 - UNDERGROUND ELEC. / TEL.
 - OVERHEAD ELEC. / TEL.
 - CABLE TELEVISION
 - FLARED END SECTION WITH APRON GUARDS



UTILITY NOTES:

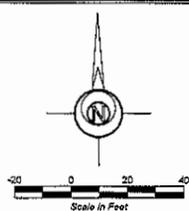
1. THE CONTRACTOR SHALL PROTECT ALL UTILITIES AND STRUCTURES. ANY DAMAGE SHALL BE REPAIRED BY THE CONTRACTOR TO THE SATISFACTION OF THE OWNER OF THE UTILITIES.
2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT UTILITY COMPANIES PRIOR TO CONNECTION OR DISCONNECTION OF A SERVICE LINE.
3. THE LOCATION(S) OF THE UTILITIES SHOWN IN THE PLANS ARE BASED ON LIMITED INVESTIGATION TECHNIQUES AND SHOULD BE CONSIDERED APPROXIMATE ONLY. THE VERIFIED LOCATIONS/ELEVATIONS APPLY ONLY AT THE SURFACE FEATURES SHOWN. INTERPOLATIONS BETWEEN THESE POINTS HAVE NOT BEEN VERIFIED.
4. CONTRACTOR TO COMPLY WITH SDG&S 2016 SPECIFICATIONS FOR MAINTENANCE, INSTALLATION AND TESTING FOR CONSTRUCTION.
5. 6" SANITARY SEWER MINIMUM SLOPE = 1.00%
6. 8" SANITARY SEWER MINIMUM SLOPE = 2.00%
7. THE SITE WILL BE IRRIGATED.



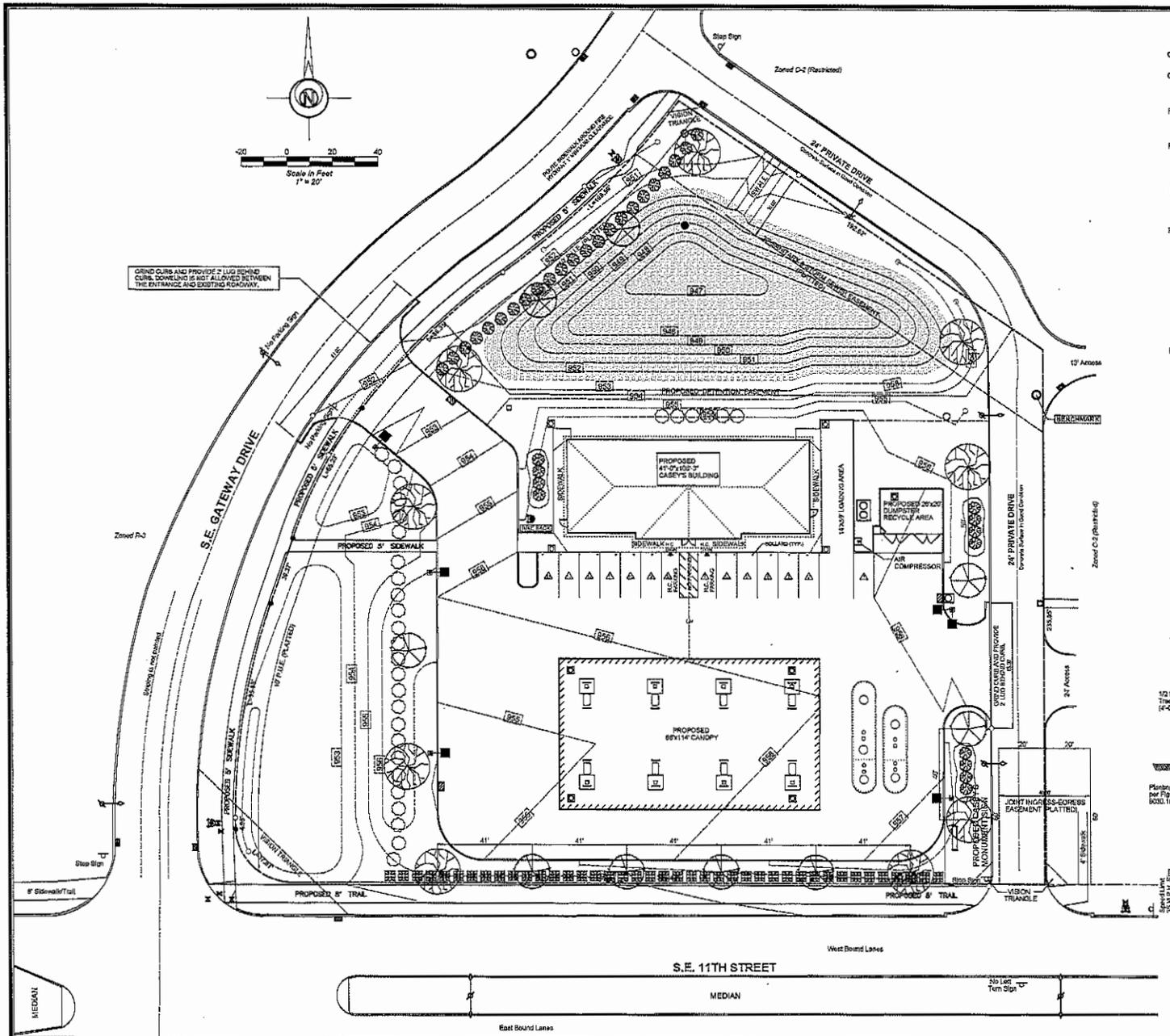
Casey's General Stores
951 Gateway Drive
Grimes, Iowa



Sanitary Manhole and Pipe Schedule	10-14-2016	E. Falls	1" = 20'	1-27-2018	16-003
Checked = 10-14-2016					UTILITY PLAN



GRIND CURB AND PROVIDE 2 LUG BEHIND CURB. DOWELING IS NOT ALLOWED BETWEEN THE ENTRANCE AND EXITING ROWWAY.



GROUND COVER:
ALL DISTURBED AREAS SHALL BE SOODED

OPEN SPACE REQUIREMENT:
2 TREES PER 3000 SQ. FT. REQUIRED OPEN SPACE (18,322/3,000 = 6.2) = 14 TREES
7 SHRUB PER 1000 SQ. FT. REQUIRED OPEN SPACE (18,322/1,000 = 18.3) = 18 SHRUBS

PERIMETER LANDSCAPING:
1 TREE PER 30 LINEAR FEET = 693 FT / 30 FT = 14 TREES

PROPOSED DECIDUOUS TREES:

SYMBOL	#	COMMON NAME (BOTANICAL NAME)	SIZE
	9	Autumn Blaze Red Maple (<i>Acer freemanii</i> 'Jeffersred')	2" caliper 8MB (MIN)

PROPOSED ORNAMENTAL TREES:

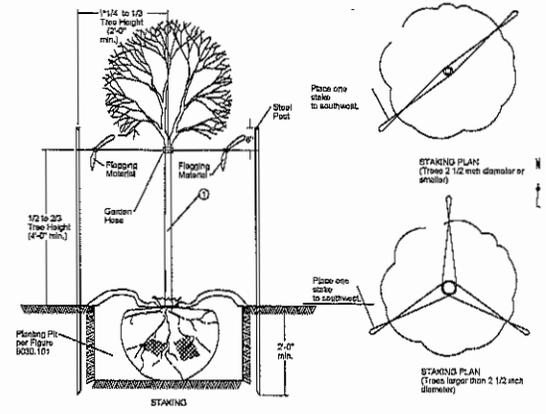
SYMBOL	#	COMMON NAME (BOTANICAL NAME)	SIZE
	9	Chanticleer Pear (<i>Pyrus calleryana</i> 'Chanticleer')	1-1/2" caliper & 6-10' high (MIN)

TOTAL → 18

PROPOSED SHRUBS:

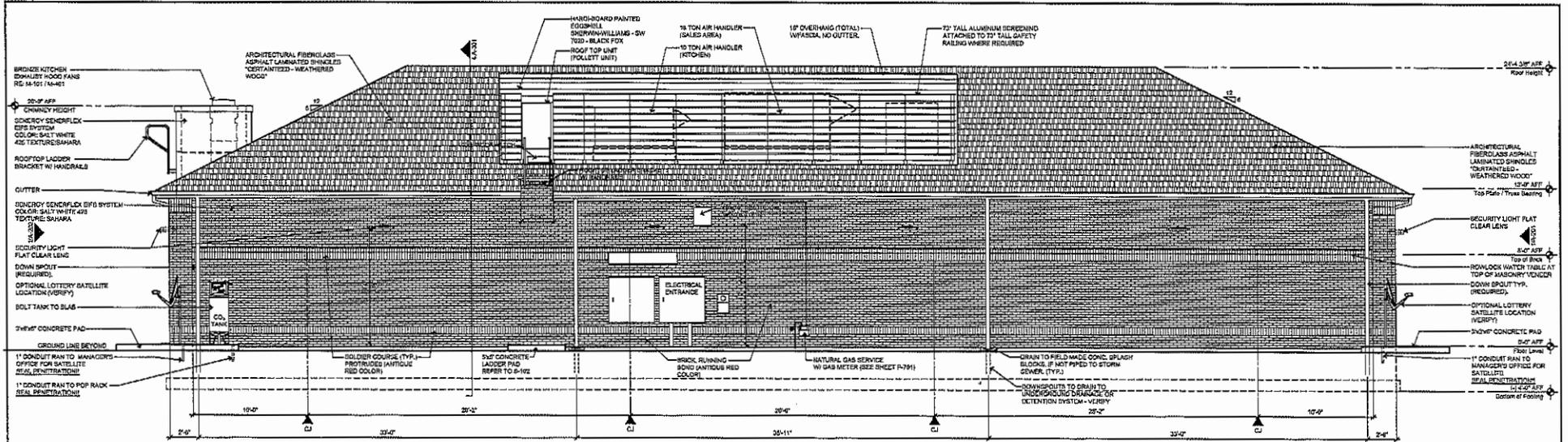
SYMBOL	#	COMMON NAME (BOTANICAL NAME)	SIZE
	24	Summer Snowflake Viburnum (<i>Viburnum plicatum</i> 'Summer Snowflake')	5 Gallon Container
	41	Dorian Nugget Barberry (<i>Barbaris thunbergii</i> 'Mantlers')	5 Gallon Container
	20	Densa Spreading Yew (<i>Taxus x media</i> 'Densaformis')	5 Gallon Container

TOTAL → 65

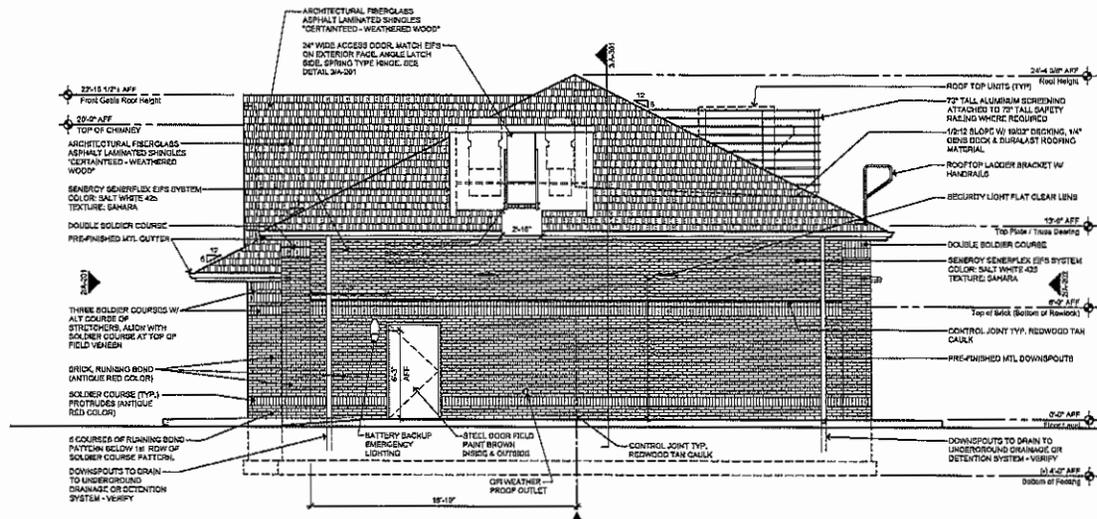


Casey's General Stores
951 Gateway Drive
Grimes, Iowa

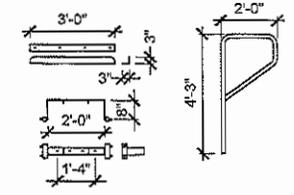
Contract No. 19-14-2915 E. Pells 1" = 20' 1-27-2016 16-003



2 Rear Elevation
3/4" = 1'-0"



1 Right Side of Building
3/4" = 1'-0"



3 Ladder Bracket
NOT

General Notes

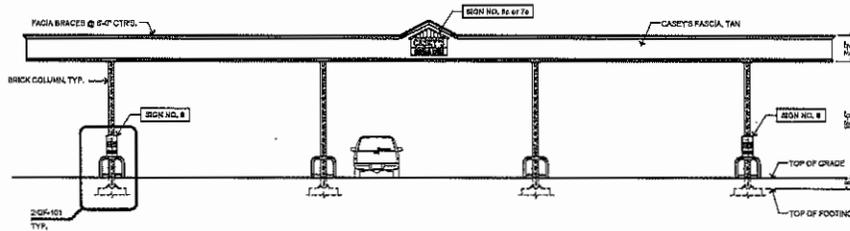
- REFER TO A-601 FOR DIMENSIONS OF MODULE INCLUDING SIZE AND AREA OF SIGN SHOWN ON ELEVATIONS.

