



101 NE Harvey, Grimes, Iowa 50111 515.986.3036 Fax 515.986.3846

CITY COUNCIL MEETING

Grimes City Hall
101 NE Harvey Street
May 26, 2015 at 5:30 pm

Mayor Thomas M. Armstrong

**City Council: Jill Altringer, Tami Evans, Craig Patterson
Ty Blackford and Doug Bickford, City Administrator Kelley Brown
City Clerk Rochelle Williams, City Treasurer Deb Gallagher,
City Attorneys Tom Henderson, Erik Fisk, City Engineer John Gade**

Every member of the public and every Council Member desiring to speak shall address the presiding officer, and upon recognition by the presiding officer, shall confine comments to the question under debate, avoiding all indecorous language and references to personalities and abiding by the following rules of civil debate.

- **We may disagree, but we will be respectful of one another**
- **All comments will be directed to the issue at hand**
- **Personal attacks will not be tolerated**

GENERAL AGENDA ITEMS.

1. Call to Order
Pledge of Allegiance
2. Roll Call
3. Approval of the Agenda
4. Approval of the Consent Agenda (**Discussion is not allowed unless the Mayor or a City Council Member ask for an item to be removed and placed under Council actions for consideration**)
 - A. Minutes from May 13, 2015 meeting
 - B. Alcohol License for Governors Days – Grimes Chamber and Economic Development Class B Beer – Outdoor Service -5 day effective 6/11/15
 - C. Alcohol License Renewal for Walmart Supercenter #5748 Class E Liquor License with Sunday Sales
 - D. Alcohol License Renewal for Kum & Go #141 Class E Liquor License with Sunday Sales
 - E. Alcohol License Renewal for Kum & Go #237 Class E Liquor License with Sunday Sales
 - F. Alcohol License New for Burger Daddy Class C Liquor License with Sunday Sales
 - G. Request from Grimes Chamber and Economic Development for fireworks display on Sat. July 4, 2015 beginning at 10 pm. at Sports Complex by Pyro Magic Displays, rain date of July 5, 2015
 - H. Professional Services with Civil Design Advantage LLC for Grimes Crossroads Plat 6/ Destination Drive - \$9,215.40



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- I. AECOM – Northwest Transportation Study - \$1,652.49
- J. Des Moines Area Metropolitan Planning Organization Fiscal Year 2016 Assessment (assessment rate of \$1.00 per capita with last census at 8,246 - \$8,246
- K. SE 19th Street Paving Project Change Order 6 (remove temporary shouldering and areas graded for paving - \$9,883.76, adjust fiber optic cable hand hole at SE Destination Drive and SE 19th Street - \$1,650, 3 fire hydrants to finish grade - \$3,135, 3% incentive payment for a thickness Incentive to contract per IDOT standard specifications in the amount of \$28,630.16, smoothness incentive \$4,700 for a total of \$47,998.92
- L. Authorize Additional Payment for Easements for SE 19th Street Reconstruction Project \$1,300 (loss of hay crop - \$900 and cost of sign relocation \$400)
- M. Request for New Construction Incentive for Total Family Eye Care and Direction to Initiate Legal Proceedings
- N. Pay Request #15 for SE 19th Street Improvements to Concrete Technologies - \$34,714.68
- O. Set June 23, 2015 for a Public Hearing and Action on the 2015 Budget Amendment
- P. Claims Report

5. US Water Report

6. Metro Waster Authority Report – Ron Long Metro Waste Authority Board Member Alternate

PUBLIC AGENDA ITEMS Council may consider and potentially act on the following Public Agenda items.

- A. Houghton Flex Warehouse Site Plan
- B. Public Hearing on Dev. Agreement for Prairie Business Park, LLC/R&R Realty Group
- C. Resolution 05-0515 Approving Development Agreement for Prairie Business Park, LLC/R&R Realty Group, Authorizing Annual Appropriation Tax Increment Payments and Pledging Certain Tax Increment Revenues to the Payment of the Agreement
- D. Resolution 05-0615 Authorizing Bond Purchase Agreement with Piper Jaffray and Co. for sale of \$8,500,000 General Obligation Corporate Purpose Bonds, Series 2015

PUBLIC FORUM

“Those people wishing to address the Council need to sign up on the sheet which has been provided on the table near the door. Each person will be allowed three minutes from the podium and may address no more than two issues per Grimes Rules of Procedure for Conduct of City Business – May 2005.”

COUNCIL ACTIONS

- A. 28E Agreement for Mutual Assistance for Polk County Fire/Rescue Services (updating agreement)



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COUNCIL DISCUSSIONS

1. Mayor's Report
Appointments: Public Health and Safety Board and Tree Board
2. City Attorney's Report
3. City Engineer's Report
4. City Staff Report
5. Old Business
6. New Business
7. Recess Open Session
8. Reconvene Open Session
9. Resolution 05-0315 providing for Closed Session ref 21.5 1 (c) To discuss strategy with counsel in matters that are presently in litigation or where litigation is imminent where its disclosure would be likely to prejudice or disadvantage the position of the governmental body in that litigation.
10. Rise from Closed Session
11. Reconvene Open Session
12. Open Session – cont.
13. New Business – cont.

ADJOURNMENT



CITY COUNCIL MEETING
Workshop Immediately Following Council Meeting
Tuesday May 26, 2015
Grimes City Hall

Following the City Council Meeting
Mayor Tom Armstrong

City Council: Craig Patterson, Jill Altringer, Tami Evans, Ty Blackford, Doug Bickford
City Administrator Kelley Brown, City Clerk Rochelle Williams,
City Treasurer Deb Gallagher
City Attorneys Tom Henderson
City Engineer John Gade

I. GENERAL AGENDA ITEMS

- 1. Call to Order**
- 2. Roll Call**
- 3. Approval of the Agenda**
- 4. Engineering Discussion**
- 5. New Business**

II. ADJOURNMENT.

CITY COUNCIL MEETING

Tuesday, May 13, 2015

Grimes City Hall 5:30 P.M.

The regular meeting of the Grimes City Council was called to order by Mayor Pro Tem Evans on Wed, May 13, 2015 at 5:30 P.M. at the Grimes City Hall. The Pledge of Allegiance was led by Mayor Pro Tem Evans.

Roll Call: Present: Evans, Blackford, Altringer Absent: Bickford and Patterson

GENERAL AGENDA ITEMS.

APPROVAL OF THE AGENDA

Mayor Pro Tem Evans asked for approval of the agenda with a request to move Item D from the Consent Agenda to the Public Agenda.

Moved by Altringer, Seconded by Blackford; the Agenda with those changes shall be approved.

Roll Call: Ayes: All. Nays: None. Motion passes: 3 to 0.

Approval of the Consent Agenda

A. Minutes from April 28, 2015 meeting B. Resolution 05-0115 Setting A Date of Meeting at Which It Is Proposed To Approve A Development Agreement with Prairie Business Park, LLC, Including Annual Appropriation Tax Increment payments in an amount not to exceed \$1,300,300 C. Approval of Bid to Clean Tile and Carpet at Grimes Community Complex by ServPro -\$2,918.48 D.(moved to Public Agenda) E. Engagement Letter with Dorsey and Whitney LLP for Bond Counsel Services F. Resolution 05-0415 Assessment for Unpaid Water Service Fees G. Change Order 8 to CL Carroll Co., Inc for the ASR Well No. 1 Well Pump and Control Building Improvements - \$4,205.75 (replace grating over existing sump near the transformer Containment area, modify roofing to provide proper drainage) H. Pay Request #8 to C.L. Carroll for the ASR Well No. 1 Well Pump and Control Building Improvements - 189,988.60 I. Pay Request #14 to Concrete Technologies for the SE 19th Street Improvements - 114,165.37 J. Claims Dated May 13, 2015 - \$734,569.70 K. Finance Report for April 2015

Apr-14

	Beg Balance	Receipts	Expenses	Ending Balance
General Fund	5,026,023.86	138,404.07	726,733.51	4,437,694.42
Special Revenue Fund	1,078,288.44	111,024.88	229,966.35	959,346.97
Debt Service Capital Improvements	4,580,155.42	7,798.36	2,023,357.29	2,564,596.49
Enterprise Fund	1,820,248.75	16,314.13	-10,265.01	1,846,827.89
Total	4,861,703.23	473,861.90	1,148,050.56	4,187,514.57
	17,366,419.70	747,403.34	4,117,842.70	13,995,980.34

Moved by Blackford, Seconded by Altringer; the Consent agenda shall be approved.

Roll Call: Ayes: All. Nays: None. Motion passes: 3 to 0

Fire Chief Report

Chief Krohse advised there were 77 runs for the month of April with 58 percent of them EMS. He added there were no significant fires for the month.

Patrol Report

Deputy Ballinger from the Polk County Sheriff's Department was present to update the Council on the department's activity for April. He advised that there were 146 stops, 427 calls for service for a total of 563 contacts with 6 arrests. Deputy Ballinger stated that several of the officers have done acts of humanitarianism for residents of the City. Ballinger gave the example of Deputy Shelby who had a call regarding a man who had taken his girlfriend's truck to Florida. Instead of issuing a warrant, he called the man and asked him to bring his truck back in lieu of being arrested and the man did as promised. Two other examples were given of calls from Walmart on transient families who were completely out of money to continue on their travels. One deputy gave them money out of his own pocket and in the other example, a local resident was called and he promptly came up and gave them money so they could continue on to Kansas City. Ballinger also emphasized the amazing Fire and Rescue Dept we have and the men and women who go above and beyond to help us if we are injured. Mayor Pro Tem Evans thanked the Sheriff's office for all they do for the City.

PUBLIC AGENDA ITEMS

A. Kennybrook South Preliminary Plat

Erin Ollendike, CDA 3405 SE Crossroads Drive Suite G Grimes addressed the Council on behalf of Diligent Kennybrook. Ollendike stated this plat consists of 52.4 acres and is located south of the intersection of SW Brookside Drive and SW 6th Street. She added this is zoned for 24 single family homes with a PUD and an underlying zoning of R2-60. Ollendike stated there is a multifamily lot west of Brookside Drive which is zone R-3 multifamily residential and property east of Brookside Drive is zoned R2-70. She advised that this preliminary contains 85 single lots and one outlot which will be platted as an actual housing lot for the development of town homes. Ollendike stated there is a 4.1 acre parkland dedication within the development. She advised that all comments from the City Engineer had been addressed except the park land dedication due to the increased density from the change from single family to multi-family. Ollendike informed the Council that of the 4.15 acres, 2.29 acres are useable park land area. The developers are asking that the parkland not be required to be increased with the addition of the multifamily units going in. City Engineer Gade said the multifamily lot increases the density causing a need for the additional park land requirement. Ollendike stated this multifamily lot would add .3 acres for the parkland dedication and that there was 4.1 acres park that would be dedicated to the city with Plat 1. Mayor Pro Tem Evans asked how difficult it would be for them to add parkland in this development. Council Member Altringer stated that she felt that the extra parkland needs to be added due to the fact that much of the parkland is unusable.

Moved by Altringer, Seconded by Blackford; Kennybrook South Preliminary Plat shall be approved subject to an agreement on what is required as additional parkland through greenspace or cash.

Roll Call: Ayes: All. Nays: None. Motion passes: 3 to 0.

B. Destination Ridge Plat 4 Preliminary

Kirsten Rimes with Edward Rose & Sons, Regional Office is located at 6101 Newport Road, Kalamazoo, Michigan addressed the Council. Rimes provided an overview of the project which included the proposed Edward Rose apartment site. Rimes stated they have a 31.3 acre parcel which is Outlot Y

of Destination Ridge Plat 1. She added this is located at the intersection of Destination Drive and SE 11th Street. Rimes stated that they wish to remove the 141 Corridor Overlay requirements on this parcel and the preliminary plat. She added that the overlay was placed upon the parcel by the current owners; Knapp Properties, and were not placed by the City. Rimes clarified they had received written approval from Knapp Properties for that requirement to be waived for this project and was asking the City for their approval. She added that this plat is outside of Zone 1 and Zone 2 so it does not require the 600' and 1200' setback of Hwy 141. Rimes went on to give an overview of the proposed apartment site plan. She stated the plan included 384 unit apartment developments with two thirds of the units consisting of one bedroom one bath with approximately 720 sq ft and the remaining third as two bedrooms, two baths and about 1100 sq ft. all rented at market rate. Rimes added that this project would be built in phases with 24, 30, and 36 unit buildings three stories tall with a one story community room, a leasing and management office and an outside pool. She reviewed the exterior products to be used on the building along with the color options. She added that the garages would be screened from the right-of-way by a berm and plantings. Rimes stated a 50 ft antenna would be on the site to provide free over the air television to their residents. She provided a drawing of the foundation plantings which she stated meet and exceed the requirements under the ordinance. Rimes stated that a quarter mile of trail is along the east side of property. Rimes added that there are also a mile and one-half of sidewalks on the site. She stated that the amenities with the apartment site include an outdoor pool, community center along with a fitness center. Rimes stated that there was concern on the separation of 11th Street from their development. She added that the City is requiring them to obtain the southern ½ of the ROW for SE 11th Street from the adjacent owner to the south and feel this could hamper their development. Rimes stated that the current owner; Knapp Properties have agreed to enter into a development agreement with the City as well as acquire the southern half of the ROW and construct the road. Rimes stated then that this would not be a part of this development. Rimes asked for consideration that the road not be tied to their development in the event that there is a delay on the road development. She added that they would agree to construct the watermain that is part of the ROW and it would be done in the first phase of the development. Rimes added with having access off of Destination Ridge they would not need the 11th Street access for the success of their development.

Council Member Blackford voiced safety concerns over having only one access point in and out of the development. Rimes stated that the only bottle neck area would be at the entrance. City Engineer Gade stated this was the first time he had heard about the possible development agreement with Knapp Properties over SE 11th Street. Rimes stated that they currently have a verbal agreement with the property owner on the ROW but do not know the details at this point. Gade added that until there is a connection of SE 11th Street some type of a turnaround would need to be constructed. Rimes was asked to give information on the parkland dedication. She stated that the requirement is 40% for open space and they are providing 60% by the outdoor pool, indoor fitness center and the trail which all totals 16 acres of total open space. She added this does not include the ponds. Council Member Altringer questioned whether all these amenities would be for the public or just residents. Rimes replied that it was for residents. Mayor Pro Tem Evans added that she felt that park land dedication should be for the public and protect greenspace. Council Member Blackford agreed. Council Member Altringer clarified that the overlay requirements that were on this project were put on by the current owner and not a City requirement. Mayor Pro Tem Evans questioned the parkland dedication requirement again. Rimes stated that the trail along with cash would meet the requirements. Gade stated that he was confident they could work out an agreement with Knapp Properties on the SE 11th Street agreement.