CASEY'S		CASEY'S CONSTRUCTION DIVISION	
<small>One Convent Road, P.O. Box 2001, Acton, MA 02021 515-855-4100</small>			
'03' STYLE STORE HIP-ROOF	9-21-15	EXTERIOR ELEVATIONS	
	CONSTRUCTION DIVISION		
L. BURKE			A-202

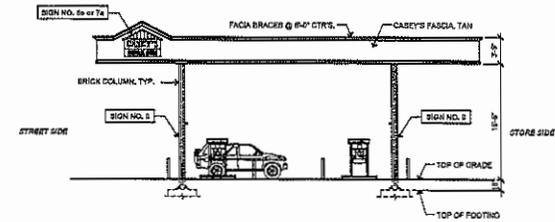
****VERIFY ALL SIGNAGE WITH SIGN PERMITS****

General Notes

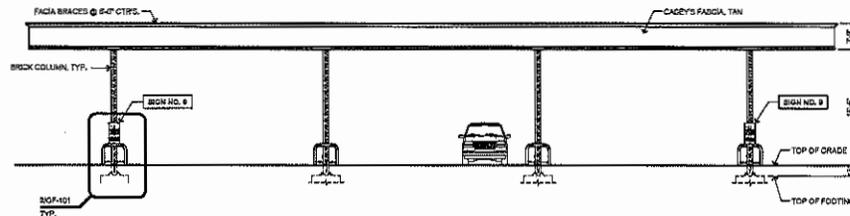
1. RELATED SHEETS: FOR ADDITIONAL INFORMATION NOT DIRECTLY REFERENCED, SEE THE FOLLOWING SHEETS:
 O-001 FOR GENERAL PROJECT NOTES
 AL-101 FOR GENERAL SITE PLAN
 AL-101 FOR SIGNAGE SCHEDULE AND NOTES
 QF-001 FOR DESIGN AND DETAILS RELATED TO FUELING FACILITY
2. GASOLINE ISLAND CANOPY: REVIEW SHOP DRAWINGS PROVIDED BY CANOPY SUPPLIER AND ADVISE CASEY'S CONSTRUCTION MANAGER OF ANY DISCREPANCIES
3. EMERGENCY GAS SHUT OFF: REFER TO SHEETS A-201, AQ-101 & E-101 FOR EMERGENCY SHUT OFF LOCATIONS.



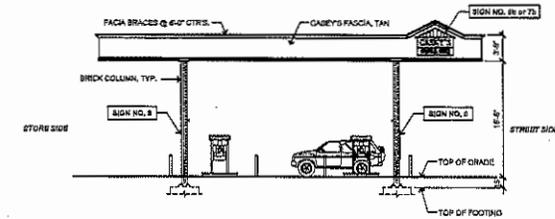
4 Pump Island Canopy - (Street Side)
1/8" = 1'-0"



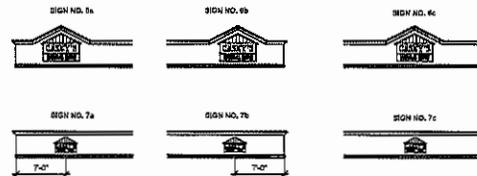
3 Pump Island Canopy - Right Side Elevation
1/8" = 1'-0"



2 Pump Island Canopy - (Store Side)
1/8" = 1'-0"



1 Pump Island Canopy - Left Side Elevation
1/8" = 1'-0"



5 Canopy Fascia Signage
1/8" = 1'-0"

8 DISPENSERS - DOUBLE STACKED - H.I.

CASEY'S CONSTRUCTION DIVISION <small>One Commonwealth Blvd., P.O. Box 3023, Albany, IL 60021 314-294-0192</small>	
'03' STYLE STORE HIP-ROOF	8-21-15 GASOLINE ISLAND CANOPY ELEVATIONS
CONSTRUCTION DIVISION L. BURKE	AL-201



101 Harvey Street
Grimes, Iowa 50111

FOR INFORMATIONAL AND ILLUSTRATION PURPOSES ONLY. ALL PRODUCT,
SERVICE AND CORPORATE NAMES ARE THE PROPERTY OF THEIR RESPECTIVE OWNERS.

www.redleonard.com
513-574-9500

red leonard associates



101 Harvey Street
Grimes, Iowa 50111

FOR INFORMATIONAL AND ILLUSTRATION PURPOSES ONLY. ALL PRODUCT,
SERVICE AND CORPORATE NAMES ARE THE PROPERTY OF THEIR RESPECTIVE OWNERS.

www.redleonard.com
513-574-9500

red leonard associates



101 Harvey Street
Grimes, Iowa 50111

FOR INFORMATIONAL AND ILLUSTRATION PURPOSES ONLY. ALL PRODUCT,
SERVICE AND CORPORATE NAMES ARE THE PROPERTY OF THEIR RESPECTIVE OWNERS.

www.redleonard.com
515-574-9500

red leonard associates



101 Harvey Street
Grimes, Iowa 50111

FOR INFORMATIONAL AND ILLUSTRATION PURPOSES ONLY. ALL PRODUCT,
SERVICE AND CORPORATE NAMES ARE THE PROPERTY OF THEIR RESPECTIVE OWNERS.

www.redleonard.com
515-574-9500

red leonard associates



101 Harvey Street
Grimes, Iowa 50111

FOR INFORMATIONAL AND ILLUSTRATION PURPOSES ONLY, ALL PRODUCT,
SERVICE AND CORPORATE NAMES ARE THE PROPERTY OF THEIR RESPECTIVE OWNERS.

www.redleonard.com
515-574-9500

red leonard associates



101 Harvey Street
Grimes, Iowa 50111

FOR INFORMATIONAL AND ILLUSTRATION PURPOSES ONLY. ALL PRODUCT,
SERVICE AND CORPORATE NAMES ARE THE PROPERTY OF THEIR RESPECTIVE OWNERS.

www.redleonard.com
513-574-9500

red leonard associates

February 2, 2016

City of Grimes
Planning & Zoning Commission
and City Council

RE: Proposed Casey's General Store at 951 Gateway Drive, in the City of Grimes.

Casey's is requesting a waiver of Ordinance 165A.21-1 which reads as follows:

In Zone 1, all service bays, loading and unloading areas must be screened by an opaque fence of a height sufficient to adequately screen the bay or area from Highway 141 and consisting of wood or brick. In Zone 1 and Zone 2, "no service bays, loading or unloading areas, trash receptacles and dumpsters may be located in or face any set back from a public right-of-way." In cases where a substantial green space exists a landscape/berm screen can be provided, which must provide a 75% opaque view within 18 months. The majority of the landscape material shall be coniferous to provide a year-round screen.

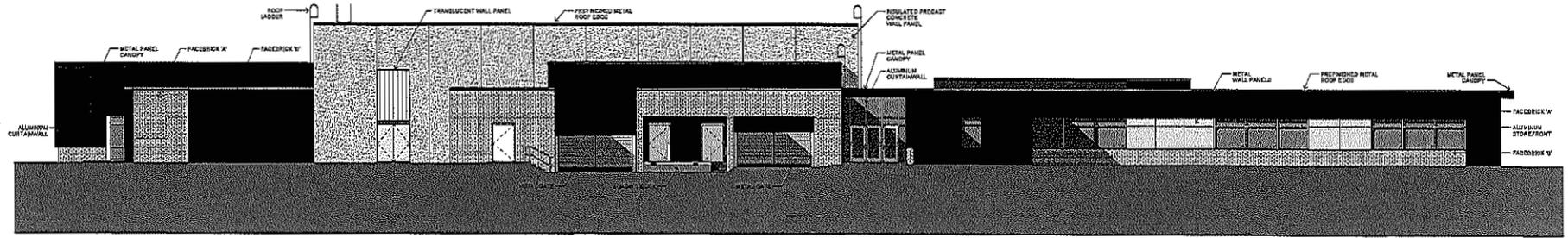
The waiver is being requested based on the following restrictions and conditions:

1. The subject site is located on a uniquely shaped corner lot. The shape of the lot limits the layout for this site. As the code reads, the trash enclosure and loading area could only face east. With access being limited to very specific locations there is not enough space to allow proper maneuverability to the east, therefore this section of the code can't be satisfied.
2. The brick trash enclosure will have gates to sufficiently screen the view of the dumpsters from the Right of Way.
3. The brick trash enclosure and building will also act as a screen for the loading area from most angles of view from the Right of Way.
4. The brick trash enclosure area and loading area are located 145 feet north of the Right of Way. This is 120 feet past the building setback. This area of separation from the Right of Way creates a perceived buffer to meet the intent of the ordinance.

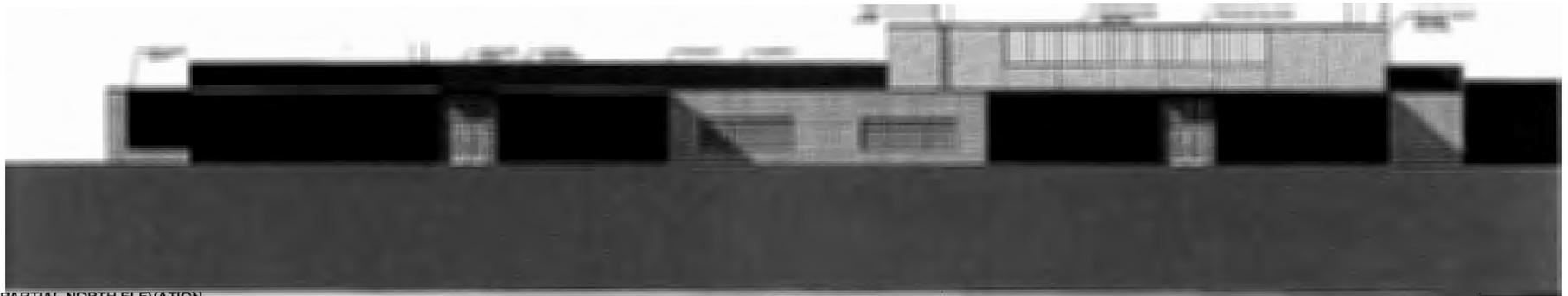
Thank you for your consideration.

Edmunds Pelds
A. Leo Pelds Engineering Co.





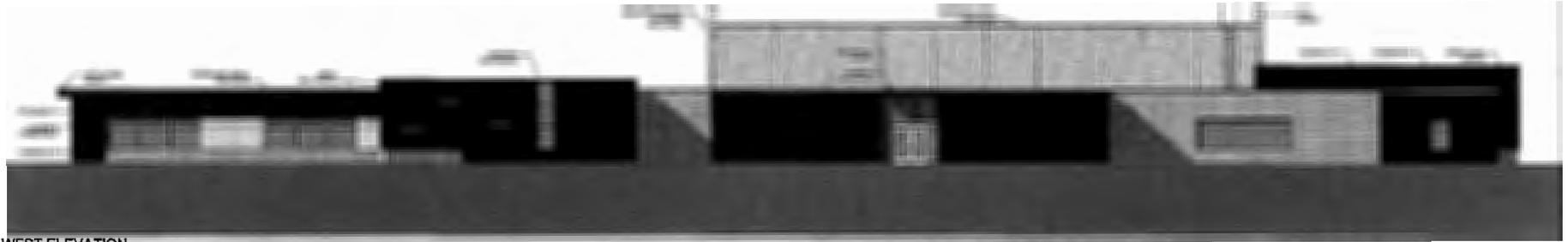
EAST ELEVATION
SCALE: 1/8" = 1'-0"



PARTIAL NORTH ELEVATION
SCALE: 1/8" = 1'-0"



PARTIAL NORTH ELEVATION
SCALE: 1/8" = 1'-0"



WEST ELEVATION
SCALE: 1/8" = 1'-0"



PARTIAL SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



PARTIAL SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



January 29, 2016

Att: David Bentz
Bishop Engineering
3501 104th Street
Des Moines, IA 50322

DC-G Elementary #4 – Site Plan

FOX Ref No: 8630-04D.240

FOX Engineering has compiled a revised comment letter (4th Review for the purpose of this letter) addressing Heritage Review Committee comments as per the January 12, 2016 meeting for the DC-G Elementary #4 Site Plan dated December 11, 2015. Please address the following comments:

General Comments:

1. Please address review comments per the FOX Engineering 2nd review letter (12/21/15).
2. FOX has reviewed the traffic impact study that has found no warrants for turning lanes on NE Park Street for vehicles entering the proposed school site. The city has agreed to provide a northbound turning lane as part of the Heritage Plat 2 Paving Improvements, which are currently under design.

Heritage Architectural Design Committee Comments:

3. **Site Plan Review:**
 - a. **Open Space Requirement:** 30% open space is required by PUD. School meets open space requirement. The building can expand in the future and still meet the 30% open space requirement. Board Approves as it meets city code.
 - b. **Landscaping for Parking Lot:** Applicant meets the PUD requirement. BOARD Approves the planting material and locations.
 - c. **Landscaping for Open Space:** Applicant generally has 33% less shrub and tree amounts required for Open Space if considered a commercial use. Applicant states that the PUD does not have landscaping requirements for School uses. Schools can be allowed in residential zones. Board Approves landscaping as shown in submittal.
 - d. **Lighting:** Applicant submitted the decorative Holophane light fixture and pole that matches the PUD requirements. Fixture and pole matches Heritage Plat 1. Height of pole is 20-ft versus 14-ft in Heritage Plat 1. Heritage going to 16-ft poles. Board Approves Fixture & Pole, but height shall not exceed 16-ft.
 - e. **Bike Racks, Benches & Trash Facilities:** These elements are currently not shown on the site plan. Board Requires that all elements match PUD.
4. **Building Review:**
 - a. **Overall Building Style:** PUD requires buildings be traditional and/or craftsman in architectural style. Flat roofs are discouraged in the Heritage Development. In general, the proposed school building elevations do not fit with the PUD requirements. The proposed building has a modern/cubism design versus traditional or craftsman. Board does not approve. Applicant shall resubmit the elevation plans to be in compliance with the PUD requirements.
 - b. **Roof:** Board concurred that it may not be feasible to install a fully hip roof. The primary school entrance along the south elevation needs a "Heritage Element" at the entry.

-
- c. Building Materials: Board approves of the proposed 60% brick material. They approve of the prefinished precast panel and its color. The dark brick is too dark and too prominent. More earthtone colors are desired. The red accent color should be limited/reduced. Board recommends a deeper shade of red. Bold color accent as shown takes away from traditional design. Too modern or cubism.
 - d. Glass: No mirror glass is permitted. Glass can be tinted or clear. Applicant shall clarify if the glass is tinted or clear.
 - e. Encourage Sky Lights which one is shown. Encourage Canopy or sun control be used in a period style above doors and windows as necessary to create character. None are shown.
 - f. Mechanical Units: City code requires screening. Committee requires 100% screening with raised parapet walls or other approved method. Board would not approve a simple mesh screen around the units. Board is also concerned about the west elevation and the view of the exhaust fan above the gym door.
 - g. Pedestrian Feel: PUD requires downtown corridor or retail commercial look to encourage pedestrian movements. Board recommends the front entrance of the school needs to have a Heritage style entrance feature.
 - h. Dumpster. Concerned that it is facing residential property. Consider additional shrub plantings to better screen from residential.

Architectural/Elevation Plans

- 5. Please attach elevation drawings to the site plan submittal. The elevation sheets should be included in the sheet index as part of the site plan.
- 6. It is highly recommended that you bring building materials to P&Z for discussion.

Please provide a letter addressing all comments on this comment letter and/or state what was modified on the site plan to address said comments.

SITE PLAN SUBMITTAL SCHEDULE:

PLANNING & ZONING: February 2, 2016 at 5:30 at the Grimes City Hall

COUNCIL MEETING: February 9, 2016 at 5:30 at the Grimes City Hall

Once all comments are addressed, please submit a .pdf for review.

If you have any questions or concerns, please contact John Gade or myself at (515) 233-0000.

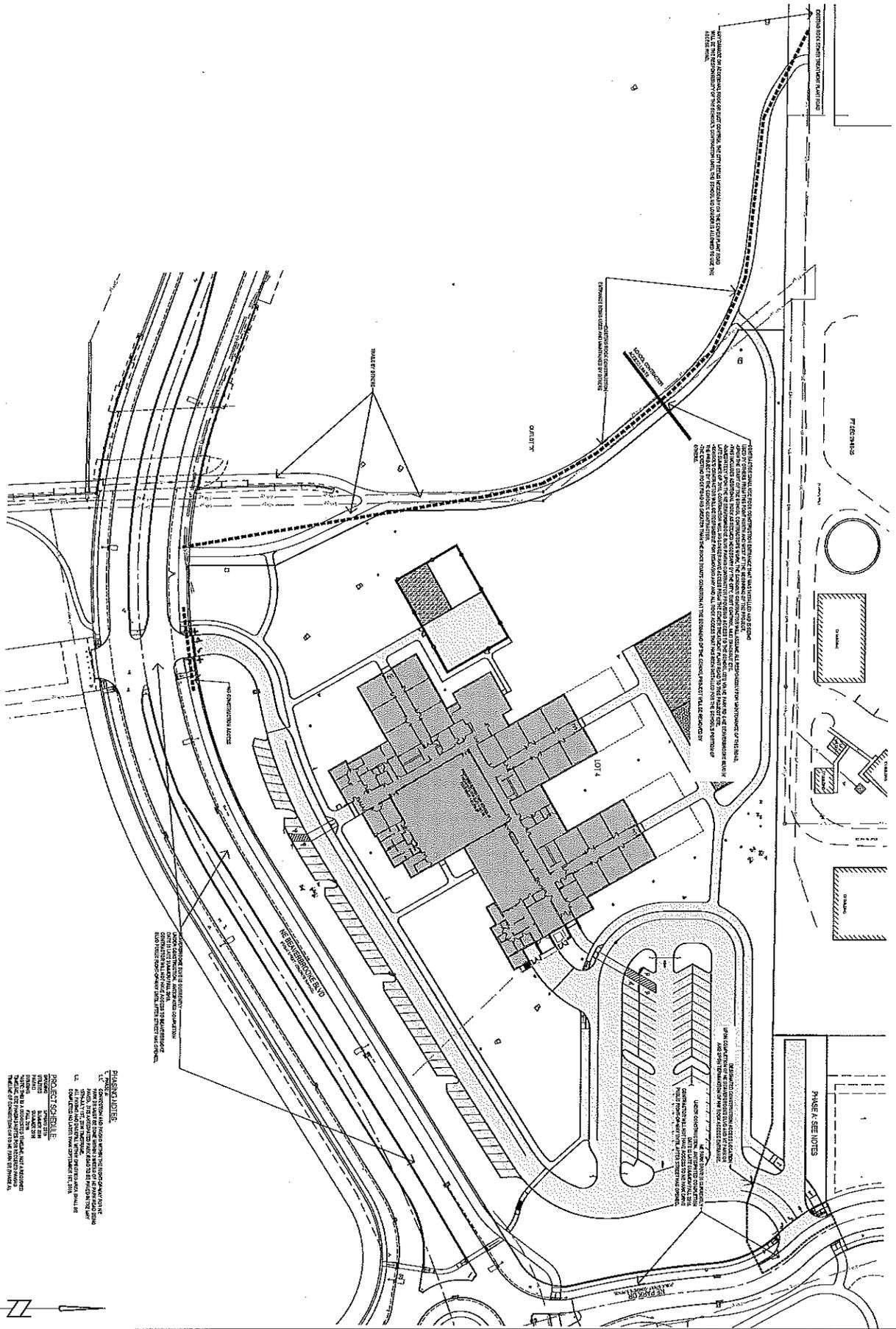
FOX ENGINEERING ASSOCIATES, INC.



Mitch Holtz, P.E.

Copy to:

Kelley Brown, City of Grimes
Dave Sigler, City of Grimes
Scott Clyce, City of Grimes



PHASE A SEE NOTES

PHASE B SEE NOTES

PHASE A SEE NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE TEXAS CONSTRUCTION CODES AND ALL APPLICABLE LOCAL ORDINANCES.

2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE TEXAS CONSTRUCTION CODES AND ALL APPLICABLE LOCAL ORDINANCES.

3. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE TEXAS CONSTRUCTION CODES AND ALL APPLICABLE LOCAL ORDINANCES.

4. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE TEXAS CONSTRUCTION CODES AND ALL APPLICABLE LOCAL ORDINANCES.

5. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE TEXAS CONSTRUCTION CODES AND ALL APPLICABLE LOCAL ORDINANCES.

6. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE TEXAS CONSTRUCTION CODES AND ALL APPLICABLE LOCAL ORDINANCES.

7. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE TEXAS CONSTRUCTION CODES AND ALL APPLICABLE LOCAL ORDINANCES.

8. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE TEXAS CONSTRUCTION CODES AND ALL APPLICABLE LOCAL ORDINANCES.

9. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE TEXAS CONSTRUCTION CODES AND ALL APPLICABLE LOCAL ORDINANCES.

10. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE TEXAS CONSTRUCTION CODES AND ALL APPLICABLE LOCAL ORDINANCES.

PHASE B SEE NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE TEXAS CONSTRUCTION CODES AND ALL APPLICABLE LOCAL ORDINANCES.

2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE TEXAS CONSTRUCTION CODES AND ALL APPLICABLE LOCAL ORDINANCES.

3. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE TEXAS CONSTRUCTION CODES AND ALL APPLICABLE LOCAL ORDINANCES.

4. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE TEXAS CONSTRUCTION CODES AND ALL APPLICABLE LOCAL ORDINANCES.

5. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE TEXAS CONSTRUCTION CODES AND ALL APPLICABLE LOCAL ORDINANCES.

6. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE TEXAS CONSTRUCTION CODES AND ALL APPLICABLE LOCAL ORDINANCES.

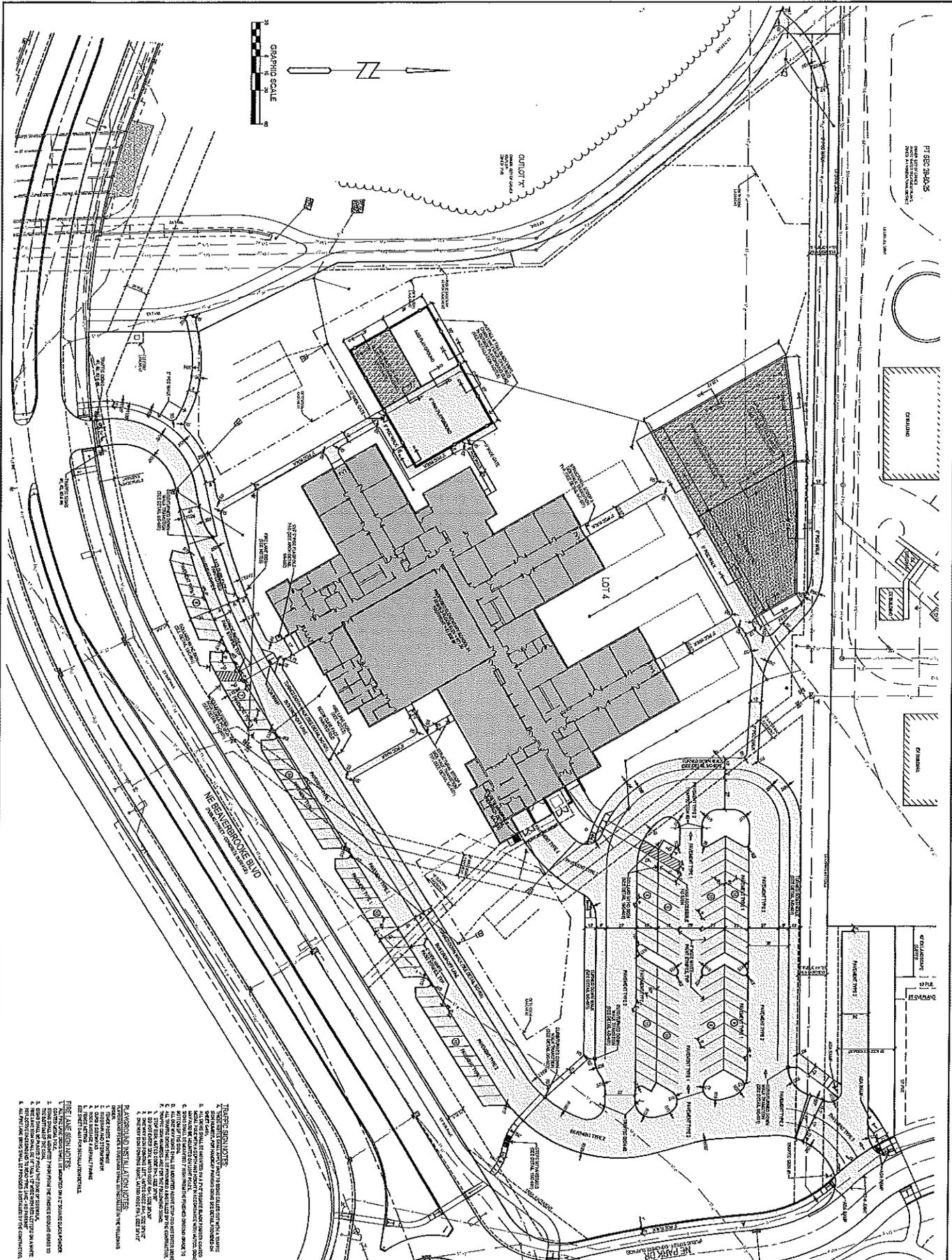
7. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE TEXAS CONSTRUCTION CODES AND ALL APPLICABLE LOCAL ORDINANCES.

8. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE TEXAS CONSTRUCTION CODES AND ALL APPLICABLE LOCAL ORDINANCES.

9. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE TEXAS CONSTRUCTION CODES AND ALL APPLICABLE LOCAL ORDINANCES.

10. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE TEXAS CONSTRUCTION CODES AND ALL APPLICABLE LOCAL ORDINANCES.