Moved by Blackford, Seconded by Altringer that Destination Ridge Plat 4 Preliminary shall be approved; subject to the agreement that SE 11th Street goes through and is completed and the parkland dedication agreement approval.

Roll Call: Ayes: All. Nays: None. Motion passes: 3 to 0.

C. Edward Rose Apartment Site Plan

Discussion on this site plan was held during the Destination Ridge Plat 4 Preliminary discussions. Rimes reviewed the phasing of the landscaping.

Moved by Altringer, Seconded Blackford; the Edward Rose Apartment Site Plan shall be approved subject to the approval of the Destination Ridge Plat 4 Final with the conditions listed in the preliminary approval.

Roll Call: Ayes: All. Nays: None. Motion passes: 3 to 0.

Rimes clarified that the overlay would be removed at the final plat and she was advised this was correct.

D. Total Family Eye Care Site Plan

Shane Devick with CEC 2400 86th Street #12 Street Urbandale. Devick stated that this parcel is just east of Walmart and south of the health clinic on Destination Drive. Devick said they did not have any issues with the comments provided by Fox Engineering. Robert Stensland of Modern Design Architects 202 Main, Jainsville IA addressed the Board to describe the building materials. Stensland stated there would be three spaces within the building for the Optometric office as well as up to two additional tenants. He said the products on the exterior would include cultured stone, EIFS, and brick. Stensland stated that due to the building structure they did have a concern with the amount of glass required and hoped to have a waiver for this project. Stensland added they had tried to bring interest to the building with architecture through punch openings. Council Member Altringer stated this was a very nice looking building. City Engineer Gade commented that they had a similar issue with the clinic next door and the City had provided a waiver in that circumstance. Gade stated that the Planning and Zoning Board did approve this site plan with approval for the waiver of the glass requirement on the building. Council Member Altringer again stated this was a really nice structure and was glad he was expanding his business in Grimes.

Moved by Altringer, Seconded by Blackford; the Total Family Eye Care Site Plan shall be approved subject to Fox Engineering letter of April 30, 2015 along with a waiver of the requirement of 40% glass requirement on the building.

Roll Call: Ayes: All. Nays: None. Motion passes: 3 to 0.

E. Houghton Flex Warehouse Site Plan

Josh Trygstad, CDA 3405 SE Crossroads Drive Suite G Grimes addressed the Council regarding the Houghton- Gateway Business Park Site Plan. This site is located next to Dogwoods Lodge on lot 3 of Gateway business Park Plat 2 and is approximately 2 acres in size, zoned M-1A and also lies within the 141 Corridor. Weggen stated that they are proposing to build a 22,500 sq. ft. building for primarily warehouse usage with some office space. There is not any parking lot lighting, fencing or dumpsters anticipated at this time and a 12 foot loading dock will be located in the rear of the building. Ken Seeger from Downing Construction of Indianola addressed the Board to describe the building materials. Seeger stated that initially there would only be one door in the front of the building, however he explained that depending on the future use and tenant requirements, the windows along the front are all sized to accommodate retrofitting to additional doors if needed. Seeger described the exterior coverings

as a utility grey tone brick on the bottom of the building and metal paneling with horizontal ridges for accent. The Council voiced concerns over the building materials proposed since this building would be along Hwy 141. Seeger stated that the owner was not available at this time to approve any additions to the building materials. The Council decided it would be best to table this discussion until the owner was available. Representatives from the site plan agreed.

Moved by Altringer, Seconded by Blackford; the Houghton Flex Warehouse Site Plan shall be tabled.

Roll Call: Ayes: All. Nays: None. Motion passes: 3 to 0.

F. Request to Rezone approximately 9.89 acres in Lot 43 Chevalia Valley Development from R-3 to R-4 Planned Unit Development for single family housing refer onto Planning and Zoning Board for June 2, 2015 and back to Grimes City Council on June 9, 2015.

Moved by Blackford, Seconded by Altringer; this request for rezoning shall be referred to Planning and Zoning and Public Hearing dates shall be set for Planning and Zoning for June 2, 2015 and Grimes City Council on June 9, 2015.

Roll Call: Ayes: All. Nays: None. Motion passes: 3 to 0.

G. Public Hearing on Proposal to Enter into a General Obligation Loan Agreement

Mayor Pro Tem Evans opened the Public Hearing at 6:45 pm. There being no oral or written comments; the Hearing was closed at 6:45 pm.

H. Resolution 05-0215 taking additional action on proposal to enter into General Obligation Loan Agreement, combining Loan Agreements, setting the date for sale of General Obligation Corporate Purpose Bonds, Series 2015 and authorizing the use of a preliminary official statement in connection therewith

Moved by Blackford, Seconded by Altringer; Resolution 05-0215 taking additional action on proposal to enter into General Obligation Loan Agreement, combining Loan Agreements, setting the date for sale of General Obligation Corporate Purpose Bonds, Series 2015 and authorizing the use of a preliminary official statement in connection therewith shall be approved.

Roll Call: Ayes: All. Nays: None. Motion passes: 3 to 0.

D. Set Bid date of May 28, 2015 and Public Hearing Date of June 9, 2015 for approval of plans specifications, form of contract and estimate of costs and concur with the City of Johnston in the award of the bid for the East 1st Street Paving/NW 70th Avenue from 925' east of SE Destination Drive to NE Edgewood Drive.

City Engineer Gade advised that due to the Grimes assessment on this project the attorney from Ahlers and Cooney who the City of Johnston was using for legal counsel advised that the City of Grimes needed to award the project and then the City of Johnston. City Administrator Brown asked the Council if they would be open to doing a special meeting on June 1, 2015 to just vote on this project. Moved by Blackford, Seconded by Altringer; a bid date of May 28, 2015 and change the Public Hearing Date to June 1, 2015 for approval of plans specifications, form of contract and estimate of costs and concur with the City of Johnston in the award of the bid for the East 1st Street Paving/NW 70th Avenue from 925' east of SE Destination Drive to NE Edgewood Drive shall be approved.

COUNCIL ACTIONS

A. Third Reading of Ordinance #645 Establish A Tobacco Free Parks and Trail Policy For the City of Grimes, Iowa

Moved by Altringer, Seconded by Blackford; the Third Reading of Ordinance #645 shall be approved.

Roll Call: Ayes: All. Nays: None. Motion passes: 4 to 0

Moved by Blackford, Seconded by Altringer; Ordinance #645 shall be adopted.

Roll Call: Ayes: All. Nays: None. Motion passes: 4 to 0

COUNCIL DISCUSSIONS

Mayors Report

No report

City Attorney Report

No report

City Engineer Report

City Engineer Gade stated that SE 19th Street is now open on the Grimes side but closed at 62nd Street this next week.

City Staff Report

No Report

Old Business

New Business

Adjourn. Moved by Altringer; Seconded by Blackford; there being no further business, the meeting shall be adjourned at 6:50 p.m.

Roll Call: Ayes: All. Nays: None. Motion passes: 3 to 0.

ATTEST:

Rochelle Williams, City Clerk

Tami Evans, Mayor Pro Tem



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Criminal History BB_V_59010, Grimes Chamber & Economic Development, Grimes

After completion click on the NEXT link to continue to the next screen, or the BACK link to return to the previous screen.
 The navigation links on the top may also be used to move around the application.

No <input type="checkbox"/>	Have you ever been convicted of a felony offense in Iowa or any other state of the United States? If yes, list on the next (Violations) screen.
No <input type="checkbox"/>	Have any of the owners listed in the ownership screen ever been charged, arrested, indicted, convicted or received a deferred judgment for any violation of any state, county, city, federal or foreign law? All information shall be reported regardless of the disposition, even if dismissed or expunged. Include pending charges. DO NOT include traffic violations, except those that are alcohol related. If yes, list violations on the next (Violations) screen.
None <input type="checkbox"/>	If no arrests, indictments, summons or convictions are applicable select "NONE".

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Ownership BB_V_59010, Grimes Chamber & Economic Development, Grimes

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Corporate applicant's, list all shareholders having 10% or more interest in the corporation and all officers and directors of the corporation regardless of ownership interest. Sole Proprietors shall also include their spouse even if the spouse owns 0% interest. Non-profit corporations or associations need to list officers. Partnerships and Committees not registered with the Secretary of State office will need a trade name filing from their county recorder's office.

If you want to change ownership information at renewal time please finish the renewal with the current ownership listed. When you are finished please go to the Action List and submit an Ownership Update Application along with the license renewal.

Owners:

Name	Address	Percentage	
Brian Buethe	404 SE 2nd Street, Grimes, IA, 50111	1.00 %	View
Mike Vaughn	1751 SE Destination Drive, Grimes, IA, 50111	1.00 %	View

1

First Name: Last Name:

Address:

Address Line 2:

City: State:

Zip:

Position: SS#: U.S. Citizen:

Date of Birth: % of Ownership:

Add

Please make sure you press "Add" after each owner's information is listed above before pushing the next button.

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Applicant **BB_V_59010, Grimes Chamber & Economic Development, Grimes**

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Corporation Name/Sole Proprietor Name/Partnership Name(s): (Sole Proprietorship, Partnership, Corporation, etc.)
 Name of Business (D/B/A):
 Address of Premise:
 Address Line 2:
 City:
 County:
 Zip:
 Business Phone: Cell / Home Phone:
 Same Address
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 Contact Name:
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Applicant License BB_V_59010, Grimes Chamber & Economic Development, Grimes

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LENGTH OF LICENSE REQUESTED:
(Choose one of the following):

12 month

8 month

6 month

14 day

5 day

License Status: Pending Dram Shop

Original issue date of license: MM/DD/YYYY

Issue date of current license: MM/DD/YYYY

License effective date: MM/DD/YYYY

License expiration date: MM/DD/YYYY

Number of days notice:

70 day notice:

Cancel date: MM/DD/YYYY

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Privileges BB_V_59010, Grimes Chamber & Economic Development, Grimes

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Select one or more of the privileges you wish to have for your Class B Beer (BB) (Includes Wine Coolers). If no privileges are applicable please leave all boxes unchecked and hit the next button.

PRIVILEGES:

- Brew Pub
- Class B Native Wine Permit
- Class C Native Wine Permit (On-Premise Native Wine)
- High Proof Brew Pub
- Living Quarters
- Outdoor Service
- Sunday Sales

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Applicant License Application ()

Name of Applicant: <u>Grimes Area Chamber of</u>		
Name of Business (DBA): <u>Grimes Chamber & Economic Development</u>		
Address of Premises: <u>200 N James Street</u>		
City <u>Grimes</u>	County: <u>Polk</u>	Zip: <u>50111</u>
Business	<u>(515) 986-5770</u>	
Mailing	<u>404 SE 2nd Street, Suite 200</u>	
City <u>Grimes</u>	State <u>IA</u>	Zip: <u>50111</u>

Contact Person

Name <u>Brian Buethe</u>
Phone: <u>(515) 986-5770</u> Email <u>brianb@grimesiowa.com</u>

Classification Class B Beer (BB) (Includes Wine Coolers)

Term: 5 days

Effective Date: 06/11/2015

Expiration Date: 01/01/1900

Privileges:

Class B Beer (BB) (Includes Wine Coolers)

Outdoor Service

Status of Business

BusinessType: <u>Privately Held Corporation</u>
Corporate ID Number: <u>187790</u> Federal Employer ID <u>42-1445531</u>

Ownership

Brian Buethe

First Name: Brian **Last Name:** Buethe
City: Grimes **State:** Iowa **Zip:** 50111
Position: Executive Director
% of Ownership: 1.00% **U.S. Citizen:** Yes

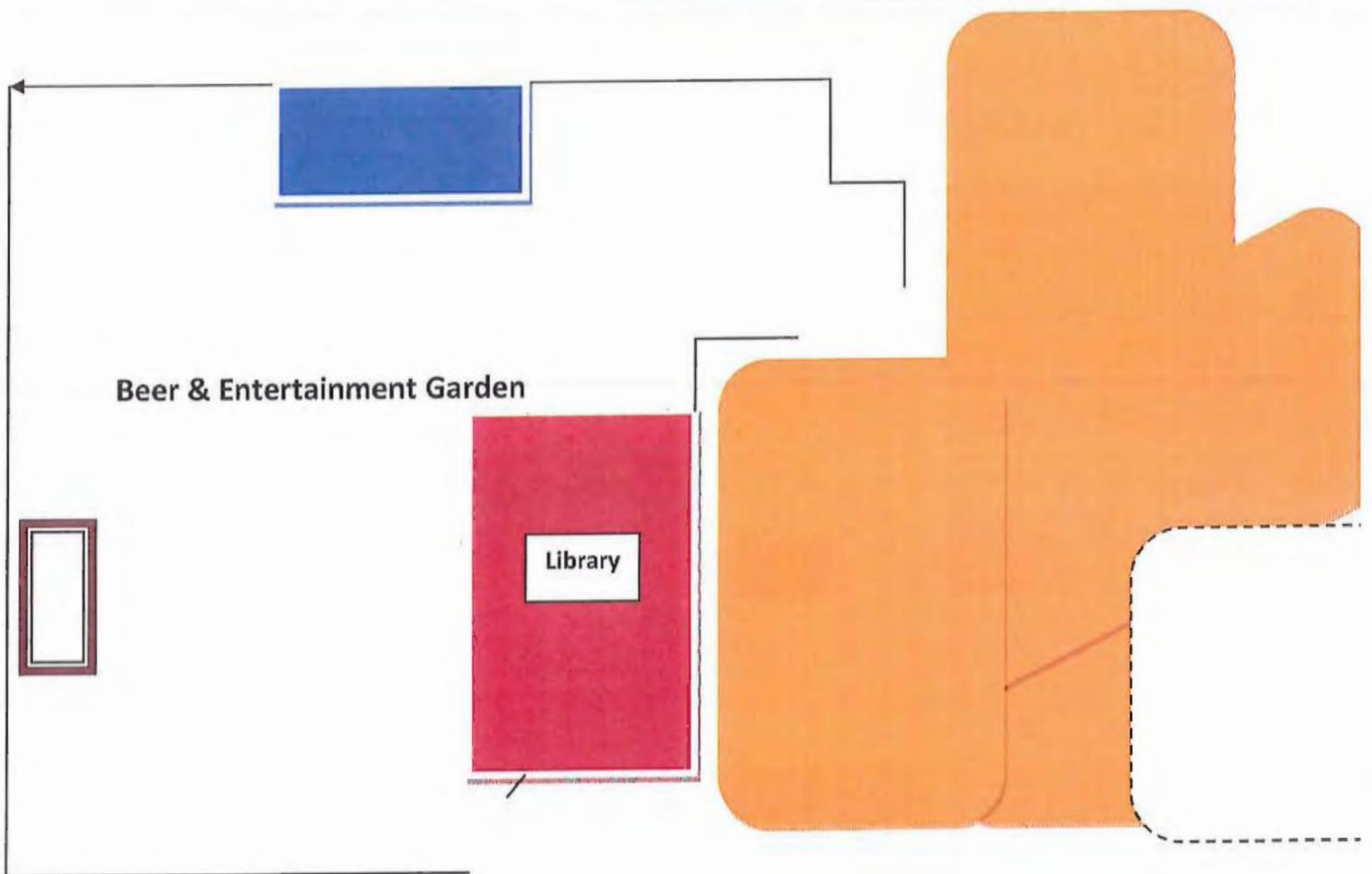
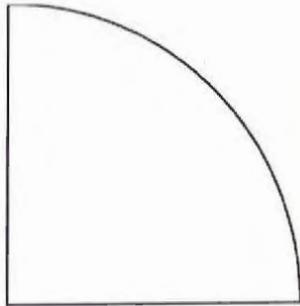
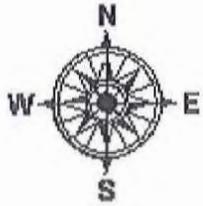
Mike Vaughn