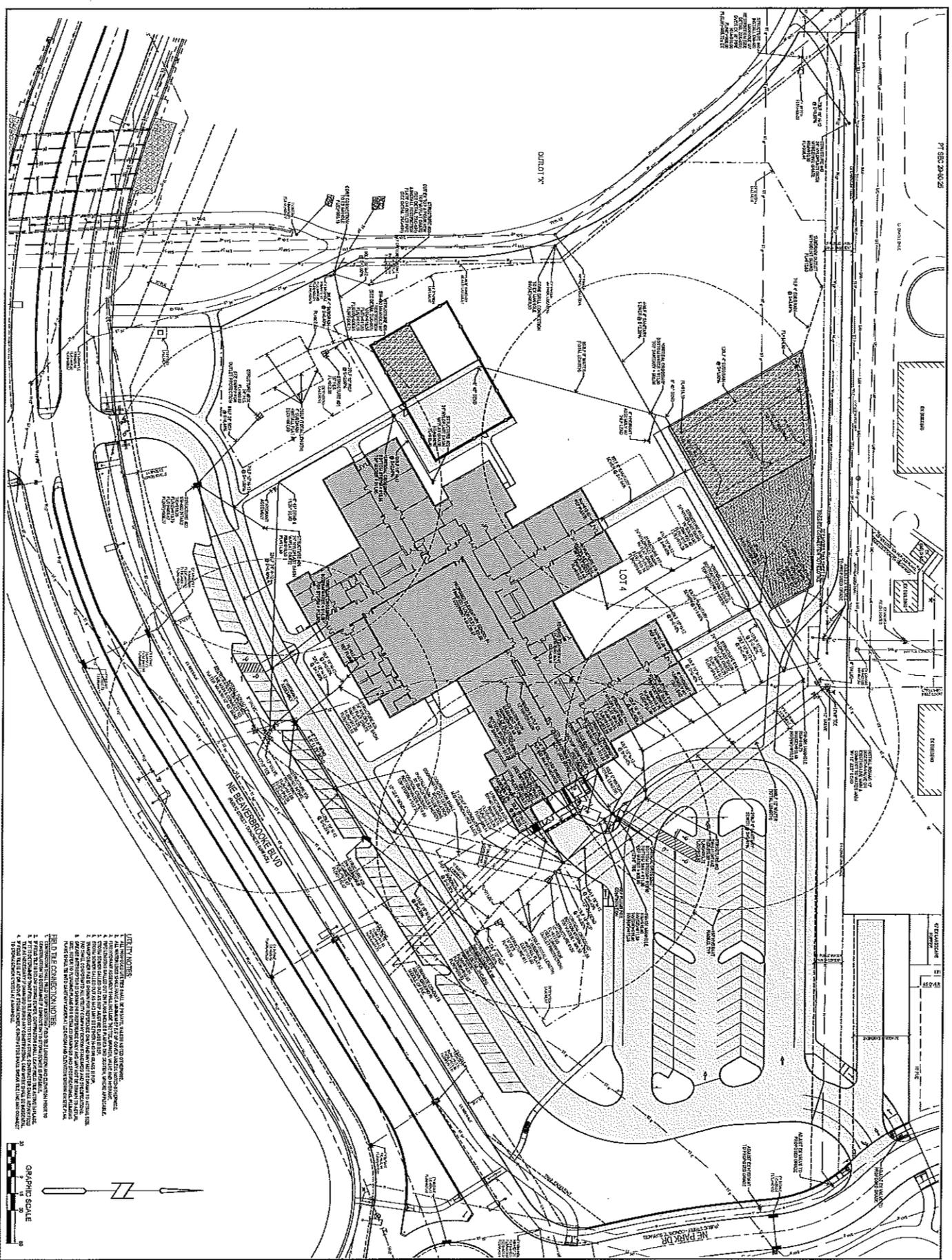


- THREE SIGN NOTES**
1. ALL SIGN NOTICES SHALL BE SUBMITTED TO THE CITY OF DALLAS FOR REVIEW AND APPROVAL.
 2. ALL SIGN NOTICES SHALL BE SUBMITTED TO THE CITY OF DALLAS FOR REVIEW AND APPROVAL.
 3. ALL SIGN NOTICES SHALL BE SUBMITTED TO THE CITY OF DALLAS FOR REVIEW AND APPROVAL.
 4. ALL SIGN NOTICES SHALL BE SUBMITTED TO THE CITY OF DALLAS FOR REVIEW AND APPROVAL.
- FINE LINE SIGN NOTES**
1. ALL FINE LINE SIGN NOTICES SHALL BE SUBMITTED TO THE CITY OF DALLAS FOR REVIEW AND APPROVAL.
 2. ALL FINE LINE SIGN NOTICES SHALL BE SUBMITTED TO THE CITY OF DALLAS FOR REVIEW AND APPROVAL.
 3. ALL FINE LINE SIGN NOTICES SHALL BE SUBMITTED TO THE CITY OF DALLAS FOR REVIEW AND APPROVAL.
 4. ALL FINE LINE SIGN NOTICES SHALL BE SUBMITTED TO THE CITY OF DALLAS FOR REVIEW AND APPROVAL.
- PAVEMENT AND FINISH NOTES**
1. ALL PAVEMENT AND FINISH NOTES SHALL BE SUBMITTED TO THE CITY OF DALLAS FOR REVIEW AND APPROVAL.
 2. ALL PAVEMENT AND FINISH NOTES SHALL BE SUBMITTED TO THE CITY OF DALLAS FOR REVIEW AND APPROVAL.
 3. ALL PAVEMENT AND FINISH NOTES SHALL BE SUBMITTED TO THE CITY OF DALLAS FOR REVIEW AND APPROVAL.
 4. ALL PAVEMENT AND FINISH NOTES SHALL BE SUBMITTED TO THE CITY OF DALLAS FOR REVIEW AND APPROVAL.

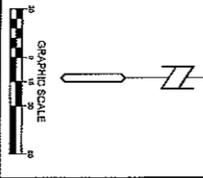
PROJECT NO:	826M01
DATE:	DECEMBER 2015
DESIGNED BY:	LANCUT PLAN
DRAWN BY:	C-201

DALLAS CENTER - GRIMES
ELEMENTARY SCHOOL #4
 DALLAS CENTER - GRIMES COMMUNITY SCHOOL DISTRICT
 GREENE, KWA

Bishop Engineering
"Building Your Successful Development"
 3301 18th Street
 Dallas, Texas 75214
 Phone: 972-242-1427 Fax: 972-242-1428
 Civil Engineering & Land Surveying Since 1979



- UTILITY NOTES:**
1. ALL UTILITIES SHOWN SHALL BE MAINTAINED AND NOT TO BE REMOVED.
 2. ALL UTILITIES SHALL BE MAINTAINED AND NOT TO BE REMOVED.
 3. ALL UTILITIES SHALL BE MAINTAINED AND NOT TO BE REMOVED.
 4. ALL UTILITIES SHALL BE MAINTAINED AND NOT TO BE REMOVED.
 5. ALL UTILITIES SHALL BE MAINTAINED AND NOT TO BE REMOVED.
 6. ALL UTILITIES SHALL BE MAINTAINED AND NOT TO BE REMOVED.
 7. ALL UTILITIES SHALL BE MAINTAINED AND NOT TO BE REMOVED.
 8. ALL UTILITIES SHALL BE MAINTAINED AND NOT TO BE REMOVED.
 9. ALL UTILITIES SHALL BE MAINTAINED AND NOT TO BE REMOVED.
 10. ALL UTILITIES SHALL BE MAINTAINED AND NOT TO BE REMOVED.
- FIELD CONNECTION NOTES:**
1. ALL UTILITIES SHALL BE MAINTAINED AND NOT TO BE REMOVED.
 2. ALL UTILITIES SHALL BE MAINTAINED AND NOT TO BE REMOVED.
 3. ALL UTILITIES SHALL BE MAINTAINED AND NOT TO BE REMOVED.
 4. ALL UTILITIES SHALL BE MAINTAINED AND NOT TO BE REMOVED.
 5. ALL UTILITIES SHALL BE MAINTAINED AND NOT TO BE REMOVED.
 6. ALL UTILITIES SHALL BE MAINTAINED AND NOT TO BE REMOVED.
 7. ALL UTILITIES SHALL BE MAINTAINED AND NOT TO BE REMOVED.
 8. ALL UTILITIES SHALL BE MAINTAINED AND NOT TO BE REMOVED.
 9. ALL UTILITIES SHALL BE MAINTAINED AND NOT TO BE REMOVED.
 10. ALL UTILITIES SHALL BE MAINTAINED AND NOT TO BE REMOVED.



DRAWING NO. C-401	PROJECT NO. 826M01	DATE DECEMBER 2015	SHEET NO. 157 OF 30 SHEETS	PROJECT TITLE DRAFT PLAN	CLIENT DALLAS CENTER - GRIMES COMMUNITY SCHOOL DISTRICT	ADDRESS GRIMES, IOWA	Bishop Engineering "Elevating Your Client's Development" 3501 10th Street Des Moines, Iowa 50319 Phone: 515-281-1000 Fax: 515-281-1001 Web: www.bishopeng.com

PLANTING SCHEDULE

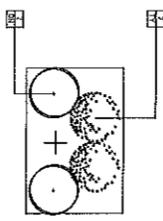
NO.	QUANTITY	PLANTING DATE	PLANTING METHOD	PLANTING LOCATION	PLANTING SPECIFICATIONS
1	1	12/15/15	1	1	1
2	1	12/15/15	1	1	1
3	1	12/15/15	1	1	1
4	1	12/15/15	1	1	1
5	1	12/15/15	1	1	1
6	1	12/15/15	1	1	1
7	1	12/15/15	1	1	1
8	1	12/15/15	1	1	1
9	1	12/15/15	1	1	1
10	1	12/15/15	1	1	1
11	1	12/15/15	1	1	1
12	1	12/15/15	1	1	1
13	1	12/15/15	1	1	1
14	1	12/15/15	1	1	1
15	1	12/15/15	1	1	1
16	1	12/15/15	1	1	1
17	1	12/15/15	1	1	1
18	1	12/15/15	1	1	1
19	1	12/15/15	1	1	1
20	1	12/15/15	1	1	1
21	1	12/15/15	1	1	1
22	1	12/15/15	1	1	1

LANDSCAPE NOTES

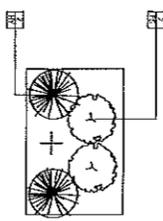
1. All seasonal, summer, landscape planting shall be performed in accordance with the project specifications, unless otherwise indicated.
2. All plants shall be installed in accordance with the project specifications, unless otherwise indicated.
3. All plants shall be installed in accordance with the project specifications, unless otherwise indicated.
4. All plants shall be installed in accordance with the project specifications, unless otherwise indicated.
5. All plants shall be installed in accordance with the project specifications, unless otherwise indicated.
6. All plants shall be installed in accordance with the project specifications, unless otherwise indicated.
7. All plants shall be installed in accordance with the project specifications, unless otherwise indicated.
8. All plants shall be installed in accordance with the project specifications, unless otherwise indicated.
9. All plants shall be installed in accordance with the project specifications, unless otherwise indicated.
10. All plants shall be installed in accordance with the project specifications, unless otherwise indicated.
11. All plants shall be installed in accordance with the project specifications, unless otherwise indicated.
12. All plants shall be installed in accordance with the project specifications, unless otherwise indicated.
13. All plants shall be installed in accordance with the project specifications, unless otherwise indicated.
14. All plants shall be installed in accordance with the project specifications, unless otherwise indicated.
15. All plants shall be installed in accordance with the project specifications, unless otherwise indicated.
16. All plants shall be installed in accordance with the project specifications, unless otherwise indicated.
17. All plants shall be installed in accordance with the project specifications, unless otherwise indicated.
18. All plants shall be installed in accordance with the project specifications, unless otherwise indicated.
19. All plants shall be installed in accordance with the project specifications, unless otherwise indicated.
20. All plants shall be installed in accordance with the project specifications, unless otherwise indicated.
21. All plants shall be installed in accordance with the project specifications, unless otherwise indicated.
22. All plants shall be installed in accordance with the project specifications, unless otherwise indicated.