First Name: Mike **Last Name:** Vaughn
City: Grimes **State:** Iowa **Zip:** 50111
Position: 2015 President
% of Ownership: 1.00% **U.S. Citizen:** Yes

Insurance Company Information

Insurance Company:

**Waterworks Park Layout
Grimes, Iowa
Governors Days 2015**



West 1st Street (Highway 44)

APPLICANT

I hereby declare that all information contained in the E-license Application is true and correct. I understand that misrepresentation of material fact in the Application is a serious misdemeanor crime and grounds for denial of the license or permit under Iowa law. Please submit this form to your local authority.

Bu Bu

Applicant's Signature

5/15/2015

Date

NOTARY

State of Iowa

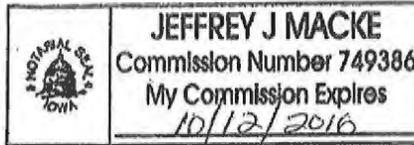
County of Polk

Signed and sworn to before me on 5/15/2015
Date

By Brian Bueche
Print Name of Applicant

Jeff Macke
Signature of Notary

5/15/2015
Date





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Privileges LE0001646, Walmart Supercenter #5748, Grimes

After completion click on the NEXT link to continue to the next screen, or the BACK link to return to the previous screen.

The navigation links on the top may also be used to move around the application.

Select one or more of the privileges you wish to have for your Class E Liquor License (LE). If no privileges are applicable please leave all boxes unchecked and hit the next button.

PRIVILEGES:

- Class B Native Wine Permit
- Class B Wine Permit (Carryout Wine - Includes Native Wine)
- Class C Beer Permit (Carryout Beer)
- Living Quarters
- Outdoor Service
- Sunday Sales

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Applicant License LE0001646, Walmart Supercenter #5748, Grimes

After completion click on the NEXT link to continue to the next screen, or the BACK link to return to the previous screen.
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<p>LENGTH OF LICENSE REQUESTED: {Choose one of the following):</p> <p><input checked="" type="radio"/> 12 month</p> <p><input type="radio"/> 8 month</p> <p><input type="radio"/> 6 month</p> <p><input type="radio"/> 14 day</p> <p><input type="radio"/> 5 day</p>	<p style="color: blue;">License Status: Submitted to Local Authority</p> <p>Original issue date of license: <input type="text" value="04/06/2010"/> MM/DD/YYYY</p> <p>Issue date of current license: <input type="text"/> MM/DD/YYYY</p> <p>License effective date: <input type="text" value="07/15/2015"/> MM/DD/YYYY</p> <p>License expiration date: <input type="text" value="07/14/2016"/> MM/DD/YYYY</p> <p>Number of days notice: <input type="text" value="0"/></p> <p>70 day notice: <input type="text" value="0"/></p> <p>Cancel date: <input type="text"/> MM/DD/YYYY</p>
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Applicant License LE0001646, Walmart Supercenter #5748, Grimes

After completion click on the NEXT link to continue to the next screen, or the BACK link to return to the previous screen.
The navigation links on the top may also be used to move around the application.

LENGTH OF LICENSE REQUESTED:
(Choose one of the following):

- 12 month
- 8 month
- 6 month
- 14 day
- 5 day

License Status: Submitted to Local Authority

Original issue date of license: MM/DD/YYYY

Issue date of current license: MM/DD/YYYY

License effective date: MM/DD/YYYY

License expiration date: MM/DD/YYYY

Number of days notice:

70 day notice:

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Criminal History LE0001646, Walmart Supercenter #5748, Grimes

After completion click on the NEXT link to continue to the next screen, or the BACK link to return to the previous screen.

The navigation links on the top may also be used to move around the application.

No <input type="checkbox"/>	Since this license was last issued, has anyone listed in the ownership screen been convicted of a felony offense in Iowa or any other state of the United States? If yes, list on the next (Violations) screen.
No <input type="checkbox"/>	Since the license was last issued, have any of the owners listed in the ownership screen been charged, arrested, indicted, convicted or received a deferred judgment for any violation of any state, county, city, federal or foreign law? All information shall be reported regardless of the disposition, even if dismissed or expunged. Include pending charges. DO NOT include traffic violations, except those that are alcohol related. If yes, list violations on the next (Violations) screen.
None <input type="checkbox"/>	If no arrests, indictments, summons or convictions are applicable since the license was last issued, select 'NONE'.

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Ownership LE0001646, Walmart Supercenter #5748, Grimes

After completion click on the NEXT link to continue to the next screen, or the BACK link to return to the previous screen.
The navigation links on the top may also be used to move around the application.

Corporate applicant's, list all shareholders having 10% or more interest in the corporation and all officers and directors of the corporation regardless of ownership interest. Sole Proprietors shall also include their spouse even if the spouse owns 0% interest. Non-profit corporations or associations need to list officers. Partnerships and Committees not registered with the Secretary of State office will need a trade name filing from their county recorder's office.

If you want to change ownership information at renewal time please finish the renewal with the current ownership listed. When you are finished please go to the Action List and submit an Ownership Update Application along with the license renewal.

Owners:

Name	Address	Percentage	
William Simon	702 SW 8th Street, Bentonville, AR, 72716	1.00 %	View
Phyllis Harris	7 Oxford Drive, Rogers, AR, 72758	0.00 %	View
Jeff Davis	84 Champions Blvd., Rogers, AR, 72758	0.00 %	View
Andrea Marie Lazenby	808 Irelian Street, Lowell, AR, 72745	0.00 %	View

1

First Name: Last Name:

Address:

Address Line 2:

City: State:

Zip:

Position: SS#: U.S. Citizen:

Date of Birth: % of Ownership:

Add

Please make sure you press "Add" after each owner's information is listed above before pushing the next button.

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Privileges LE0001818, Kum & Go #141, Grimes

After completion click on the NEXT link to continue to the next screen, or the BACK link to return to the previous screen.
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Select one or more of the privileges you wish to have for your Class E Liquor License (LE). If no privileges are applicable please leave all boxes unchecked and hit the next button.

PRIVILEGES:

<input type="checkbox"/>	Class B Native Wine Permit
<input checked="" type="checkbox"/>	Class B Wine Permit (Carryout Wine - Includes Native Wine)
<input checked="" type="checkbox"/>	Class C Beer Permit (Carryout Beer)
<input type="checkbox"/>	Living Quarters
<input type="checkbox"/>	Outdoor Service
<input checked="" type="checkbox"/>	Sunday Sales

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Applicant License LE0001818, Kum & Go #141, Grimes

After completion click on the NEXT link to continue to the next screen, or the BACK link to return to the previous screen.
The navigation links on the top may also be used to move around the application.

<p style="text-align: center; margin: 0;">LENGTH OF LICENSE REQUESTED:</p> <p style="margin: 0;">(Choose one of the following):</p> <p style="margin: 0;"><input checked="" type="radio"/> 12 month</p> <p style="margin: 0;"><input type="radio"/> 8 month</p> <p style="margin: 0;"><input type="radio"/> 6 month</p> <p style="margin: 0;"><input type="radio"/> 14 day</p> <p style="margin: 0;"><input type="radio"/> 5 day</p>	<p style="margin: 0;">License Status: Submitted to Local Authority</p> <p style="margin: 0;">Original issue date of license: <input type="text" value="06/02/2011"/> MM/DD/YYYY</p> <p style="margin: 0;">Issue date of current license: <input type="text"/> MM/DD/YYYY</p> <p style="margin: 0;">License effective date: <input type="text" value="07/01/2015"/> MM/DD/YYYY</p> <p style="margin: 0;">License expiration date: <input type="text" value="06/30/2016"/> MM/DD/YYYY</p> <p style="margin: 0;">Number of days notice: <input type="text" value="0"/></p> <p style="margin: 0;">70 day notice: <input type="text" value="0"/></p> <p style="margin: 0;">Cancel date: <input type="text"/> MM/DD/YYYY</p>
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Criminal History LE0001818, Kum & Go #141, Grimes

After completion click on the NEXT link to continue to the next screen, or the BACK link to return to the previous screen.
The navigation links on the top may also be used to move around the application.

No ▾	Since this license was last issued, has anyone listed in the ownership screen been convicted of a felony offense in Iowa or any other state of the United States? If yes, list on the next (Violations) screen.
No ▾	Since the license was last issued, have any of the owners listed in the ownership screen been charged, arrested, indicted, convicted or received a deferred judgment for any violation of any state, county, city, federal or foreign law? All information shall be reported regardless of the disposition, even if dismissed or expunged. Include pending charges. DO NOT include traffic violations, except those that are alcohol related. If yes, list violations on the next (Violations) screen.
None ▾	If no arrests, indictments, summons or convictions are applicable since the license was last issued, select 'NONE'.

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Ownership LE0001818, Kum & Go #141, Grimes

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Owners:

Name	Address	Percentage	
Kyle Krause	30375 Napa Ranch Road, Waukee, IA, 50263	0.00 %	View
Craig Bergstrom	6700 Augustine Court, Johnston, IA, 50131	0.00 %	View
Krause Holdings	6400 Westown Parkway, West Des Moines, IA, 50266	100.00 %	View
Charles Campbell	3408 150th st., Urbandale , IA, 50323	0.00 %	View

1

First Name:	<input type="text"/>	Last Name:	<input type="text"/>
Address:	<input type="text"/>		
Address Line 2:	<input type="text"/>		
City:	<input type="text"/>	State:	Please Select <input type="button" value="v"/>
Zip:	<input type="text"/>		
Position:	<input type="text"/>	SS#:	<input type="text"/>
Date of Birth:	MM/DD/YYYY <input type="text"/>	% of Ownership:	<input type="text"/>
		U.S. Citizen:	Please Select <input type="button" value="v"/>
Add			

Please make sure you press "Add" after each owner's information is listed above before pushing the next button.

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Criminal History LE0001819, Kum & Go #237, Grimes

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No <input type="button" value="v"/>	Since this license was last issued, has anyone listed in the ownership screen been convicted of a felony offense in Iowa or any other state of the United States? If yes, list on the next (Violations) screen.
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None <input type="button" value="v"/>	If no arrests, indictments, summons or convictions are applicable since the license was last issued, select 'NONE'.

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Ownership LE001819, Kum & Go #237, Grimes

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Krause Holdings	6400 Westown Parkway, West Des Moines, IA, 50266	100.00 %	View
Charles Campbell	3408 150th St, Urbandale, IA, 50323	0.00 %	View

1

First Name: Last Name:

Address:

Address Line 2:

City: State:

Zip:

Position: SS#: U.S. Citizen:

Date of Birth: % of Ownership:

Add

Please make sure you press "Add" after each owner's information is listed above before pushing the next button.

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Privileges LE0001819, Kum & Go #237, Grimes

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Select one or more of the privileges you wish to have for your Class E Liquor License (LE). If no privileges are applicable please leave all boxes unchecked and hit the next button.

PRIVILEGES:	
<input type="checkbox"/>	Class B Native Wine Permit
<input checked="" type="checkbox"/>	Class B Wine Permit (Carryout Wine - Includes Native Wine)
<input checked="" type="checkbox"/>	Class C Beer Permit (Carryout Beer)
<input type="checkbox"/>	Living Quarters
<input type="checkbox"/>	Outdoor Service
<input checked="" type="checkbox"/>	Sunday Sales

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Applicant License LE0001819, Kum & Go #237, Grimes

After completion click on the NEXT link to continue to the next screen, or the BACK link to return to the previous screen.

The navigation links on the top may also be used to move around the application.

<p>LENGTH OF LICENSE REQUESTED: (Choose one of the following):</p> <p><input checked="" type="radio"/> 12 month</p> <p><input type="radio"/> 8 month</p> <p><input type="radio"/> 6 month</p> <p><input type="radio"/> 14 day</p> <p><input type="radio"/> 5 day</p>	<p>License Status: Submitted to Local Authority</p> <p>Original issue date of license: <input type="text" value="06/02/2011"/> <small>MM/DD/YYYY</small></p> <p>Issue date of current license: <input type="text"/> <small>MM/DD/YYYY</small></p> <p>License effective date: <input type="text" value="07/01/2015"/> <small>MM/DD/YYYY</small></p> <p>License expiration date: <input type="text" value="06/30/2016"/> <small>MM/DD/YYYY</small></p> <p>Number of days notice: <input type="text" value="0"/></p> <p>70 day notice: <input type="text" value="0"/></p> <p>Cancel date: <input type="text"/> <small>MM/DD/YYYY</small></p>
---	--

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Iowa Alcoholic Beverages Division
1918 SE Hulsizer Road, Ankeny, IA 50021
Toll Free 866.IowaABD (866.469.2223)
Local 515.281.7400

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Applicant License BW_V_58750, Burger Daddy, Grimes

After completion click on the NEXT link to continue to the next screen, or the BACK link to return to the previous screen.
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LENGTH OF LICENSE REQUESTED:
(Choose one of the following):

12 month

8 month

6 month

14 day

5 day

License Status: Pending Dram Shop

Original issue date of license: MM/DD/YYYY

Issue date of current license: MM/DD/YYYY

License effective date: 06/01/2015 MM/DD/YYYY

License expiration date: MM/DD/YYYY

Number of days notice: 0

70 day notice: 0

Cancel date: MM/DD/YYYY

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Premises Information **BW_V_58750, Burger Daddy, Grimes**

After completion click on the **NEXT** link to continue to the next screen, or the **BACK** link to return to the previous screen.
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Control of premises:

Own

Lease

Other

explain:

Submit a signed copy of the lease/rental agreement for the license period or signed final sales contract or warranty deed to your local authority.

Submit a sketch to the Local Authority on 8 1/2 x 11' white paper of the proposed premises showing all areas under the control or lease of the Applicant. Include all floors where alcoholic beverages will be sold, served, consumed and stored. Indicate all entrances and exits, location of bar, back bar, and bathrooms. Please provide a separate sketch for each floor. If Applicant has Outdoor Service Area Privilege, please include in the sketch it's relationship to the licensed premises.

Boat Applicants Only: Submit a sketch to the Local Authority on 8 1/2 x 11' white paper of the proposed premises showing all areas under the control or lease of the Applicant. Include all decks where alcoholic beverages will be sold, served, consumed and stored. Indicate all entrances and exits, location of bar, back bar, bathrooms and where licenses will be displayed. Please provide a separate sketch for each deck. A separate sketch is required for each boat.

Premises type:

Local Authority:

License City:

License County:

City Population: 8246

County Population: 430640

Dram Shop:

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Criminal History BW_V_58750, Burger Daddy, Grimes

After completion click on the NEXT link to continue to the next screen, or the BACK link to return to the previous screen.
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No <input type="button" value="v"/>	Have you ever been convicted of a felony offense in Iowa or any other state of the United States? If yes, list on the next (Violations) screen.
Yes <input type="button" value="v"/>	Have any of the owners listed in the ownership screen ever been charged, arrested, indicted, convicted or received a deferred judgment for any violation of any state, county, city, federal or foreign law? All information shall be reported regardless of the disposition, even if dismissed or expunged. Include pending charges. DO NOT include traffic violations, except those that are alcohol related. If yes, list violations on the next (Violations) screen.
Select <input type="button" value="v"/>	If no arrests, indictments, summons or convictions are applicable select "NONE".

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Ownership **BW_V_58750, Burger Daddy, Grimes**

After completion click on the NEXT link to continue to the next screen, or the BACK link to return to the previous screen.
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Corporate applicant's, list all shareholders having 10% or more interest in the corporation and all officers and directors of the corporation regardless of ownership interest. Sole Proprietors shall also include their spouse even if the spouse owns 0% interest. Non-profit corporations or associations need to list officers. Partnerships and Committees not registered with the Secretary of State office will need a trade name filing from their county recorder's office.

If you want to change ownership information at renewal time please finish the renewal with the current ownership listed. When you are finished please go to the Action List and submit an Ownership Update Application along with the license renewal.

Owners:

Name	Address	Percentage	
Michael Roberts	227 South Story Street, Boone, IA, 50036	100.00 %	View

1

First Name: Last Name:
 Address:
 Address Line 2:
 City: State:
 Zip:
 Position: SS#: U.S. Citizen:
 Date of Birth: % of Ownership:

Add

Please make sure you press "Add" after each owner's information is listed above before pushing the next button.

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Privileges BW_V_58750, Burger Daddy, Grimes

After completion click on the NEXT link to continue to the next screen, or the BACK link to return to the previous screen.

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Select one or more of the privileges you wish to have for your Special Class C Liquor License (BW) (Beer/Wine). If no privileges are applicable please leave all boxes unchecked and hit the next button.

PRIVILEGES:	
<input type="checkbox"/>	Class B Native Wine Permit
<input type="checkbox"/>	Class B Wine Permit (Carryout Wine - Includes Native Wine)
<input type="checkbox"/>	Living Quarters
<input type="checkbox"/>	Outdoor Service
<input checked="" type="checkbox"/>	Sunday Sales

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PERMIT FOR SUPERVISED DISPLAY OF FIREWORKS

Date of Issue: _____ Permit # _____

Permit Holder: Grimes Chamber & Economic Development
404 SE 2nd St., Ste. 200
Grimes, Iowa 50111

is hereby granted to permission to conduct a public fireworks display of fireworks on the fourth day of July 20 15, at approximately 10 p.m. at Sports Complex, Grimes, Iowa Polk (City) (Village / Unincorporated Area) (County)

Richard DeJoode is found to be a competent individual and is hereby designated as the sponsor of said event. Fireworks will be detonated by employees of Night Magic Inc. d/b/a Pyro Magic Displays, New Carlisle, IN.

Issuing Officer

This permit is **NON TRANSFERABLE** and must be in the possession of display sponsor.

Original – Mail to Pyro Magic Displays
1 Copy - Issuing Officer
1 Copy - Display Sponsor

Pyro Magic Displays
P.O. Box 778
New Carlisle, IN 46552



CC APPROVAL

Invoice



RECEIVED MAY 14

Civil Design Advantage LLC
3405 SE Crossroads Drive Suite G
Grimes, Iowa 50111

City of Grimes
Kelley Brown, City Administrator
101 North Harvey
Grimes, IA 50111

May 08, 2015
Project No: 1505.252
Invoice No: 16385

Project 1505.252 Grimes Crossroads Plat 6/Destination Dr
Professional Services from March 30, 2015 through May 03, 2015

Task	205	SWPPP: RISE Eligible		
Fee				
Total Fee		1,400.00		
Percent Complete		100.00	Total Earned	1,400.00
			Previous Fee Billing	0.00
			Current Fee Billing	1,400.00
			Total Fee	1,400.00
			Total this Task	\$1,400.00

Task	206	SWPPP: Not RISE Eligible		
Fee				
Total Fee		350.00		
Percent Complete		100.00	Total Earned	350.00
			Previous Fee Billing	0.00
			Current Fee Billing	350.00
			Total Fee	350.00
			Total this Task	\$350.00

Task	301	Preliminary Plat: RISE Eligible		
Fee				
Total Fee		1,984.00		
Percent Complete		100.00	Total Earned	1,984.00
			Previous Fee Billing	0.00
			Current Fee Billing	1,984.00
			Total Fee	1,984.00
			Total this Task	\$1,984.00

Task	302	CDs: RISE Eligible		
Fee				
Total Fee		6,640.00		
Percent Complete		60.00	Total Earned	3,984.00
			Previous Fee Billing	0.00
			Current Fee Billing	3,984.00
			Total Fee	3,984.00
			Total this Task	\$3,984.00

Task	303	Final Plat: RISE Eligible		
Fee				
Total Fee		2,480.00		

Project	1505.252	Grimes Crossroads Plat 6/Destination Dr	Invoice	16385
Percent Complete	0.00	Total Earned	0.00	
		Previous Fee Billing	0.00	
		Current Fee Billing	0.00	
		Total Fee		0.00
		Total this Task		0.00
Task Fee	310	Street Lighting Design: RISE Eligible		
Total Fee	432.00			
Percent Complete	0.00	Total Earned	0.00	
		Previous Fee Billing	0.00	
		Current Fee Billing	0.00	
		Total Fee		0.00
		Total this Task		0.00
Task Fee	401	Preliminary Plat: Not RISE Eligible		
Total Fee	496.00			
Percent Complete	100.00	Total Earned	496.00	
		Previous Fee Billing	0.00	
		Current Fee Billing	496.00	
		Total Fee		496.00
		Total this Task		\$496.00
Task Fee	402	CDs: Not RISE Eligible		
Total Fee	1,660.00			
Percent Complete	60.00	Total Earned	996.00	
		Previous Fee Billing	0.00	
		Current Fee Billing	996.00	
		Total Fee		996.00
		Total this Task		\$996.00
Task Fee	403	Final Plat: Not RISE Eligible		
Total Fee	620.00			
Percent Complete	0.00	Total Earned	0.00	
		Previous Fee Billing	0.00	
		Current Fee Billing	0.00	
		Total Fee		0.00
		Total this Task		0.00
Task Fee	410	Street Light Design: Not RISE Eligible		
Total Fee	108.00			
Percent Complete	0.00	Total Earned	0.00	
		Previous Fee Billing	0.00	
		Current Fee Billing	0.00	
		Total Fee		0.00
		Total this Task		0.00

Task	601	Construction Staking: RISE Eligible		
Fee				
Total Fee		3,400.00		
Percent Complete		0.00	Total Earned	0.00
			Previous Fee Billing	0.00
			Current Fee Billing	0.00
			Total Fee	0.00
			Total this Task	0.00

Task	602	Construction Staking: Not RISE Eligible		
Fee				
Total Fee		850.00		
Percent Complete		0.00	Total Earned	0.00
			Previous Fee Billing	0.00
			Current Fee Billing	0.00
			Total Fee	0.00
			Total this Task	0.00

Task	605	Record Drawings: RISE Eligible		
Fee				
Total Fee		1,520.00		
Percent Complete		0.00	Total Earned	0.00
			Previous Fee Billing	0.00
			Current Fee Billing	0.00
			Total Fee	0.00
			Total this Task	0.00

Task	606	Record Drawings: Not RISE Eligible		
Fee				
Total Fee		380.00		
Percent Complete		0.00	Total Earned	0.00
			Previous Fee Billing	0.00
			Current Fee Billing	0.00
			Total Fee	0.00
			Total this Task	0.00

Task	998	Permits & Fees		
			Total this Task	0.00

Task	999	Reimbursable Expenses		
Unit Billing				
2/11/2015	Plots - Black & White	4.0 prints @ 1.35	5.40	
	Total Units		5.40	5.40
			Total this Task	\$5.40
			Total this Invoice	<u>\$9,215.40</u>

Project Manager Emily Harding

QC App 5-26-15

RECEIVED MAY 11

Check Payment to:
AECOM Technical Services, Inc.
An AECOM Company
1178 PAYSphere Circle
Chicago, IL 60674

ACH Payment to:
AECOM Technical Services, Inc.
An AECOM Company
Bank of America
Account Number 5800937020
ABA Number 071000039

Wire Transfer Payment to:
AECOM Technical Services, Inc.
An AECOM Company
Bank of America
New York, NY 10001
Account Number 5800937020
ABA Number 026009593
SWIFT CODE BOFAUS3N



501 Sycamore Street, Suite 222, Waterloo, IA 50703
Tel: 319-232-6531 Fax: 319-232-0271

Federal Tax ID No. 95-2661922

ATTN : KELLEY BROWN
GRIMES, IA, CITY OF
101 NE HARVEY STREET
GRIMES, IA 50111

Invoice Date: 06-MAY-15
Invoice Number: 1137529172

Agreement Number: 60301188
Agreement Description:

Payment Term: 30 DAYS

310 750-6781

Please reference Invoice Number and Project Number with Remittance

Project Number : 60301188
Bill Through Date : 04-APR-15 - 01-MAY-15

Project Name : Grimes-NW Transportation Corridor Feasibility Study

Labor Multiplier							
Employee Name/Title	Title/Expenditure	Date	Hours	Rate	Raw Cost	Billed Amt	
Bernhardt, Mary E	Project Support	10-APR-15	0.50	27.32	13.66		
Bernhardt, Mary E	Project Support	24-APR-15	0.50	27.32	13.66		
Wiele, Larry E	Project Professional	10-APR-15	9.00	56.89	512.01		
Total Labor Multiplier			10.00		539.33	539.33	

OverHead Markup	795.84
Labor CPFF Total	1,335.17

Reimbursable					
Expenditure Type	Employee/Vendor Name	Date	Inv Number	Billed Amt	
Mileage	Wiele, Larry E	02-APR-15	EXP3016826	143.75	
Total Reimbursable				143.75	

Lump Sum		
Description		Billed Amt
Fixed Fee Labor		173.57
Total Lump Sum		173.57

Project Total : Grimes-NW Transportation Corridor Feasibility Study 1,652.49

Invoice Summaries	
Total Current Amount :	1,652.49
Retention Amount :	0.00
Pre-Tax Amount :	1,652.49
Tax Amount :	0.00
Total Invoice Amount :	1,652.49

Billing Summaries					
Billing Summary	Current	Prior	Total	Limit	Remain
Billings	1,652.49	142,511.53	144,164.02	375,900.00	231,735.98
Billing Total :	1,652.49	142,511.53	144,164.02		



AECOM Technical Services, Inc.
501 Sycamore Street, Suite 222
Waterloo, Iowa 50703

Cost Plus Fixed Fee Progressive Invoice

Invoice No.: 1137529172
Invoice Period Covered: 4/4/15 through 5/1/15
Consultant Job No. 60301188

Date: May 6, 2015
Client Project No.: HDP-3125 (610)--71-77
City: Grimes
Client Project Description: Northwest Transportation
Corridor Feasibility Study
Client Contact: Ms. Kelley Brown

	Contract Estimate	Cumulative To Date	Current Period
Labor Dollars	\$ 103,515.70	\$ 40,524.85	\$ 539.33
Overhead	\$ 162,519.65	\$ 60,676.22	\$ 795.84
Direct Expenses			
Mileage	\$ 1,525.50	\$ 991.46	\$ 143.75
Copies	\$ 780.00	\$ 952.89	\$ -
EDM Equipment	\$ -	\$ -	\$ -
GPS Equipment	\$ -	\$ -	\$ -
Miscellaneous/Other	\$ 194.50	\$ -	\$ -
Subconsultants			
Veenstra and Kimm, Inc.	\$ 63,800.00	\$ 21,416.78	\$ -
LT Leon Associates	\$ 9,000.00	\$ 6,445.68	\$ -
Estimated Actual Costs	\$ 341,335.35	\$ 131,007.88	\$ 1,478.92
Subtotal Rounded	\$ 341,300.00		\$ -
Fixed Fee	\$ 34,600.00	\$ 13,156.14	\$ 173.57
Authorized Contingency	\$ -		
Total Authorized Amount	\$ 375,900.00		
Total Billed to Date	\$ 144,164.02	\$ 144,164.02	\$ 1,652.49
Remaining Authorized Balance	\$ 231,735.98		
Labor Hours (Prime)	1,988.00	858.75	10.00

Olivia DeYoung

From: Jerry Byg <jnb@foxeng.com>
Sent: Tuesday, May 12, 2015 8:27 AM
To: Olivia DeYoung
Subject: Re: AECOM invoice.