LANDSCAPE REQUIREMENTS

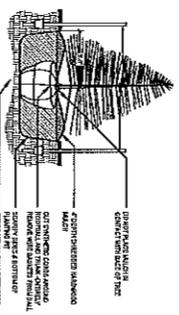
NO.	PLANTING DATE	PLANTING METHOD	PLANTING LOCATION	PLANTING SPECIFICATIONS
1	12/15/15	1	1	1
2	12/15/15	1	1	1
3	12/15/15	1	1	1
4	12/15/15	1	1	1
5	12/15/15	1	1	1
6	12/15/15	1	1	1
7	12/15/15	1	1	1
8	12/15/15	1	1	1
9	12/15/15	1	1	1
10	12/15/15	1	1	1
11	12/15/15	1	1	1
12	12/15/15	1	1	1
13	12/15/15	1	1	1
14	12/15/15	1	1	1
15	12/15/15	1	1	1
16	12/15/15	1	1	1
17	12/15/15	1	1	1
18	12/15/15	1	1	1
19	12/15/15	1	1	1
20	12/15/15	1	1	1
21	12/15/15	1	1	1
22	12/15/15	1	1	1



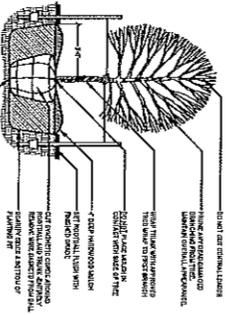
SHRUB PLANTING - TYPE 1



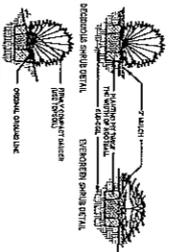
SHRUB PLANTING - TYPE 2



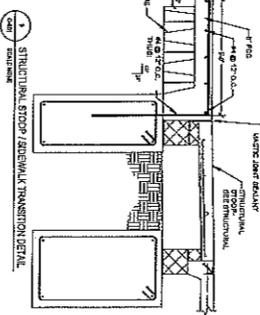
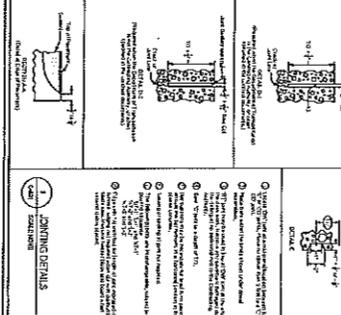
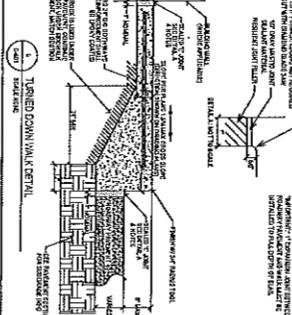
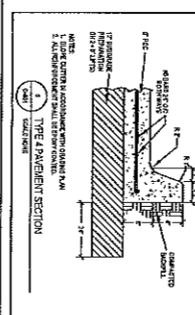
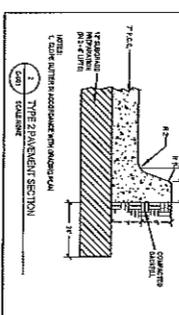
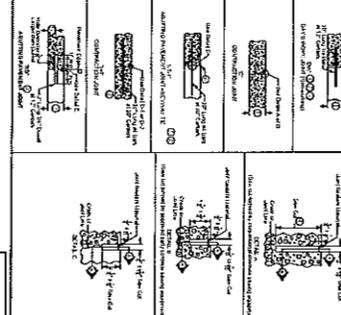
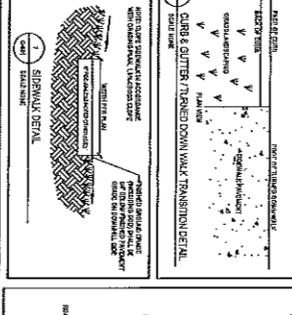
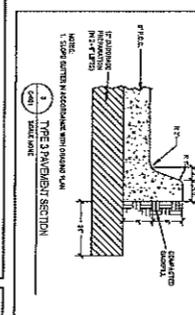
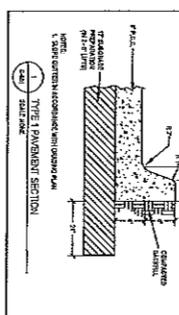
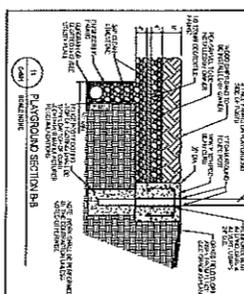
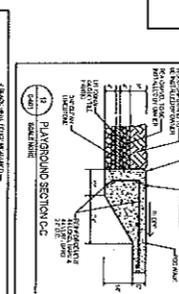
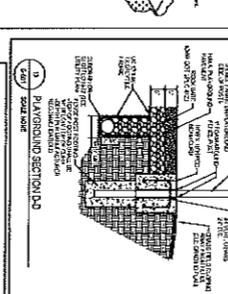
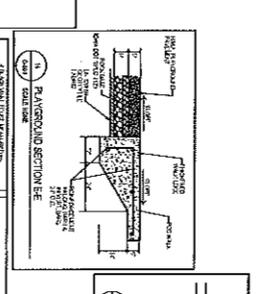
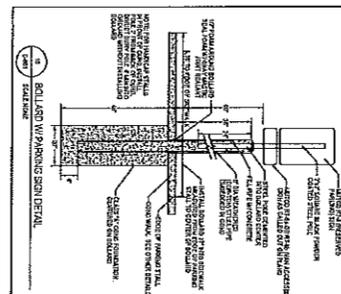
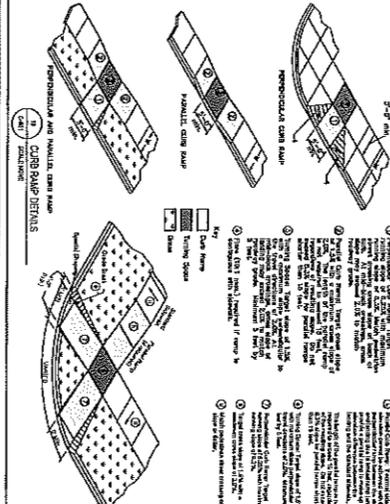
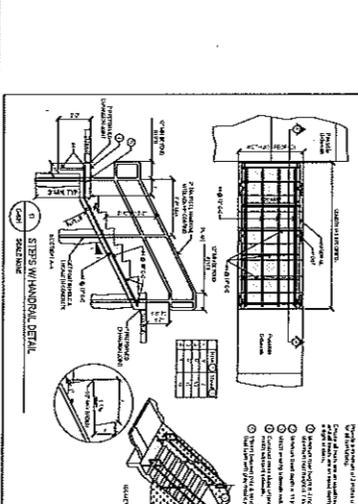
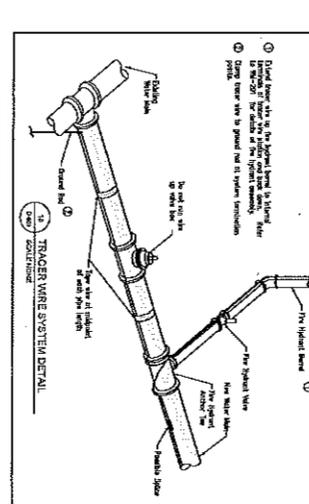
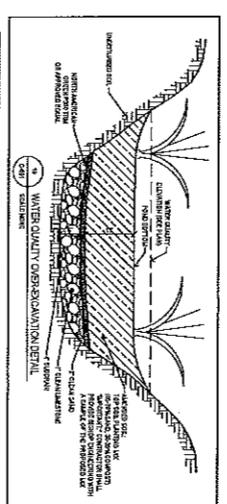
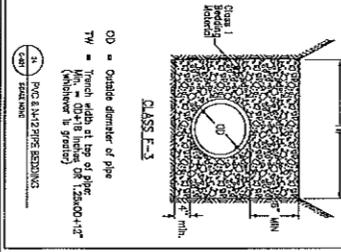
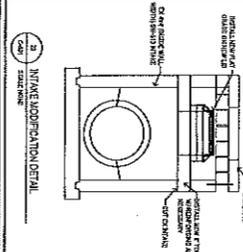
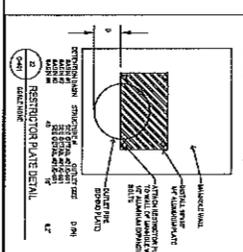
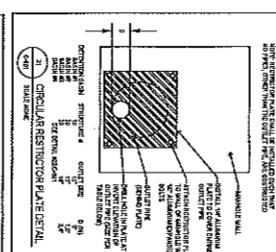
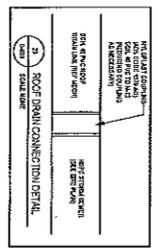
EVERGREEN TREE PLANTING (EAB)
SCALE: NOT TO SCALE

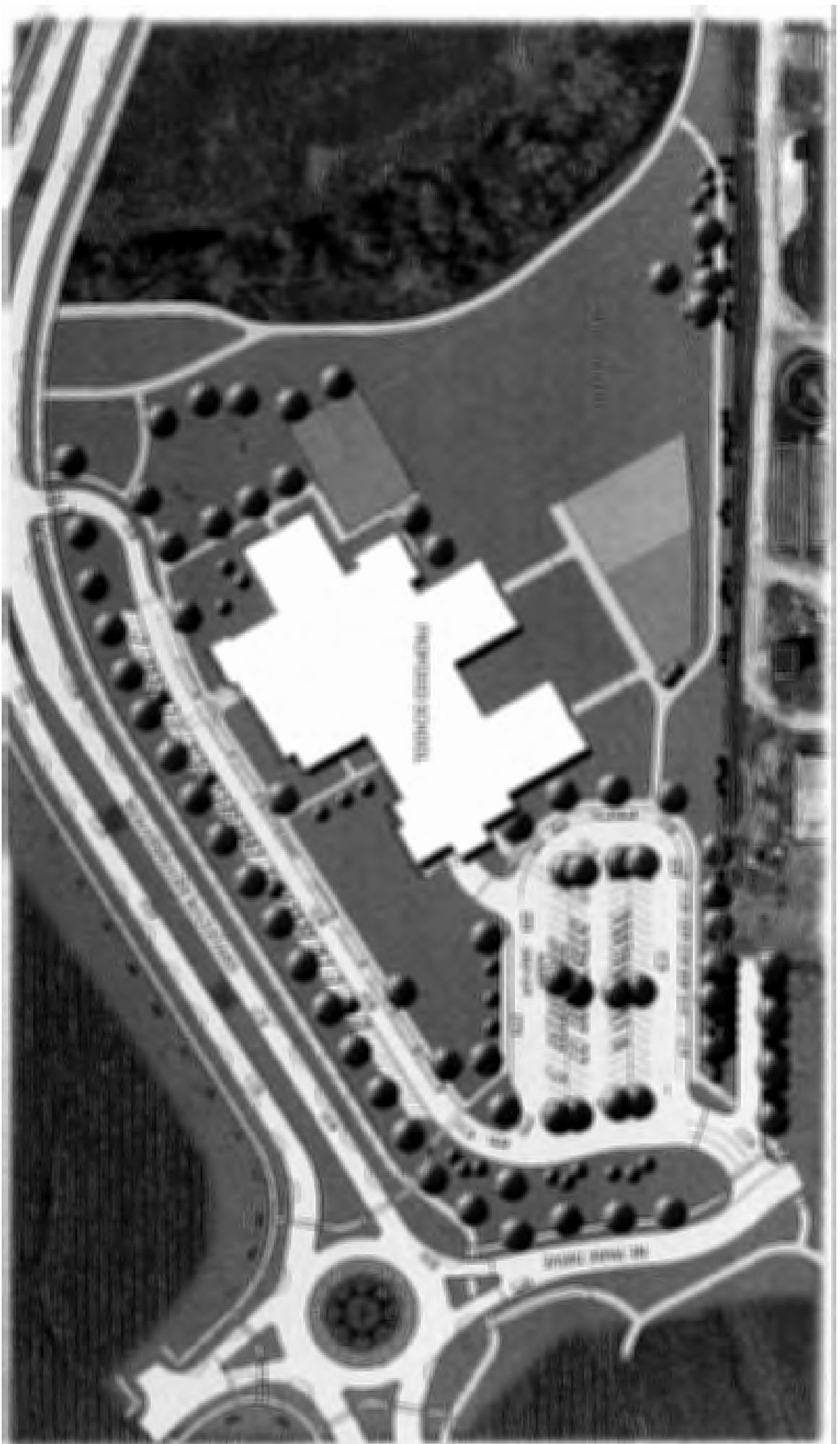


DECIDUOUS TREE PLANTING (TTP)
SCALE: NOT TO SCALE



SHRUB PLANTING (TTP)
SCALE: NOT TO SCALE





DOG ELEMENTARY SCHOOL #4

MASTER PLAN

4 February 2016

Bishop Engineering
Planning & Surveying
2001 104th Street
P.O. Box 100
Plymouth, MN 55555
Phone: 612-797-0417 Fax: 612-797-0417
www.bishopeng.com



**CITY OF GRIMES
NOTICE OF HEARING AND INVITATION TO BID
FOR**

**Water / Wastewater Improvements
Grimes, Iowa**

NOTICE IS HEREBY GIVEN:

Sealed proposals will be received by the City Clerk, City of Grimes, Iowa, in her office at City Hall, 101 NE Harvey, Grimes, Iowa, until 2:00 PM (local time) on January 27, 2016, for the project described as Water / Wastewater Improvements, Grimes, Iowa, as hereinafter described in general and as described in detail in the Bidding Requirements and Contract Documents for said improvements now on file in the office of the City Clerk. Proposals will be opened and read at City Hall at 2:00 PM (local time) on January 27, 2016. Proposals will be acted upon by the City Council at a meeting to be held at 5:30 PM on February 9, 2016 in the City Council Chambers, Grimes, Iowa or at such later time as may be designated at said meeting.

At 5:30 PM on February 9, 2016 at the regularly scheduled Grimes City Council meeting in the City Council Chambers, a hearing will be held the proposed Bidding Requirements, Contract Documents (drawings and specifications) and Opinion of Cost for said project, and at said hearing any interested person may appear and file objections thereto.