Olivia
OK to pay AECOM \$1652.49
Thanks

Jerry Byg, P.E.

FOX Engineering Associates, Inc.
414 South 17th Street | Suite 107 | Ames, IA 50010
Office | 515.233.0000 | Fax | 515.233.0103
www.foxeng.com

From: "Olivia DeYoung" <odeyoung@ci.grimes.ia.us>
To: "Jerry Byg" <JBYG@foxeng.com>
Sent: Monday, May 11, 2015 3:35:39 PM
Subject: AECOM invoice.

Please let us know if this is good to pay. Tx. O.

Olivia DeYoung
101 NE Harvey Street
Grimes IA 50111
515-986-3036

DES MOINES AREA

MPO

METROPOLITAN PLANNING ORGANIZATION

420 Watson Powell Jr. Parkway, Suite 200
Des Moines, Iowa 50309
Phone: 515.334.0075
www.dmmmpo.org

May 15, 2015

Ms. Kelley Brown
City Administrator
City of Grimes
101 North Harvey Street
Grimes, IA 50111-2051

Dear Ms. Brown:

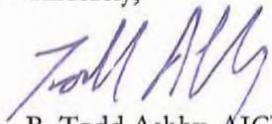
**SUBJECT: DES MOINES AREA METROPOLITAN PLANNING ORGANIZATION
FISCAL YEAR 2016 ASSESSMENT**

Enclosed is an invoice for the City of Grimes' assessment as a member of the Des Moines Area Metropolitan Planning Organization (MPO). The assessment is for Fiscal Year 2016 (FY 2016) beginning July 1, 2015, and ending June 30, 2016. Member government assessments match federal funds which the MPO receives, and further support the transportation planning activities performed by the MPO for its member governments.

The MPO is applying an assessment rate of \$1.00 per capita to the City of Grimes' 2010 Census population figure of 8,246, for the FY 2016 assessment amount of \$8,246.00, as detailed on the enclosed invoice. Assessments are due and payable July 1, 2015, and the MPO will consider the assessment payment late after July 31, 2015.

If you have questions concerning the MPO member government assessment, please contact Dylan Mullenix at (515) 334-0075.

Sincerely,



R. Todd Ashby, AICP
Executive Director

RTA:tjd

Enclosure

cc: ✓ Robert Mahaffey, MPO Secretary/Treasurer
✓ Rochelle Williams, Grimes City Clerk

Des Moines MPO

420 Watson Powell Jr. Pkwy
Suite 200
Des Moines, Iowa 50309
(515) 334-0075

INVOICE

DATE
5/13/2015
NUMBER
189

City of Grimes
Ms. Kelley Brown, City Administrator
101 North Harvey Street
Grimes, IA 50111-2051

Description	Amount
FY 2016 Assessment	8,246.00
	Invoice Total 8,246.00
	Amount Paid 0.00
	Balance Due 8,246.00

May 18, 2015

Mayor and City Council
City of Grimes
101 North Harvey Street
Grimes, IA 50111

SE 19th Street Paving Project (Change order 6 approval)

IDOT Project STP-U-3125(611)-70-77

FOX Ref No: 1005-13A.

Dear Mayor and City Council:

The Southeast 19th Street project had a series of delays that caused the project to not get completely paved prior to the end of November 2014. Some of these delays are due to rainy weather the last week in June, rainy weather for most of September and rainy weather during the first part of October. Extremely cold weather during the second and third week of November also delayed completion.

These delays and events were beyond the control of the contractor and additional costs were incurred to complete items required to maintain traffic on both east and west bound lanes of SE 19th Street through the winter months.

In order to open east and west bound lanes on SE 19th Street to traffic it was necessary to construct temporary shouldering along those areas that had not been paved (turn lanes at SE Princeton Drive and at SE Destination Drive. Temporary shouldering material was taken from the sub base material and used to construct shouldering along the pavement edge.

Now, in order for the contractor to complete the project this spring, the temporary shouldering needed to be removed and the areas graded again for placement of paving. This work was not included in the project quantities and was done on a time and material basis for a total amount of \$9,883.76. The contractor also requested a time extension of 7 working days for this item of work.

The second item on this change order is adjustment of a fiber optic cable hand hole at SE Destination Drive and SE 19th Street. This hand hole was installed by others after the plans had been developed and the work was not included in project quantities. The negotiated price for adjusting the hand hole was \$1,650.00.

The third item on this change order is for adjustment of 3 fire hydrants to finish grade at a cost of \$1,045.00 per each hydrant. The total cost for adjusting the three fire hydrants is \$3,135.00. Originally, these fire hydrants were to be relocated at a cost of \$1,430.00 per each but relocation was not necessary. The contractor also requested a time extension of 3 working days for this work.

The fourth item on this change order is for thickness incentive. As per IDOT Standard Specifications, a thickness incentive is due the contractor when the pavement cores indicate the contractor has exceeded the design thickness by a specific amount. IDOT specifications indicate that the contractor is due a 3% incentive payment for all 9" PCC paving placed on the

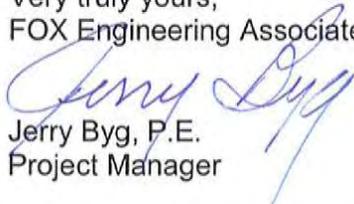
project. This amounts to \$1.47/SY times 19476.3 SY for a total incentive payment of \$28,630.16.

The fifth item on the change order is for pavement smoothness incentive. As per IDOT specifications, a smoothness incentive is due the contractor when the contractor has met the required specifications. IDOT specifications indicate that the contractor is a \$4,700.00 smoothness incentive.

Previously, change order 2 was approved for installing street lighting along SE 19th Street. This change order requested a time extension of 14 working days but this time extension was not officially approved by City Council.

FOX Engineering recommends the approval of Change Order 6 in the amount of \$47,998.92 and recommends that the working days authorized for this completion of the extra work be increased from 80 working days to 104 working days. Please contact us with any questions or comments regarding these recommendations.

Very truly yours,
FOX Engineering Associates, Inc.



Jerry Byg, P.E.
Project Manager

cc: John Gade, Kelley Brown City Administrator
Enclosures



Change Order

Non-Substantial:

Part Non-Part

No. 6

Substantial:

Concurrence Date _____

Contract Accounting ID No.: 31527

County POLK

Project No: STP-U-3125(611)-70-77

Kind of Work: PCC PAVING - GRADE & REPLACE

Date Prepared: May 18, 2015

Contractor: CONCRETE TECHNOLOGIES, INC

You are hereby authorized to make the following changes to the contract documents.

A - Description of change to be made or extra work to be done:

Extra work needed for adjusting fire hydrants to grade, adjusting fiber optic handhole to grade and for removing temporary shoulders placed for winter shut down and price adjustments for PCC paving thickness incentive and smoothness incentive.

10 working days time extension granted for extra work listed above.

B - Reason for change or extra work:

Fire hydrants not relocated were not to finish grade. Fiber optic handhole was installed after project was in bidding phase. Removing temporary shoulders and regrading for paving was required after winter shut down. Paving thickness and smoothness incentives are as per contract specifications.

Approved _____
Kelley Brown, City Administrator Date

(Continued on reverse side)

Approved _____
District Construction Engineer Date

[Signature] 5/20/15
Project Engineer Date

Receipt is acknowledged of this change or extra work and terms of settlement are hereby agreed to.

Approved contingent upon funds being available under the existing project agreement or upon additional Federal-aid funds being made available by a modified project agreement.

Concrete Technologies Incorporated
Contractor
By [Signature] 5/21/15
Date

Date _____
For the Division Administrator
Federal Highway Administration

Approved _____
Assistant Construction Engineer Date

DISTRIBUTION: Project Engineer -- Forward original to District.
District - Nonsubstantial - Forward original and one copy to the Office of Construction and two copies back to the Project Engineer.
- Substantial - Forward original and two copies to the Office of Construction.

C-1 -Settlement for cost of work to be made as follows:

Change Order No. 6

Agreed unit prices, time and materials charges and contract unit prices.

C-2 - Justification for cost(s) Negotiated prices for extra work.

D - ITEMS INCLUDED IN CONTRACT

Change No.	Line Item Number	Unit Price .xxx	If Credit Add "CR"		
			Quantity .xxx	Amount .xx	
7					
7					
7					
7					
7					
7					
7					
7					
TOTAL					

E - ITEMS NOT INCLUDED IN CONTRACT

Change No.	Item Description	Item Number	Function Code	Unit Price .xxx	If Credit, Add "CR"	
					Quantity .xxx	Amount .xx
8014	FIRE HYDRANT ADJUSTMENT, EACH	2554-0214000		\$1045.000	3.000	\$3,135.00
8015	ADJUST FIBER OPTIC HANDHOLE, EACH	2599-9999005		\$1,650.000	1.000	\$1,650.00
8016	REMOVAL OF TEMPORARY SHOULDERS, LUMP SUM	2599-9999010		\$9,883.760	1.000	\$9,883.76
8017	PAY ADJ I/D-PCC PAV'T THICKNESS	2301-7000110		\$28,630.160	1.000	\$28,630.16
8018	PAY ADJ I/D-PCC PAV'T SMOOTHNESS	2316-0000110		\$4,700.000	1.000	\$4,700.00
8						
8						
TOTAL						\$47,998.92



May 20, 2015

Mayor and City Council
City of Grimes
101 North Harvey Street
Grimes, IA 50111

Regarding:

SE 19th Street Reconstruction Project

Authorize additional payment for easements from:
11154 54 LLC - Lot 16 Princeton Subdivision

Fox Ref. No. 1005-13A

Dear Mayor and City Council:

As a part of the SE 19th Street Reconstruction project, the City of Grimes needed temporary construction easements from parcels in Princeton Subdivision to grade and construct the bike trail.

Since the project was delayed in the fall, restoration of hay crop on this parcel will not occur during this cutting season.

The property owner has requested an additional amount of \$900.00 for loss of hay production for 2015.

Also, the owner had a for sale sign in the easement area that he removed and he will reinstall. This cost was not included in the original payment for the easement. The cost for removing, storing and reinstalling the sign is \$400.00

We request that the City of Grimes authorize an additional payment of \$1,300 to 11154 54 LLC for the temporary easement at the May 26, 2015 Council meeting.

Thank you very much.

Sincerely,

Jerry Byg, P.E.
Project Engineer

Cc: Kelley Brown, Grimes City Administrator
John Gade



April 3, 2015
TOTAL FAMILY
EYE CARE

Your Eye Health Specialists

City of Grimes
101 NE Harvey Street
Grimes, IA 50111

**Subject: Total Family Eye Care
Request for New Construction Incentive**

Dear Mayor Armstrong,

As you are aware, Grimes Chamber & Economic Development works in an ongoing capacity with local businesses to identify ways in which we might, as a community, work cooperatively for the greater good of Grimes. One of the items that we consistently look to identify is new construction projects that will allow us to maintain and expand local employment opportunities, while also creating new property value.

For the past several months, we have been actively engaged in discussions with Dr. Mathew Howie of Total Family Eye Care about a possible construction/relocation project. Total Family Eye Care is a locally based business currently leasing space at 1451 SE 3rd Street.

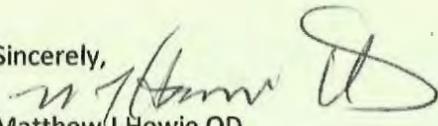
The company has been actively seeking opportunities to build a new facility that will better meet the needs of their growing business. They are happy in Grimes and would like to remain in the community, but are also considering all of their options, including sites in neighboring communities to construct a new building. Their first choice, and the site they have publicly indicated they would like to move forward with is located at 241 SE Destination Drive, Grimes, Iowa.

In order to increase the likelihood of this business, the retention of the existing jobs, and a new construction project staying in the community, GCED would like to recommend that the City consider using a five-year reducing scale (save mandatory required discounts) tax-increment finance rebate agreement to secure this development. An example schedule is attached for review. Please note that the included figures are estimated and may change based upon Assessor conclusions and variances in the actual tax rate in any given year.

Please feel free to contact me with questions. Our primary contact with Total Family Eye Care is Dr. Matthew J. Howie. He can be reached at (515) 986-1234 or drhowie@totalfamilyeye.com.

Thank you for your consideration.

Sincerely,


Matthew J Howie OD
Total Family Eye Care

Tax Increment Finance Rebate Incentive Calculator (Rough)

	Estimated Property		Estimated Total Annual			
	Valuation		Combined Tax Levy	Property Tax	Percent Rebated*	Amount Rebated
Year 1	\$	1,100,000	\$ 43.05614	\$ 47,362	75.00%	\$ 35,521
Year 2	\$	1,100,000	\$ 43.05614	\$ 47,362	60.00%	\$ 28,417
Year 3	\$	1,100,000	\$ 43.05614	\$ 47,362	45.00%	\$ 21,313
Year 4	\$	1,100,000	\$ 43.05614	\$ 47,362	30.00%	\$ 14,209
Year 5	\$	1,100,000	\$ 43.05614	\$ 47,362	15.00%	\$ 7,104
Total	-	-		\$ 236,809	-	\$ 106,564



TOTAL FAMILY
EYE CARE
Your Eye Health Specialists

* Debt levies for counties, schools, and cities are applied against both base and increment value, as are physical plant and equipment levies for school districts. The actual percent that can be rebated after these protections can change annually based on the amount of debt in each of these described areas.

Unit Price Contract

Contractor's Application for Payment No. 15

Project:	SE 19th Street Improvements	From (Contractor):	Concrete Technologies	Application Date:	5/21/2015
To (Owner):	City of Grimes	Owner's Project No.:	STP-U-3125(611)--70-77	Period From:	5/7/2015
Via (Engineer):	FOX Engineering	Engineer's Proj. No.:	1005-13A	Period To:	5/21/2015

Approved Change Order Summary:			
No.	Date Approved	Additions	Deductions
1	10/14/2014	\$9,570.00	-\$18,816.00
2	10/14/2014	\$109,903.50	
3	10/28/2014	\$9,900.00	-\$9,335.00
4	10/28/2014	\$10,505.00	-\$10,450.00
5	1/14/2015	\$13,452.50	-\$13,869.84
TOTALS		\$153,331.00	-\$52,470.84
NET CHANGE BY CHANGE ORDERS			\$100,860.16

1. ORIGINAL CONTRACT PRICE.....	\$	2,037,877.63
2. Net change by Change Orders.....	\$	100,860.16
3. Current Contract Price (Line 1 + 2).....	\$	2,138,737.79
4. TOTAL COMPLETED AND STORED TO DATE (Column F on Progress Estimate).....	\$	1,977,644.71
5. RETAINAGE:		
a. 3% X \$1,977,644.71 Work Completed.....	\$	59,329.34
b. 3% X _____ Stored Material.....	\$	
c. Less Total Retainage Released Early.....	\$	29,329.34
d. Total Retainage (Line 5a + Line 5b - Line 5c).....	\$	30,000.00
6. AMOUNT ELIGIBLE TO DATE (Line 4 - Line 5c).....	\$	1,947,644.71
7. LESS PREVIOUS PAYMENTS (Line 6 from prior Application).....	\$	1,912,930.03
8. AMOUNT DUE THIS APPLICATION.....	\$	34,714.68
9. BALANCE TO FINISH, PLUS RETAINAGE (Column G on Progress Estimate + Line 5 above).....	\$	239,092.00

Contractor's Certification

The undersigned Contractor certifies that to the best of its knowledge: (1) all previous progress payments received from Owner on account of Work done under the Contract have been applied on account to discharge Contractor's legitimate obligations incurred in connection with Work covered by prior Applications for Payment; (2) title of all Work, materials and equipment incorporated in said Work or otherwise listed in or covered by this Application for Payment will pass to Owner at time of payment free and clear of all Liens, security interests and encumbrances (except such as are covered by a Bond acceptable to Owner indemnifying Owner against any such Liens, security interest or encumbrances); and (3) all Work covered by this Application for Payment is in accordance with the Contract Documents and is not defective.

By: Ben S. Spruce Date: 5/21/15

Payment of \$ 34,714.68
(Line 8 or other - attach explanation of the other amount)

is recommended by: *Jerry Byg* 5/21/15
(Engineer) (Date)

Payment of \$ _____
(Line 8 or other - attach explanation of the other amount)

is approved by: _____
(Owner) (Date)

Endorsed by the Construction Specifications Institute.

Progress Estimate

Contractor's Application

A		B			C	D	E	F		G
Item		Bid Quantity	Unit Price	Bid Value	Estimated Quantity Installed	Value	Materials Presently Stored (not in)	Total Completed and Stored to Date (D + E)	% (F / B)	Balance to Finish (B - F)
Bid Item No.	Description									
1	CLEAR+GRUBB	12	\$ 425.00	\$ 5,100.00	12.00	\$ 5,100.00		\$ 5,100.00	###	\$ -
2	SPECIAL BACKFILL	1621.36	\$ 24.75	\$ 40,128.66	1621.36	\$ 40,128.66		\$ 40,128.66	###	\$ -
3	EXCAVATION, CL 10, RDWY+BORROW	13168	\$ 2.55	\$ 33,578.40	13168.00	\$ 33,578.40		\$ 33,578.40	###	\$ -
4	EXCAVATION, CL 12, BOULDER/ROCK FRAGMENT	50	\$ 10.20	\$ 510.00	50.00	\$ 510.00		\$ 510.00	###	\$ -
5	TOPSOIL, STRIP, SALVAGE+SPREAD	3250	\$ 4.10	\$ 13,325.00	3250.00	\$ 13,325.00		\$ 13,325.00	###	\$ -
6	TOPSOIL, STRIP+STKP	2500	\$ 2.05	\$ 5,125.00	2500.00	\$ 5,125.00		\$ 5,125.00	###	\$ -
7	SPECIAL COMPACTION OF SUBGRADE	52	\$ 714.00	\$ 37,128.00	52.00	\$ 37,128.00		\$ 37,128.00	###	\$ -
8	MODIFIED SUBBASE	3830	\$ 37.75	\$ 144,582.50	3630.00	\$ 137,032.50		\$ 137,032.50	94.8%	\$ 7,550.00
9	SHOULDER FINISHING, EARTH	103	\$ 153.00	\$ 15,759.00	103.00	\$ 15,759.00		\$ 15,759.00	###	\$ -
10	STD/S-F PCC PAVT, CL C CL 3, 9"	19476.3	\$ 49.00	\$ 954,338.70	19476.3	\$ 954,338.70		\$ 954,338.70	###	\$ -
11	MEDIAN, DOWELLED PCC, 6"	30	\$ 95.50	\$ 2,865.00		\$ -		\$ -		\$ 2,865.00
12	MEDIAN, PCC, 6"	37	\$ 66.25	\$ 2,451.25	15.00	\$ 993.75		\$ 993.75	40.5%	\$ 1,457.50
13	PCC PAVT SAMPLE	1	\$ 2,100.00	\$ 2,100.00	1.00	\$ 2,100.00		\$ 2,100.00	###	\$ -
14	SURF, DRIVEWAY, CL A CR STONE	300	\$ 22.50	\$ 6,750.00		\$ -		\$ -		\$ 6,750.00
15	REMOVAL OF SIGN	7	\$ 61.20	\$ 428.40	42.00	\$ 2,570.40		\$ 2,570.40	###	\$ (2,142.00)
16	APRON, CONC, 30"	1	\$ 2,755.00	\$ 2,755.00	1.00	\$ 2,755.00		\$ 2,755.00	###	\$ -
17	APRON, CONC, 54"		\$ 4,385.00	\$ -		\$ -		\$ -		\$ -
18	RMV+REINSTALL CONC PIPE APRON LE 36"	2	\$ 255.00	\$ 510.00	2.00	\$ 510.00		\$ 510.00	###	\$ -
19	MANHOLE, STORM SWR, SW-401, 48"	3	\$ 2,755.00	\$ 8,265.00	3.00	\$ 8,265.00		\$ 8,265.00	###	\$ -
20	INTAKE, TYPE SW-501	10	\$ 2,450.00	\$ 24,500.00	10.00	\$ 24,500.00		\$ 24,500.00	###	\$ -
21	INTAKE, TYPE SW-503	8	\$ 3,415.00	\$ 27,320.00	8.00	\$ 27,320.00		\$ 27,320.00	###	\$ -
22	INTAKE, TYPE SW-505	1	\$ 2,960.00	\$ 2,960.00	1.00	\$ 2,960.00		\$ 2,960.00	###	\$ -
23	INTAKE, TYPE SW-506	1	\$ 5,710.00	\$ 5,710.00	1.00	\$ 5,710.00		\$ 5,710.00	###	\$ -
24	MANHOLE ADJUSTMENT, MINOR	2	\$ 460.00	\$ 920.00	2.00	\$ 920.00		\$ 920.00	###	\$ -
25	MANHOLE ADJUSTMENT, MAJOR	10	\$ 1,885.00	\$ 18,850.00	11.00	\$ 20,735.00		\$ 20,735.00	###	\$ (1,885.00)
26	CONNECTION TO EXIST MANHOLE	5	\$ 1,430.00	\$ 7,150.00	5.00	\$ 7,150.00		\$ 7,150.00	###	\$ -
27	SUBDRAIN, STD, PERFORATED, 4"	3513	\$ 11.75	\$ 41,277.75	2810.00	\$ 33,017.50		\$ 33,017.50	80.0%	\$ 8,260.25
28	SUBDRAIN OUTLET (RF-19C)	20	\$ 285.00	\$ 5,700.00	17.00	\$ 4,845.00		\$ 4,845.00	85.0%	\$ 855.00
29	STORM SWR G-MAIN,TRENCHED, RCP 2000D, 15"	1586	\$ 38.75	\$ 61,457.50	1586.00	\$ 61,457.50		\$ 61,457.50	###	\$ -
30	STORM SWR G-MAIN,TRENCHED, RCP 2000D, 18"	129	\$ 42.85	\$ 5,527.65	314.00	\$ 13,454.90		\$ 13,454.90	###	\$ (7,927.25)
31	STORM SWR G-MAIN,TRENCHED, RCP 2000D, 24"	291	\$ 61.25	\$ 17,823.75	291.00	\$ 17,823.75		\$ 17,823.75	###	\$ -
32	STORM SWR G-MAIN,TRENCHED, RCP 2000D, 30"	565	\$ 75.50	\$ 42,657.50	565.00	\$ 42,657.50		\$ 42,657.50	###	\$ -
33	STORM SWR G-MAIN,TRENCHED, RCP 2000D, 54"		\$ 168.00	\$ -		\$ -		\$ -		\$ -
34	RMV STORM SWR PIPE LE 36"	304	\$ 14.25	\$ 4,332.00	304.00	\$ 4,332.00		\$ 4,332.00	###	\$ -
35	ENGINEER FABRIC	20	\$ 1.85	\$ 37.00		\$ -		\$ -		\$ 37.00
36	REVTMENT, CLASS E	50	\$ 61.25	\$ 3,062.50		\$ -		\$ -		\$ 3,062.50
37	RMVL OF PAVT	8073	\$ 7.65	\$ 61,758.45	8073.00	\$ 61,758.45		\$ 61,758.45	###	\$ -
38	REMOVAL OF INTAKES AND UTILITY ACCESSES	2	\$ 815.00	\$ 1,630.00	2.00	\$ 1,630.00		\$ 1,630.00	###	\$ -
39	RECREATIONAL TRAIL, PCC, 5"	2505.7	\$ 34.75	\$ 87,073.08	1913.10	\$ 66,480.23		\$ 66,480.23	76.3%	\$ 20,592.85
40	SPECIAL COMPACTION OF SUBGRADE/REC TRAIL	26	\$ 205.00	\$ 5,330.00	26.00	\$ 5,330.00		\$ 5,330.00	###	\$ -
41	DETECTABLE WARNINGS	220	\$ 25.50	\$ 5,610.00		\$ -		\$ -		\$ 5,610.00
42	DRIVEWAY, PCC, 7"	316.7	\$ 56.00	\$ 17,735.20	316.70	\$ 17,735.20		\$ 17,735.20	###	\$ -
43	SAFETY CLOSURE	4	\$ 127.50	\$ 510.00	4.00	\$ 510.00		\$ 510.00	###	\$ -
44	POST, STEEL, AS PER PLAN	25	\$ 102.00	\$ 2,550.00	10.00	\$ 1,020.00		\$ 1,020.00	40.0%	\$ 1,530.00
45	TYPE A SIGNS, SHEET ALUMINUM	123	\$ 22.50	\$ 2,767.50		\$ -		\$ -		\$ 2,767.50
46	PAINTED PAVT MARK, WATERBORNE/SOLVENT	96	\$ 32.50	\$ 3,120.00	93.83	\$ 3,049.48		\$ 3,049.48	97.7%	\$ 70.53
47	PAINTED SYMBOL+LEGEND, WATERBORNE/SOLVNT	24	\$ 102.00	\$ 2,448.00	18.00	\$ 1,836.00		\$ 1,836.00	75.0%	\$ 612.00
48	PAVT MARK RMVD	28	\$ 52.75	\$ 1,477.00	39.20	\$ 2,067.80		\$ 2,067.80	###	\$ (590.80)