A pre-bid meeting will be held at 1:30 p.m. local time on January 12, 2016, commencing at the office of the Grimes Wastewater Treatment Plant, 1801 North James St, Grimes, Iowa. This meeting will include site inspection. It is the responsibility of potential bidders to obtain the information from this meeting and site inspection; no written report will be provided.

The extent of the work involved is as follows: Expansion of the flow equalization basin, a new screw pump wastewater pump station with a new standby generator, installation of a new screenings wash press, additional lime storage, replacement of the controls at Gateway Pump Station, and installation of associated electrical equipment.

The method of construction shall be by contract in accordance with the Bidding Requirements and Contract Documents for said improvements approved by the Grimes City Council.

Each proposal shall be made out on a blank form furnished by the City and shall be submitted in a sealed envelope marked, Water / Wastewater Improvements, Grimes, Iowa. Each proposal must be accompanied either by a cashier's check or certified check in the amount of five percent (5%) drawn on an Iowa bank or a bank chartered under the laws of the United States, a Bid Bond or credit union certified share draft in the amount of five percent (5%) of the proposal, drawn on a credit union in Iowa or chartered under the laws of the United States and filed in an envelope separate from the one containing the proposal, made payable to the City of Grimes, Iowa, and said check or draft may be cashed or the Bid Bond declared forfeited by the City of Grimes, Iowa as liquidated damages in the event the successful bidder fails to enter into a contract within fifteen (15) days of the Notice of Award and post bond satisfactory to the City insuring the faithful fulfillment of the contract and maintenance of said improvements as required by law and the Specifications.

Payment to the Contractor for said construction will be made in cash from the following sources: Cash from any fund of City of Grimes, Iowa, which may be legally used for such purposes; proceeds derived from the sale and issuance of Utility Revenue Bonds, or Federal or State grants or loans.

The Contractor will be paid each month Ninety-five Percent (95%) of the Engineer's Estimate of the value of work completed at the end of the preceding month. Final payment will be made no sooner than thirty (30) days after completion of the work and acceptance by the Owner.

The work under the proposed contract shall commence within thirty (30) days of the written "Notice to Proceed". The work shall be substantially completed by February 27, 2017, and with final completion by May 5, 2017, subject to any changes granted by the Owner.

Nondiscrimination In Employment: Bidders on this work will be required to comply with the President's Executive Order No. 11246. Requirements for bidders and contractors under this order are explained in the specifications.

Any bidder or equipment supplier whose firm or affiliate is listed in on the U.S. General Services Administration Excluded Parties List System web site at <http://www.epls.gov/> will be prohibited from the bidding process. Anyone submitting a bid who is listed on this web site will be determined to be a non-responsive bidder in accordance with 40 CFR Part 31. A contractor's Suspension/Debarment Certification will be contained in the specifications; however, this certification should not preclude any interested party from ascertaining whether the certifying firm or person is actually on the GSA "Lists of Parties Excluded from Federal Procurement or Nonprocurement Programs".

Funding of this project will utilize the State of Iowa's State Revolving Fund (SRF), which involves certain goals regarding awarding of sub-agreements to small, minority and women-owned businesses, collectively known as Disadvantaged Business Enterprises (DBEs). Only work performed by certified DBEs can be counted toward the goals. In Iowa, DBEs must be certified through the Iowa Department of Transportation (IDOT). Information on certification requirements and a list of certified DBEs is on the IDOT website at http://www.iowadot.gov/contracts/contracts_eeoaa.htm. Bidders' DBE requirements for SRF projects include a) taking affirmative steps for DBE participation and b) documenting the efforts to utilize and resulting proposed utilization of certified DBEs.

This Project is subject to Federal Labor Standards Provisions, including Davis-Bacon prevailing wage rates and "American Iron and Steel" requirements.

By virtue of statutory authority, a preference will be given to products and provisions grown and coal produced within the State of Iowa, and to Iowa domestic labor.

The Owner reserves the right to reject any or all proposals and to waive informalities.

The successful bidder will be required to furnish a bond in an amount equal to 100% of the contract price, and said bond to be issued by a responsible surety approved by the Owner and shall guarantee the faithful performance of the contract and the terms and conditions therein contained, and the warranty of the materials and workmanship for not less than two (2) years from the time of acceptance of said improvements by the City Council.

Bidding Requirements and Contract Documents governing the construction of the proposed improvements have been prepared by FOX Engineering Associates, Ames, Iowa, which documents and the proceedings of the City Council referring to and defining said improvements are hereby made a part of this Notice and the proposed contract by reference and the proposed contract shall be executed to comply therewith.

The Owner reserves the right to defer acceptance of any proposal for a period not to exceed forty-five (45) days from the date of receipt of proposals.

Complete digital project bidding documents are available at www.questcdn.com. Prospective bidders may download the digital plan documents at no cost, but must input the Quest project cost number 4200686 on the website's project search page. Please contact QuestCDN.com at 952-233-1632 or info@questcdn.com for assistance in free membership registration, downloading, printing, and working with this digital project information. Website registration is necessary to ensure that prospective bidders remain informed of addendum and other essential communications prior to the bid date. If the prospective bidder has a concern about the validity of the digital information downloaded from www.questcdn.com, then prospective bidder shall access the paper copies on file at the Owner's or the Engineer's office to verify the information in question.

Copies of said Bidding Requirements and Contract Documents are now on file in the office of the City Clerk, City Hall, Grimes, Iowa, for examination by prospective bidders, and prospective bidders may obtain copies from FOX Engineering Associates, 414 South 17th Street, Suite 107, Ames, Iowa, 50010. A deposit charge of \$150.00 per set of Bidding Requirements and Contract Documents will be made, all of which will be refunded if returned in reusable condition within 14 days of the Award of Contract. If all documents are not returned in reusable condition and within 14 days, the deposit shall be forfeited.

Published by order of the City Council of Grimes, Iowa

City Clerk Rochelle Williams

NOTICE OF AWARD

Date of Issuance:

Owner: City of Grimes, Iowa Owner's Contract No.:
Engineer: FOX Engineering Engineer's Project No.: 2454-12A
Project: Water / Wastewater Improvements Contract Name:
Bidder: Rice Lake Construction Group
Bidder's Address: 22360 County Road 12, Deerwood, MN 56444

TO BIDDER:

You are notified that Owner has accepted your Bid dated January 27, 2016 for the above Contract, and that you are the Successful Bidder and are awarded a Contract for:

Expansion of the flow equalization basin, a new screw pump wastewater pump station with a new standby generator, installation of a new screenings wash press, additional lime storage, replacement of the controls at Gateway Pump Station, and installation of associated electrical equipment.

The Contract Price of the awarded Contract is: Two million, Four Hundred and Ninety-Eight Thousand, Four Hundred Dollars and No Cents (\$2,498,400.00)

Three (3) sets of unexecuted counterparts of the Agreement accompany this Notice of Award. Up to four (4) paper copies of the Contract Documents can be delivered separately. The Contract Documents will also be made available to Bidder electronically.

You must comply with the following conditions precedent within 15 days of the date of receipt of this Notice of Award:

1. Deliver to Owner three (3) counterparts of the Agreement, fully executed by Bidder.
2. Deliver with the executed Agreement(s) the Contract security [e.g., performance and payment bonds] and insurance documentation as specified in the Instructions to Bidders and General Conditions, Articles 2 and 6 and the Supplementary Conditions. Provide copies of certificates of insurance for each additional insured.
3. Other conditions precedent: Before starting construction, submit a preliminary progress schedule, a preliminary schedule of submittals, and a preliminary schedule of values. A preconstruction conference will be required prior to starting work.

Failure to comply with these conditions within the time specified will entitle Owner to consider you in default, annul this Notice of Award, and declare your Bid security forfeited.

Within ten days after you comply with the above conditions, Owner will return to you one fully executed counterpart of the Agreement, together with any additional copies of the Contract Documents as indicated in Paragraph 2.02 of the General Conditions.

Owner:

Authorized Signature

By: _____

Title: _____

Copy: Engineer



February 3, 2016

Mayor & City Council

City of Grimes
101 NE Harvey
Grimes, IA 50111

**Water / Wastewater Improvements
Recommendation of Award**

FOX Ref No: 2454-12A.440

Dear Mayor and City Council:

The City of Grimes received bids on January 27, 2016 for the **Water Wastewater / Improvements** Project. Project consists of:

Expansion of the flow equalization basin, a new screw pump wastewater pump station with a new standby generator, installation of a new screenings wash press, additional lime storage, replacement of the controls at Gateway Pump Station, and installation of associated electrical equipment.

The City received three bids on the project. The Engineer's opinion of probable construction cost was \$2,900,000. The bids ranged from a high bid of \$3,322,000 to a low bid of \$2,498,400. A Bid Tabulation Summary is enclosed for your reference.

Rice Lake Construction of Deerwood, Minnesota submitted the low bid of **\$2,498,400**. The low bid is \$401,600 below the Engineer's opinion (13.8% below).

FOX Engineering was contacted by Vessco on January 28, 2016. Vessco is the representative for Custom Conveyor, the provider selected by all bidders to provide the lime system specified in Section 11710 of the specifications. Vessco informed FOX Engineering that the price provided to Rice Lake Construction during bidding was erroneous. Rice Lake based their bid on a price of \$271,000 for the lime system, which is the price provided by Vessco. Vessco indicated to FOX that the price was intended to be \$371,000. Only Rice Lake received the erroneous price. FOX has been provided with documentation and agree that the error occurred as indicated. Budget pricing was obtained from multiple manufacturers during design and was approximately \$400,000. A bid price of \$371,000 is therefore within reason.

To evaluate their Bid we discussed their current projects and reviewed their performance on previous projects. The firm has a history of satisfactory performance on similar projects in Iowa. Rice Lake's recent work includes projects in Perry and the Des Moines area. FOX Engineering has not worked with Rice Lake in the last 15 years, so we have no directly applicable experience. However, they have bid FOX Engineering projects in recent years, and they have continued to do the type of work involved in this project.

FOX contacted Rice Lake to discuss their bid, schedule, and similar projects that they have completed. Rice Lake believes their bid is reasonable and has found no errors other than that noted above. Rice Lake believes the substantial (February 27, 2017) and final (May 5, 2017) completion dates will give

enough time for the work to be completed. Rice Lake plans to use Cruiser Electric to complete the electrical work on the project.

Based on these investigations, we believe Rice Lake has the practical knowledge of the work, adequate equipment and personnel, sufficient schedule, and financial resources to complete the work.

The Council has the following options:

- Option 1: Award the project to Rice Lake Construction for **\$2,498,400.00** and later consider a change order to increase the contract amount by all or part of the value of the error.
- Option 2: Reject the bid from Rice Lake Construction and award the project to Woodruff Construction for \$3,107,000.00.
- Option 3: Reject all bids and re-bid the project.

We have enclosed the Notice of Award for your use. If approved, please sign and return to FOX Engineering. FOX will then execute the contract documents. Prior to the City of Grimes approving the contract, the City's insurance counsel should review the contractor's insurance certificates and performance and maintenance bonds for conformance with the City of Grimes requirements. Review of the options above by the City's attorney is also recommended.

Please contact us with any questions or comments regarding this recommendation.

Very truly yours,
FOX Engineering Associates, Inc.



Lance Aldrich, P.E.

Enclosures: Bid Tab
Notice of Award

CC: Rice Lake Construction

BID TABULATION

WATER / WASTEWATER IMPROVEMENTS

Grimes, Iowa

BID DATE: January 27, 2016

FOX PN: 2454-12A.440

	ENGINEER'S ESTIMATE	Rice Lake Construction 22360 County Road 12 Deerwood, MN 56444	Woodruff Construction, LLC 1920 Philadelphia St, Suite 102 Ames, IA 50010	Ericksen Construction 2546 S. Hwy 30 Blair, NE 68008
CHECK OR BID BOND		X	X	X
DESCRIPTION		TOTAL PRICE	TOTAL PRICE	TOTAL PRICE
LUMP SUM BID PRICE	\$ 2,900,000.00	\$ 2,498,400.00	\$ 3,107,000.00	\$ 3,322,000.00
Adjustment No. 1 Sludge Removal		\$ 249.00	\$ 263.00	\$ 267.00
Addendum 1		X	X	X
Addendum 2		X	X	X
Bidder Status Form		X	X	X

PREPARED BY:
FOX ENGINEERING ASSOCIATES, INC.
AMES, IOWA

Rochelle Williams

From: Scott Clyce
Sent: Tuesday, January 26, 2016 9:35 AM
To: Rochelle Williams
Subject: Tiny House

Rochelle,

Here are the code sections for the tiny house. I will bring the rest of the material to you this morning.

- *Minimum area.* One habitable room that's at least 120 square feet. IRC 304.1
- *Minimum dimensions.* At least 7 feet in any horizontal dimension. – IRC 304.3
- *Height effect on room area.* At least 7 feet high. If sloped, also over 5 feet. – R304.4

Thanks,

Scott Clyce
Building Administrator
City of Grimes

101 NE Harvey Street
Grimes, Iowa 50111
Office: 515-986-3036
Cell: 515-402-3588
Email: sclyce@ci.grimes.ia.us
www.grimesiowa.gov

Government's first duty and highest obligation is public safety. --- Arnold Schwarzenegger

1-23-16

To: City of Grimes
Building Addmenterstor

I James R Moriset am asking for a variance, to
section R304

R304.1
R304.3
R304.4
R305.1

Sir as I have shown you in my plans this is considered a mini home. This home as by sqft it would be 265 and this will be a starter home. Then I will be adding on a shed and a workshop. In the first phase I will do drive way and foundation for larger home. And all tire and axels will be removed as soon as I affix the home. As the next phase would be a shed aprox. 12/18ft. The tired phase would be the workshop as I have shown you are aprox 24x36.

All sewer, water and electric will be to city specs.

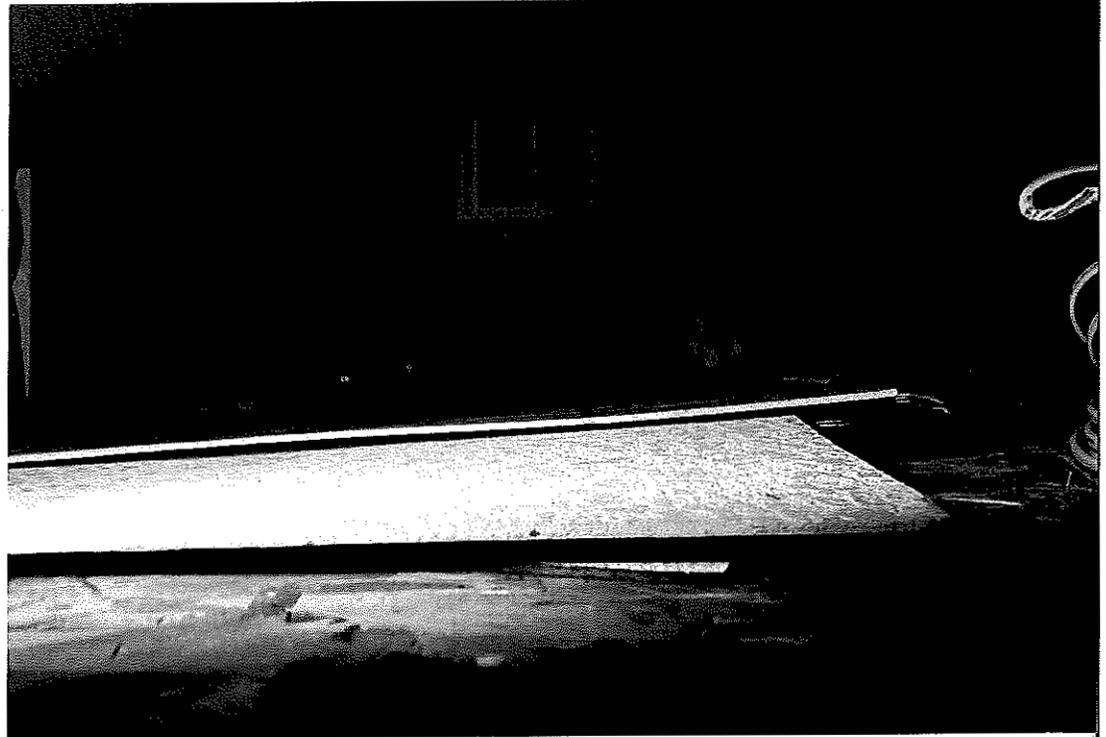
Sir I am a retired firefighter/Para-medic. I

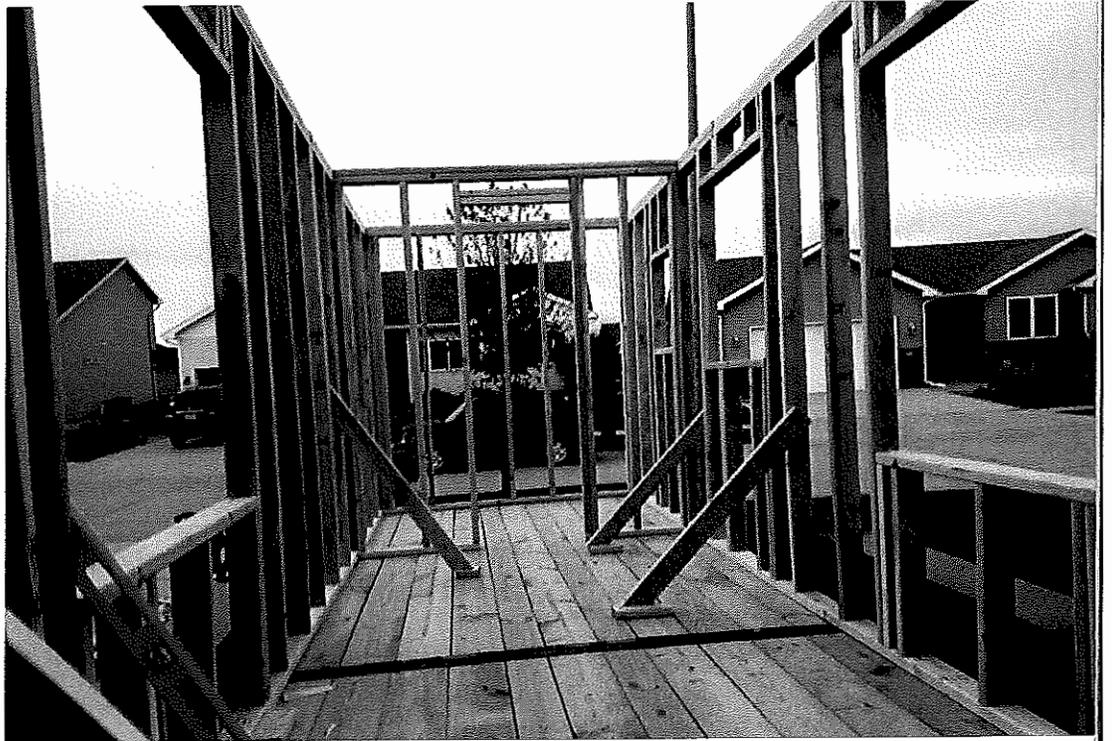
want this the last home I have to build. My son Tobias and his wife and four children live on se 16 st. living here is the utmost enjoyable move I have ever had. The town's people and residents have made me feel right at home.

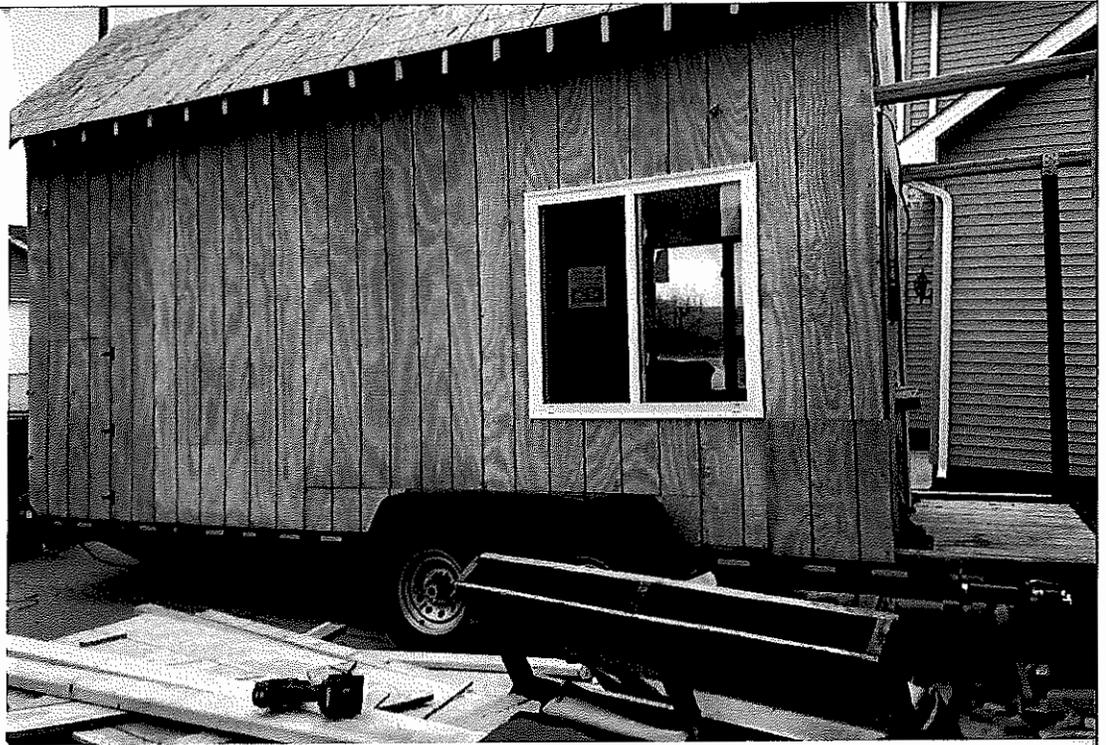
Thank you for thinking of my appeal

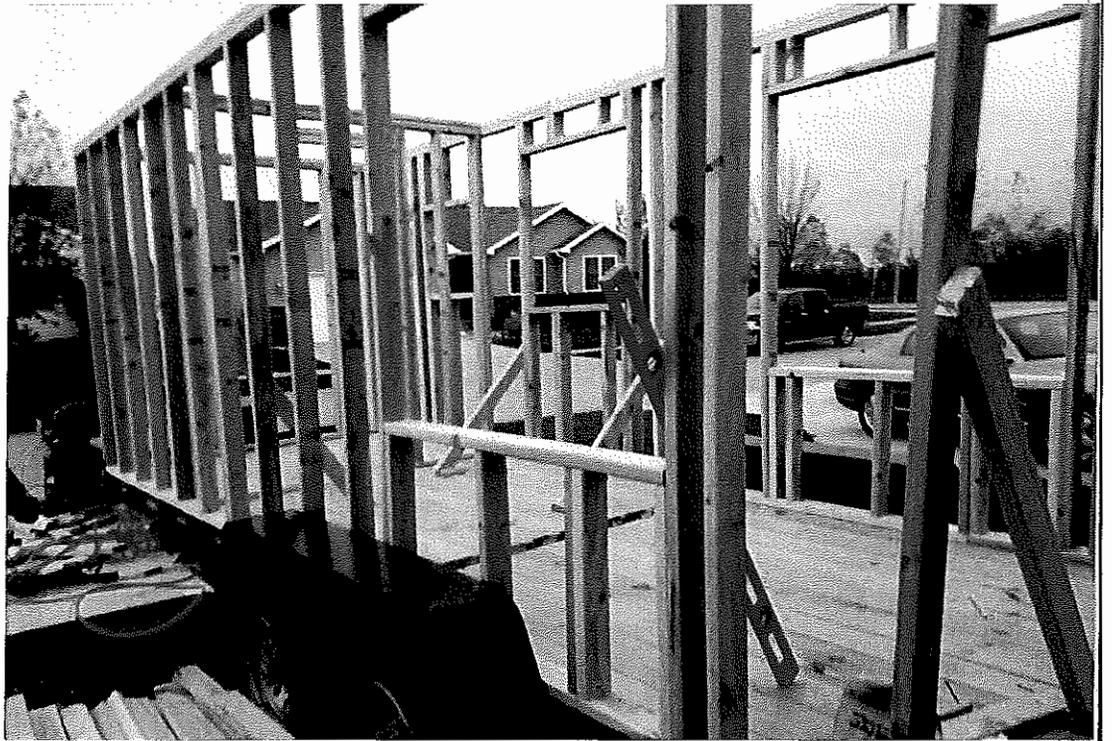
A handwritten signature in cursive script, appearing to read "James R. Moriset".