Progress Estimate

Contractor's Application

A		B			C	D	E	F		G
Item		Bid Quantity	Unit Price	Bid Value	Estimated Quantity Installed	Value	Materials Presently Stored (not in)	Total Completed and Stored to Date (D + E)	% (F / B)	Balance to Finish (B - F)
Bid Item No.	Description									
49	TRAFFIC CONTROL	1	\$ 8,160.00	\$ 8,160.00	1.00	\$ 8,160.00		\$ 8,160.00	####	\$ -
50	FLAGGER	20	\$ 335.00	\$ 6,700.00	9.00	\$ 3,015.00		\$ 3,015.00	45.0%	\$ 3,685.00
51	MOBILIZATION	1	\$ 60,000.00	\$ 60,000.00	1.00	\$ 60,000.00		\$ 60,000.00	####	\$ -
52	URETHANE CHIMNEY SEAL	7	\$ 765.00	\$ 5,355.00		\$ -		\$ -		\$ 5,355.00
53	TRENCH COMPACTION TESTING	1	\$ 3,060.00	\$ 3,060.00	1.00	\$ 3,060.00		\$ 3,060.00	####	\$ -
54	WATER MAIN, TRENCHED, DIP, 6"	130	\$ 41.00	\$ 5,330.00	75.00	\$ 3,075.00		\$ 3,075.00	57.7%	\$ 2,255.00
55	WATER MAIN, TRENCHED, PVC, 8"	360	\$ 23.50	\$ 8,460.00	360.00	\$ 8,460.00		\$ 8,460.00	####	\$ -
56	FITTINGS BY COUNT, DIP	10	\$ 765.00	\$ 7,650.00	3.00	\$ 2,295.00		\$ 2,295.00	30.0%	\$ 5,355.00
57	VALVE, GATE, DIP, 8"	1	\$ 1,500.00	\$ 1,500.00	1.00	\$ 1,500.00		\$ 1,500.00	####	\$ -
58	FLUSHING DEVICE (BLOWOFF), 2"	3	\$ 915.00	\$ 2,745.00	3.00	\$ 2,745.00		\$ 2,745.00	####	\$ -
59	VALVE BOX REPLACEMENT	10	\$ 460.00	\$ 4,600.00		\$ -		\$ -		\$ 4,600.00
60	CUT IN WATER MAIN TEE SECTION		\$ 1,530.00	\$ -		\$ -		\$ -		\$ -
61	RELOCATE EXISTING FIRE HYDRANT	7	\$ 1,430.00	\$ 10,010.00	6.00	\$ 8,580.00		\$ 8,580.00	85.7%	\$ 1,430.00
62	TRAFFIC SIGNALIZATION MODIFICATIONS	1	\$ 13,260.00	\$ 13,260.00	1.00	\$ 13,260.00		\$ 13,260.00	####	\$ -
63	COMPOST	6	\$ 10,200.00	\$ 61,200.00	2.00	\$ 20,400.00		\$ 20,400.00	33.3%	\$ 40,800.00
64	SEED+FERTILIZE (URBAN)	6	\$ 2,345.00	\$ 14,070.00		\$ -		\$ -		\$ 14,070.00
65	WATER-SOD/SPEC DITCH CNTL/SLOPE PROTECT	300	\$ 60.00	\$ 18,000.00		\$ -		\$ -		\$ 18,000.00
66	SILT FENCE	3490	\$ 1.55	\$ 5,409.50	302.00	\$ 466.10		\$ 466.10	8.7%	\$ 4,941.40
67	SILT FENCE-DITCH CHECKS	90	\$ 1.80	\$ 162.00		\$ -		\$ -		\$ 162.00
68	RMVL OF SILT FENCE/SILT FENC-DITCH CHECK	3580	\$ 0.10	\$ 358.00		\$ -		\$ -		\$ 358.00
69	MAINT OF SILT FENC/SILT FENC-DITCH CHECK	3580	\$ 0.10	\$ 358.00		\$ -		\$ -		\$ 358.00
70	PERIMETER+SLOPE SEDIMENT CNTL DEVICE, 6"	4890	\$ 1.55	\$ 7,579.50	178.00	\$ 275.90		\$ 275.90	3.6%	\$ 7,303.60
71	RMVL OF PERIMETER+SLOPE SEDIMNT CNTL DEV	4890	\$ 0.50	\$ 2,445.00		\$ -		\$ -		\$ 2,445.00
72	MOBILIZATIONS, EROSION CONTROL	4	\$ 500.00	\$ 2,000.00	3.00	\$ 1,500.00		\$ 1,500.00	75.0%	\$ 500.00
8001	CHANGEABLE MESSAGE SIGN, PORTABLE	15	\$ 110.00	\$ 1,650.00	15.00	\$ 1,650.00		\$ 1,650.00		\$ -
8002	TAPPING VALVE ASSEMBLY, 8 INCH	2	\$ 3,960.00	\$ 7,920.00	2.00	\$ 7,920.00		\$ 7,920.00		\$ -
8003	STREET LIGHTING	1	\$ 109,903.50	\$ 109,903.50	1.00	\$ 109,903.50		\$ 109,903.50		\$ -
8004	REPLACE MAST ARM,TRAFFIC SIGNAL	1	\$ 2,750.00	\$ 2,750.00	1.00	\$ 2,750.00		\$ 2,750.00		\$ -
8005	ADDITIONAL LOOP DETECTOR	1	\$ 7,150.00	\$ 7,150.00	1.00	\$ 7,150.00		\$ 7,150.00		\$ -
8006	FIRE HYDRANT RELOCATION EXTRA WORK	1	\$ 5,390.00	\$ 5,390.00	1.00	\$ 5,390.00		\$ 5,390.00		\$ -
8007	FIRE HYDRANT ASSEMBLY, WM-201	2	\$ 2,365.00	\$ 4,730.00	2.00	\$ 4,730.00		\$ 4,730.00		\$ -
8008	INTAKE CORE HOLES	1	\$ 385.00	\$ 385.00	1.00	\$ 385.00		\$ 385.00		\$ -
8009	COLD WEATHER PROTECTION	1215	\$ 1.00	\$ 1,215.00	1215.00	\$ 1,215.00		\$ 1,215.00		\$ -
8010	GROUND THAW UNIT	1	\$ 2,200.00	\$ 2,200.00	1.00	\$ 2,200.00		\$ 2,200.00		\$ -
8011	INSTALL TEMPORARY DELINATORS	35	\$ 82.50	\$ 2,887.50	35.00	\$ 2,887.50		\$ 2,887.50		\$ -
8012	GRADING FOR TEMPORARY SHOULDERS	1	\$ 2,530.00	\$ 2,530.00	1.00	\$ 2,530.00		\$ 2,530.00		\$ -
8013	STRAW MULCH STABILIZATION	6	\$ 770.00	\$ 4,620.00	6.00	\$ 4,620.00		\$ 4,620.00		\$ -
8014	FIRE HYDRANT ADJUSTMENT	3	\$ 1,045.00	\$ 3,135.00						\$ 3,135.00
8015	ADJUST FIBER OPTIC HANDHOLE	1	\$ 1,650.00	\$ 1,650.00						\$ 1,650.00
8016	REMOVAL OF TEMPORARY SHOULDERS	1	\$ 9,883.76	\$ 9,883.76						\$ 9,883.76
8017	PAY ADJ I/D-PCC PAVT THICKNESS	1	\$ 28,630.16	\$ 28,630.16						\$ 28,630.16
8018	PAY ADJ I/D-PCC PAVT SMOOTHNESS	1	\$ 4,700.00	\$ 4,700.00						\$ 4,700.00
Totals				\$2,186,736.71		\$1,977,644.71		\$1,977,644.71	####	\$ 209,092.00

Stored Material Summary

Contractor's Application

For (contract): SE 19th Street Improvements
 Contractor: Concrete Technologies
 Owner's Proj. No.: STP-U-3125(611)--70-77
 Engineer's Proj. No.: 1005-13A
 Application Number: 15
 Application Date: 5/21/2015

A	B	C	D		E		F		G
Invoice No.	Shop Drawing Transmittal	Materials Description	Stored Previously		Stored this Month		Incorporated in Work		Materials in Storage (\$) (D + E - F)
			Date (Mo./Year)	Amount (\$)	Amount (\$)	Subtotal	Date (Mo./Year)	Amount (\$)	
		Logan Supply			\$54,605.24			\$54,605.24	
		KWS Electric			\$28,258.80			\$28,258.80	
Totals					\$82,864.04			\$82,864.04	

2014 WATER QUALITY REPORT FOR GRIMES WATER SUPPLY

This report contains important information regarding the water quality in our water system. The source of our water is groundwater. Our water quality testing shows the following results:

CONTAMINANT	MCL - (MCLG)	Compliance		Date	Violation Yes/No	Source
		Type	Value & (Range)			
Total Trihalomethanes (ppb) [TTHM]	80 (N/A)	LRAA	48.00 (48 - 48)	09/30/2014	No	By-products of drinking water chlorination
Total Haloacetic Acids (ppb) [HAA5]	60 (N/A)	LRAA	17.00 (17 - 17)	09/30/2014	No	By-products of drinking water disinfection
Lead (ppb)	AL=15 (0)	90th	0.00 (ND - 1)	2012	No	Corrosion of household plumbing systems; erosion of natural deposits
Copper (ppm)	AL=1.3 (1.3)	90th	0.04 (0.01 - 0.06)	2012	No	Corrosion of household plumbing systems; Erosion of natural deposits; Leaching from wood preservatives
950 - DISTRIBUTION SYSTEM						
Chlorine (ppm)	MRDL=4.0 (MRDLG=4.0)	RAA	2.8 (0.8 - 3.9)	06/30/2014	No	Water additive used to control microbes
02 - WELLS 100, 101, AND 102 AFTER TREATMENT						
Fluoride (ppm)	4 (4)	SGL	0.433	07/17/2014	No	Water additive which promotes strong teeth; Erosion of natural deposits; Discharge from fertilizer and aluminum factories
Arsenic (ppb)	10 (0)	SGL	3.60	07/17/2014	No	Erosion of natural deposits; Runoff from orchards; Runoff from glass and electronic production wastes
Barium (ppm)	2 (2)	SGL	0.0488	07/17/2014	No	Discharge of drilling wastes; Discharge from metal refineries; Erosion of natural deposits
Nitrate [as N] (ppm)	10 (10)	SGL	0.259 (ND - 0.259)	2014	No	Runoff from fertilizer use; Leaching from septic tanks, sewage; Erosion of natural deposits
Dalapon (ppb)	200 (200)	SGL	0.60	07/02/2013	No	Runoff from herbicide used on rights of way

Note: Contaminants with dates indicate results from the most recent testing done in accordance with regulations.

DEFINITIONS

- Maximum Contaminant Level (MCL) – The highest level of a contaminant that is allowed in drinking water. MCLs are set as close to the MCLGs as feasible using the best available treatment technology.
- Maximum Contaminant Level Goal (MCLG) -- The level of a contaminant in drinking water below which there is no known or expected risk to health. MCLGs allow for a margin of safety.
- ppb -- parts per billion.
- ppm -- parts per million.
- pCi/L – picocuries per liter
- N/A – Not applicable
- ND -- Not detected
- RAA – Running Annual Average
- LRAA – Locational Running Annual Average

- Treatment Technique (TT) – A required process intended to reduce the level of a contaminant in drinking water.
- Action Level (AL) – The concentration of a contaminant which, if exceeded, triggers treatment or other requirements which a water system must follow.
- Maximum Residual Disinfectant Level Goal (MRDLG) - The level of a drinking water disinfectant below which there is no known or expected risk to health. MRDLGs do not reflect the benefits of the use of disinfectants to control microbial contaminants.
- Maximum Residual Disinfectant Level (MRDL) - The highest level of a disinfectant allowed in drinking water. There is convincing evidence that addition of a disinfectant is necessary for control of microbial contaminants.
- SGL – Single Sample Result
- TCR – Total Coliform Rule

GENERAL INFORMATION

Drinking water, including bottled water, may reasonably be expected to contain at least small amounts of some contaminants. The presence of contaminants does not necessarily indicate that water posed a health risk. More information about contaminants or potential health effects can be obtained by calling the Environmental Protection Agency's Safe Drinking Water Hotline (800-426-4791).

Some people may be more vulnerable to contaminants in drinking water than the general population. Immuno-compromised persons such as persons with cancer undergoing chemotherapy, persons who have undergone organ transplants, people with HIV/AIDS or other immune system disorders, some elderly, and infants can be particularly at risk from infections. These people should seek advice about drinking water from their health care providers. EPA/CDC guidelines on appropriate means to lessen the risk of infection by *Cryptosporidium* and other microbial contaminants are available from the Safe Drinking Water Hotline (800-426-4791).

If present, elevated levels of lead can cause serious health problems, especially for pregnant women and young children. Lead in drinking water is primarily from materials and components associated with service lines and home plumbing. GRIMES WATER SUPPLY is responsible for providing high quality drinking water, but cannot control the variety of materials used in plumbing components. When your water has been sitting for several hours, you can minimize the potential for lead exposure by flushing your tap for 30 seconds to 2 minutes before using water for drinking or cooking. If you are concerned about lead in your water, you may wish to have your water tested. Information on lead in drinking water, testing methods and steps you can take to minimize exposure is available from the Safe Drinking Water Hotline or at <http://www.epa.gov/safewater/lead>.

SOURCE WATER ASSESSMENT INFORMATION

This water supply obtains its water from the Middle Des Moines sand and gravel of the Alluvial aquifer. The Alluvial aquifer was determined to be highly susceptible to contamination because the characteristics of the aquifer and overlying materials provide little protection from contamination at the land surface. The Alluvial wells will be highly susceptible to surface contaminants such as leaking underground storage tanks, contaminant spills, and excess fertilizer application. A detailed evaluation of your source water was completed by the Iowa Department of Natural Resources, and is available from the Water Operator at 515-986-3176.

CONTACT INFORMATION

For questions regarding this information or how you can get involved in decisions regarding the water system, please contact GRIMES WATER SUPPLY at 515-986-3176.

April 30, 2015

Keith Weggen

Civil Design Advantage
3405 SE Crossroads Drive, Suite G
Grimes, IA 50111

Houghton – Gateway Business Park Spec Building – Site Plan

Lot 3 – Gateway Business Park Plat 2

FOX Ref No: 8630-99f.273

FOX Engineering and City Staff have completed the second review for the Houghton – Gateway Business Park Spec Building site plan dated April 29, 2015. Please address the following comments:

General Comments

1. Please note that the roadway along the east side of the site is SE Johnson Drive. Please revise.
2. The developer has stated that no lighting is planned for this development.

Site Plan – Dimension Plan – Sheet C2.1

3. Discussion is necessary as to whether a sand-oil separator is needed for this development since an overhead door is shown. If any storage of vehicles or washing of vehicles will be done within the building, a sand oil separator will be required.

Site Plan – Utility Plan – Sheet C4.1

4. Please do not show an easement in the SE Gateway Drive right of way.

Site Plan – Landscape Plan – Sheet L1.1

5. The plan states that irrigation MAY be done on this site. Please clarify where an irrigation meter will be installed if irrigation is done on this site.

Architectural Plan

6. At the time of the submittal of this letter, the Developer had not submitted a revised elevation plan as per the following comments:
 - a. In general, it does not appear that the structure submitted meets the intent of the Highway 141 Zone 1 overlay district Architectural Design guidelines. The proposed building materials are 15% brick and 85% Hardie. Staff is concerned with the look of the proposed building facing HWY 141.
 - i. Can an entry feature or canopy be added to break up the front building face?
 - ii. Can stone columns be added along the front building face (see Gateway Corner Building Elevs)?
 - iii. Please consider wrapping brick or stone around the corners of the building.
 - iv. Please consider a parapet wall at the front of the structure (east) to screen the roof from the right of way and also match other structures along Highway 141.
 - v. Please state the building material percentages (___% brick, ___% Hardie) on each side of the elevation views. Then provide overall percentages.
7. The graphic rendering provided should show elevation views from all sides. Please update to include a view from the rear of the building.
8. It is highly recommended that you bring detailed building materials and color schemes with you to P & Z.