James R Moriset
808 SE 16 ST
Grimes, Ia 50111
515-422-8711



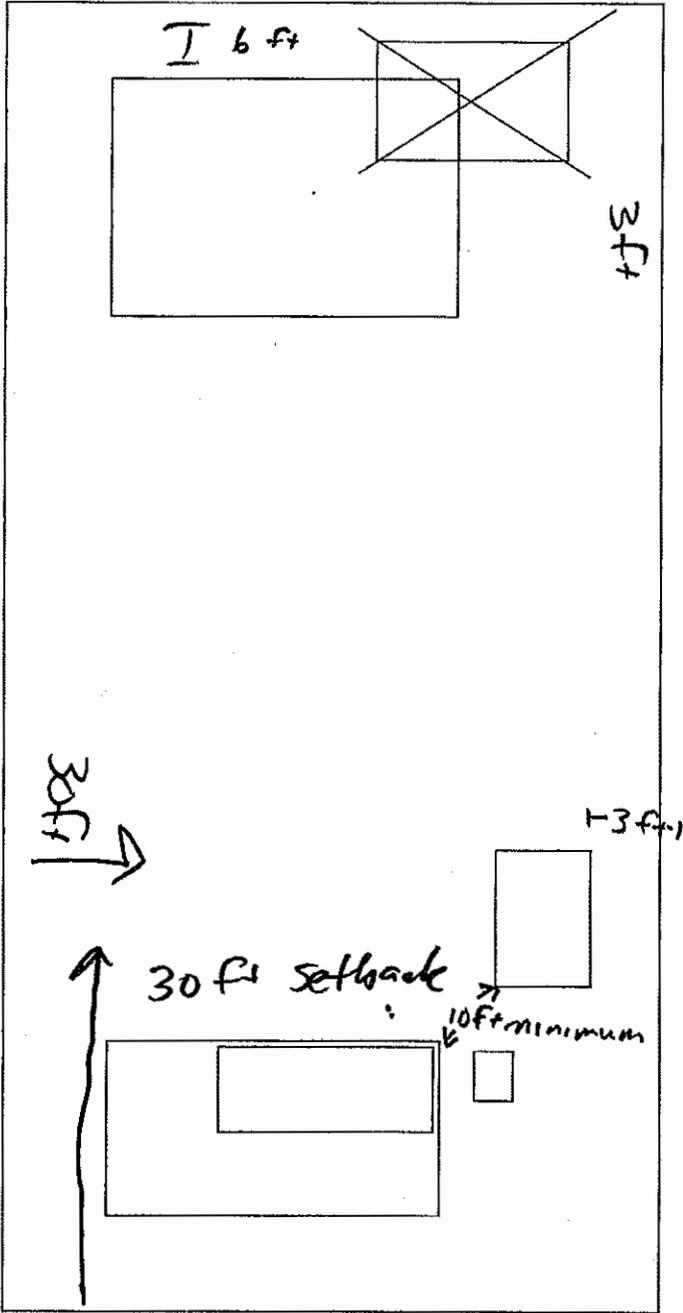






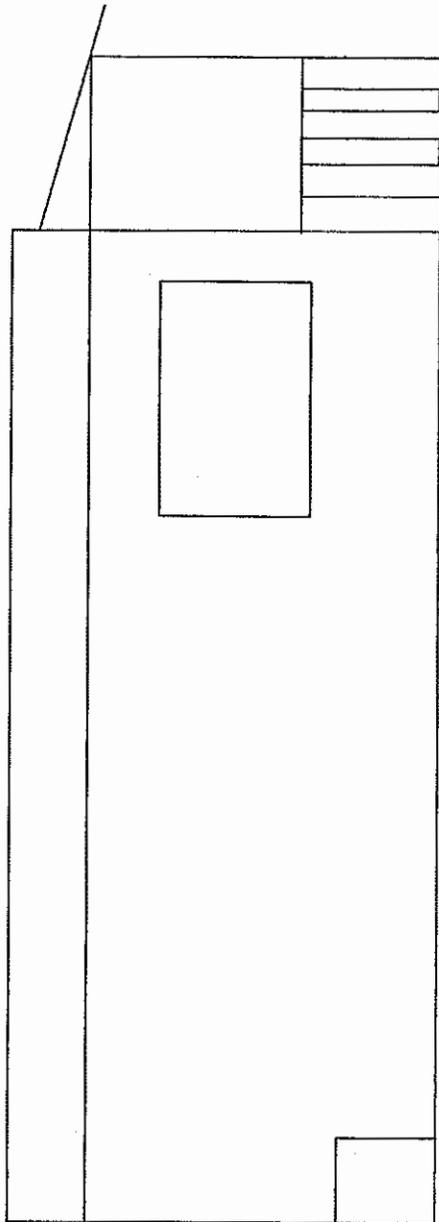


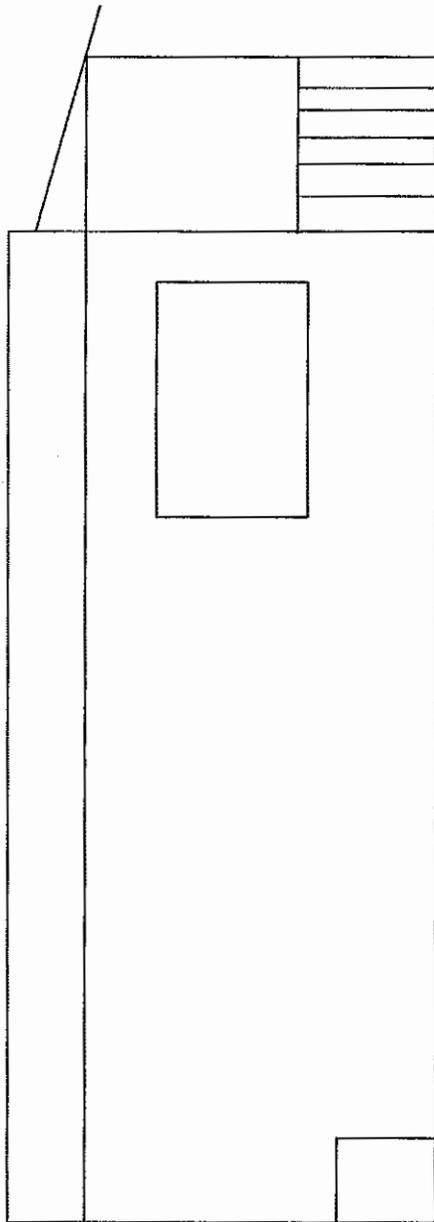
Jacob

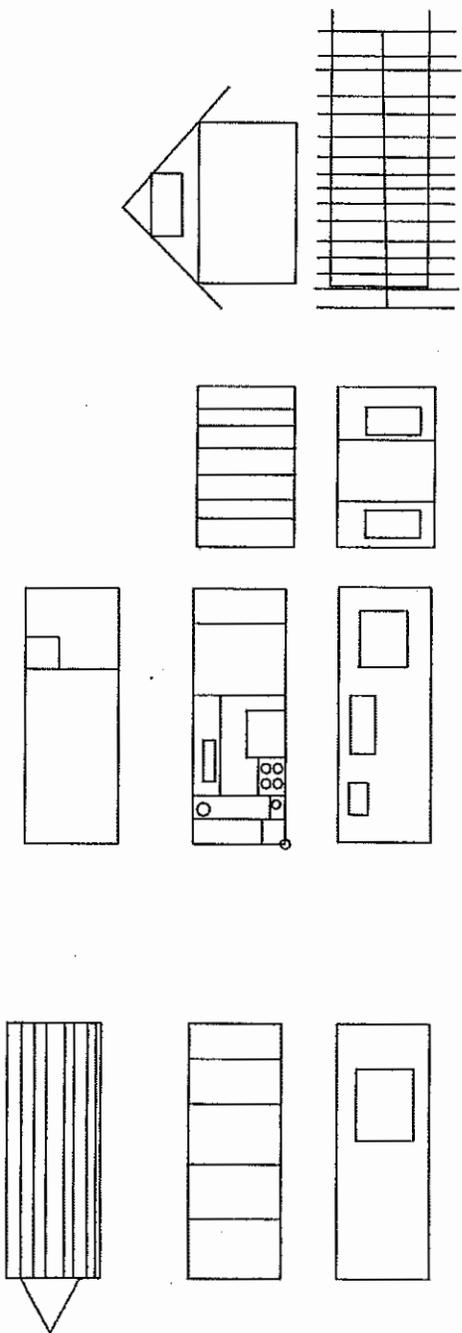


2nd

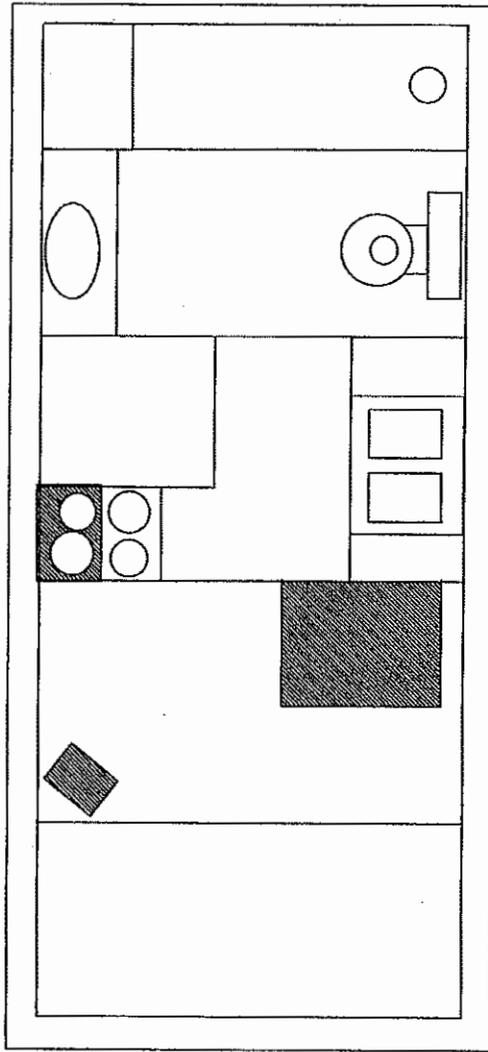
Auth - handy
 971-1026







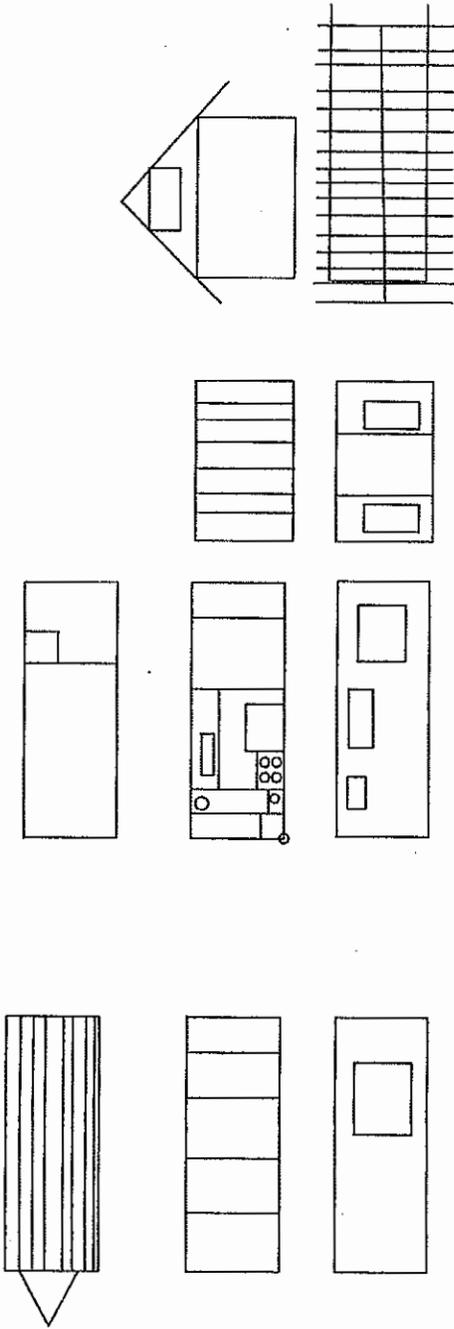
PRODUCED BY AN AUTODESK EDUCATIONAL PRODUCT



PRODUCED BY AN AUTODESK EDUCATIONAL PRODUCT

PRODUCED BY AN AUTODESK EDUCATIONAL PRODUCT

PRODUCED BY AN AUTODESK EDUCATIONAL PRODUCT



RESOLUTION NO. 02-0116

WHEREAS, a public hearing was held on January 12, 2016, on a request from Caymus Park Holdings, LLC, to rezone its property consisting of 22.9 acres from a Planned Unit Development (PUD) with underlying zoning of R-3 medium multiple family district which allows for the construction of single unit townhomes to a PUD that allows for R-3 Medium multiple family districts and the construction of apartments;

WHEREAS, at the time of the public hearing, several local residents appeared at the hearing with concerns over the requested change of zoning;

WHEREAS, the Grimes City Council would like to have input from Planning and Zoning with regard to the stated concerns prior to determining whether to approve the requested zoning request;

IT IS HEREBY RESOLVED,

That this matter be referred back to the Planning and Zoning Commission for a determination and recommendation with regard to the following:

1. Whether the roads adjacent to and near the proposed R-3 medium multiple family districts will accommodate any potential increased traffic flow that will be created by the construction of these residential facilities;
2. Whether Destination Drive needs to be completed prior to the proposed high multiple family district that will result in the construction of apartment buildings in the area;
3. Whether the current pedestrian ways adjacent to and near the proposed R-3 multiple family districts will provide for safe pedestrian and bike traffic in the area in light of the increased population density created by the construction of the apartments in the area;
4. Whether the water pressure and water supply in the area is sufficient to accommodate the type of water use that could be expected with the construction of multiple family buildings, like apartments, in the proposed area; and,
5. Whether the proposed medium multiple family district is consistent with the comprehensive planning adopted for growth by the City of Grimes.

BE IT RESOLVED this _____ day of February , 2016, by a vote of _____ to _____.

ATTEST:

CITY OF GRIMES, IOWA

Rochelle Williams, City Clerk

Tom Armstrong, Mayor



CITY COUNCIL MEETING
Workshop Immediately Following Council Meeting
Tuesday February 9, 2016
Grimes City Hall

Following the City Council Meeting
Mayor Tom Armstrong

City Council: Jill Altringer, Ty Blackford, Doug Bickford, Jeremy Hamp, Eric Johansen
City Administrator Kelley Brown, City Clerk Rochelle Williams,
City Treasurer Deb Gallagher
City Attorneys Tom Henderson
City Engineer John Gade

I. GENERAL AGENDA ITEMS

1. Call to Order
2. Roll Call
3. Approval of the Agenda
4. Budget Presentations
 - A. Library
 - B. Grimes Chamber and Economic Development
 - C. Fire
 - D. Water/Waste water
 - E. Park
 - F. Street
 - G. Overview
5. New Business

II. ADJOURNMENT.