Stormwater Management Plan

9. Please note that the roadway along the east side of the site is SE Johnson Drive. Please revise throughout the document.
10. Please revise the legal description for the property throughout the report.
11. The site eventually drains to Walnut Creek. Please revise.
12. The site contains Nicollet Loam and Clarion Loam and should be hydrologic soil group B. Please revise.
13. Please provide a storm sewer pipe design table that shows that during the 100-yr storm, only 4.22 cfs is being conveyed to the existing storm sewer in the SE Gateway Drive right of way. Currently, it appears that $4.26 + 0.15 = 4.41$ cfs is conveyed to the SE Gateway storm sewer during the 5-yr event, which is more than allowed. It can be assumed that 100-yr flows will add more, especially with additional head on the intake. Please provide an orifice on the outlet pipes or otherwise verify that during the 100-yr event, total discharge to the storm sewer pipe is 4.22 cfs or less. It can also be assumed that with head, the 12-inch storm sewer to the SE Johnson Drive storm sewer will convey more than the allowed 4.22 cfs. Please provide an orifice or otherwise restrict the flows to this discharge point as well.

Stormwater Pollution Prevention Plan

14. Please provide a formal SWPPP document.
15. Please submit a City of Grimes Grading/Certification for Development form.

Post Construction Stormwater Agreement

16. Please provide a post-construction stormwater maintenance agreement.

Please provide a letter addressing all comments on this comment letter and/or state what was modified on the site plan to address said comments.

SITE PLAN SUBMITTAL SCHEDULE:

PLANNING & ZONING: May 5, 2015 at 5:30 at the Grimes City Hall

COUNCIL MEETING: May 12, 2015 at 5:30 at the Grimes City Hall

If you have any questions or concerns, please contact Mitch Holtz or John Gade at (515) 233-0000. The City reserves the right to modify or add to these comments.

FOX ENGINEERING ASSOCIATES, INC.



Mitch Holtz, P.E.

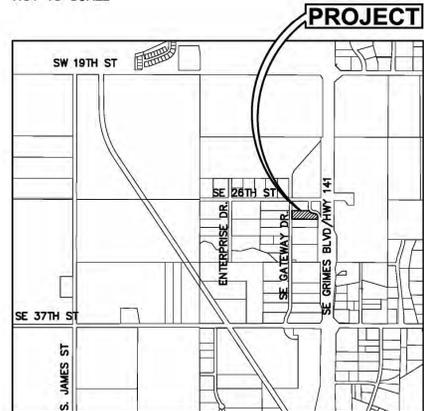
Copy to: Kelley Brown, City of Grimes
Scott Clyce, City of Grimes

SITE PLAN FOR: HOUGHTON – GATEWAY BUSINESS PARK SPEC BUILDING

GRIMES, IOWA

VICINITY MAP

NOT TO SCALE



LEGAL DESCRIPTION

LOT 3 GATEWAY BUSINESS PARK PLAT 2

ZONING

M-1A (COMMERCIAL AND LIMITED LIGHT INDUSTRIAL DISTRICT)
ZONE 1 OF HIGHWAY 141 MIXED USE CORRIDOR DISTRICT

PROJECT SITE ADDRESS

2900 SE GRIMES BLVD

EXISTING/ PROPOSED USE

UNDEVELOPED
OFFICE/ WAREHOUSE

DEVELOPMENT SUMMARY

AREA:	1.96 ACRES (85,408 SF)
SETBACKS:	
FRONT:	25'
SIDE:	0'
REAR:	25'
BUILDING:	
OFFICE:	2,250 SF
WAREHOUSE:	20,250 SF 22,500 SF
PAVING:	
PARKING AREAS:	3,903 SF
DRIVEWAYS:	24,671 SF
SIDEWALKS:	2,238 SF
OPEN SPACE:	
REQUIRED:	17,082 SF (20.0%)
PROVIDED:	34,388 SF (40.3%)
PARKING REQUIRED:	
OFFICE (50% OF GFA):	8 SPACES
WAREHOUSE (1/ 2,000 SF OF GFA):	11 SPACES 19 SPACES
PROVIDED:	
STANDARD:	23 SPACES
ACCESSIBLE:	1 SPACES 24 SPACES

DATE OF SURVEY

MARCH 27, 2015

BENCHMARKS

- BM#1** GRIMES BM# G9D-002 BURY BOLT ON HYDRANT SE CORNER OF GATEWAY DRIVE AND SE 28TH STREET. ELEVATION=962.46
- BM#2** BURY BOLT ON FIRE HYDRANT AT THE SW COR OF HWY 141 & NW 58TH AVE. ELEVATION=960.93
- BM#3** BURY BOLT ON FIRE HYDRANT WEST SIDE OF GATEWAY DR BY LOT ADD. 5708 (YAMAHA DEALER) ELEVATION=957.59
- BM#4** BOLT ON FIRE HYDRANT WEST SIDE OF GATEWAY DR BY LOT ADD. 5612 (RTL EQUIP) ELEVATION=952.82

CONSTRUCTION SCHEDULE

ANTICIPATED START DATE = MAY 2015
ANTICIPATED FINISH DATE = DECEMBER 2015

INDEX OF SHEETS

NO.	DESCRIPTION
C0.0	COVER SHEET
C1.1	TOPOGRAPHIC SURVEY/ DEMOLITION PLAN
C2.1	DIMENSION PLAN
C3.1	GRADING PLAN
C4.1	UTILITY PLAN
L1.1	LANDSCAPE PLAN
A2.1	EXTERIOR ELEVATIONS

GENERAL LEGEND

PROPOSED	EXISTING
PROJECT BOUNDARY	SANITARY MANHOLE
LOT LINE	WATER VALVE BOX
SECTION LINE	FIRE HYDRANT
CENTER LINE	WATER CURB STOP
RIGHT OF WAY	WELL
PERMANENT EASEMENT	STORM SEWER MANHOLE
TEMPORARY EASEMENT	STORM SEWER SINGLE INTAKE
TYPE SW-501 STORM INTAKE	STORM SEWER DOUBLE INTAKE
TYPE SW-401 STORM MANHOLE	FLARED END SECTION
STORM/SANITARY CLEANOUT	ROOF DRAIN/ DOWNSPOUT
WATER VALVE	DECIDUOUS TREE
FIRE HYDRANT ASSEMBLY	CONIFEROUS TREE
SIGN	DECIDUOUS SHRUB
DETECTABLE WARNING PANEL	CONIFEROUS SHRUB
SANITARY SEWER WITH SIZE	ELECTRIC POWER POLE
SANITARY SERVICE	GUY ANCHOR
STORM SEWER	STREET LIGHT
STORM SERVICE	POWER POLE W/ TRANSFORMER
WATERMAIN WITH SIZE	UTILITY POLE W/ LIGHT
WATER SERVICE	ELECTRIC BOX
SAWCUT (FULL DEPTH)	ELECTRIC TRANSFORMER
SILT FENCE	ELECTRIC MANHOLE OR VAULT
	TRAFFIC SIGN
	TELEPHONE JUNCTION BOX
	TELEPHONE MANHOLE/VAULT
	TELEPHONE POLE
	GAS VALVE BOX
	CABLE TV JUNCTION BOX
	CABLE TV MANHOLE/VAULT
	MAIL BOX
	BENCHMARK
	SOIL BORING
	UNDERGROUND TV CABLE
	GAS MAIN
	FIBER OPTIC
	UNDERGROUND TELEPHONE
	OVERHEAD ELECTRIC
	UNDERGROUND ELECTRIC
	FIELD TILE
	SANITARY SEWER W/ SIZE
	STORM SEWER W/ SIZE
	WATER MAIN W/ SIZE

OWNER

FIRST AMERICAN BANK
PO BOX 71156
CLIVE, IOWA 50325

APPLICANT

HOUGHTON PROPERTIES
CONTACT: JACK HOUGHTON
12814 CARDINAL LANE
URBANDALE, IOWA 50323
PH. (515) 253-0192
FX. (515) 331-2583

ENGINEER/ SURVEYOR

CIVIL DESIGN ADVANTAGE, LLC
CONTACT: KEITH WEGGEN
3405 SE CROSSROADS DRIVE, SUITE G
GRIMES, IOWA 50111
PH. (515) 369-4400
FX. (515) 369-4410

ARCHITECT

DOWNING CONSTRUCTION
2500 W 2ND AVE
INDIANOLA, IA 50125
PH. (515) 961-5386



1-800-292-8989

www.iowaonecall.com

UTILITY WARNING

THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY AND RECORDS OBTAINED BY THIS SURVEYOR. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL THE UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION SHOWN. A REQUEST WAS MADE TO IOWA ONE CALL FOR THE UTILITY PROVIDERS TO LOCATE THEIR UTILITIES IN THE FIELD.



CIVIL DESIGN ADVANTAGE

3405 SE CROSSROADS DR. SUITE G, GRIMES, IOWA 50111

PH: (515) 369-4400 Fax: (515) 369-4410

PROJECT NO. 1503.137

REFER TO GEOTECH ENGINEERING REPORT FOR GEOTECHNICAL REQUIREMENTS.

THE PROJECT REQUIRES AN IOWA NPDES PERMIT #2 AND CITY OF GRIMES GRADING PERMIT. CIVIL DESIGN ADVANTAGE WILL PROVIDE THE PERMITS AND THE INITIAL STORM WATER POLLUTION PREVENTION PLAN (SWPPP) FOR THE CONTRACTORS USE DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR UPDATING THE SWPPP THROUGHOUT CONSTRUCTION AND MEETING LOCAL, STATE AND FEDERAL REQUIREMENTS.

ALL CONSTRUCTION MATERIALS, DUMPSTERS, DETACHED TRAILERS OR SIMILAR ITEMS ARE PROHIBITED ON PUBLIC STREETS OR WITHIN THE PUBLIC R.O.W.

THE MOST RECENT EDITION OF THE SUDAS STANDARD SPECIFICATIONS, THE PUBLIC RIGHTS-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG) AND ALL CITY SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.

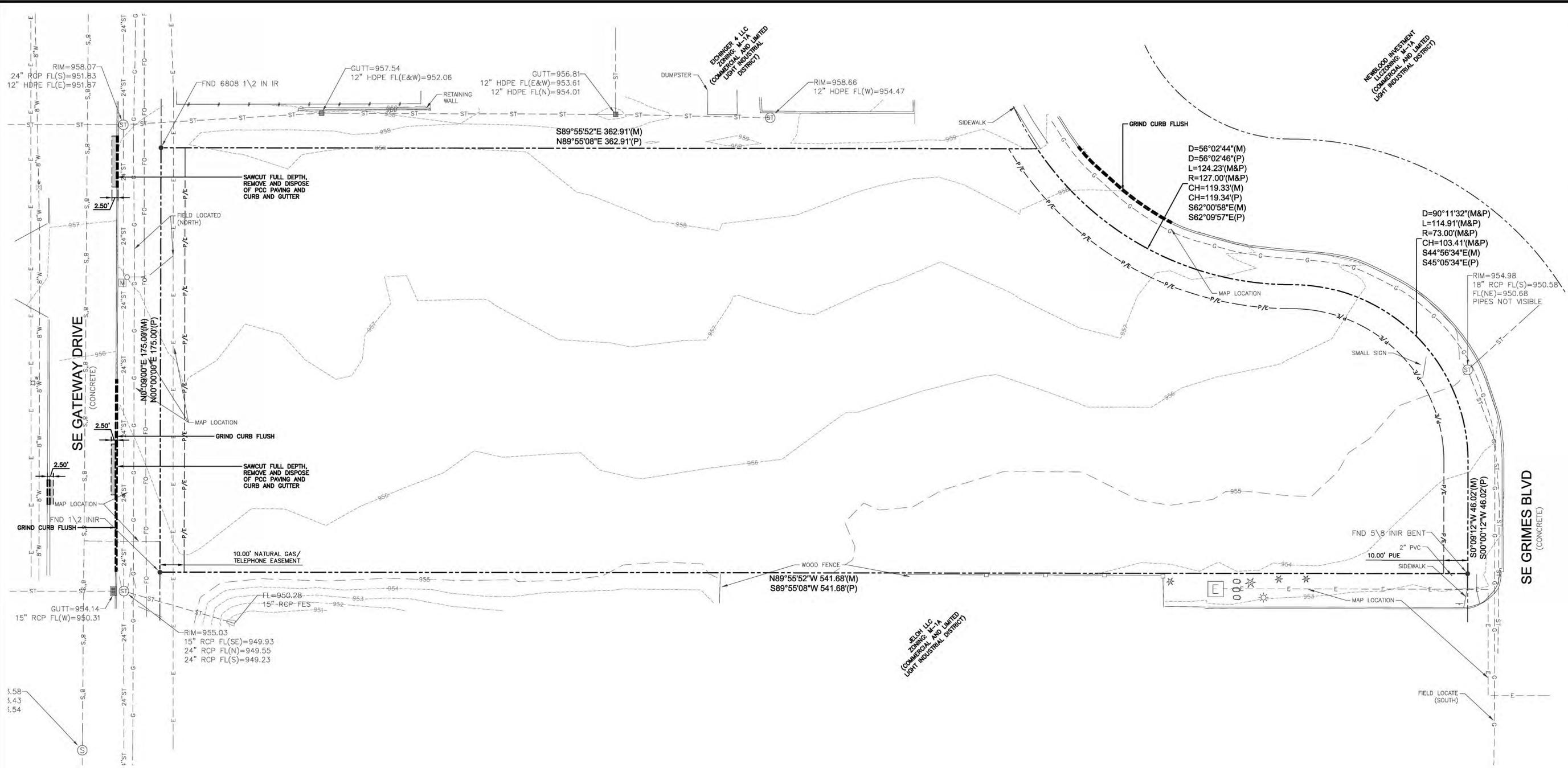


I HEREBY CERTIFY THAT THE PORTION OF THIS TECHNICAL SUBMISSION DESCRIBED BELOW WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND RESPONSIBLE CHARGE. I AM A DULY LICENSED PROFESSIONAL LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF IOWA.

PRELIMINARY

KEITH D. WEGGEN, ASLA _____ DATE _____

MY LICENSE RENEWAL DATE IS JUNE 30, 2014
PAGES OR SHEETS COVERED BY THIS SEAL:
L1.1 _____



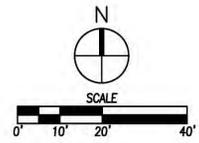
DEMOLITION NOTES

- PRIOR TO ANY WORK AT THE SITE, CONTRACTOR SHALL EXAMINE ANY APPLICABLE DRAWINGS AVAILABLE FROM THE OWNER OR ENGINEER AND CONSULT WITH OWNER'S PERSONNEL AND UTILITY COMPANY REPRESENTATIVES. NO COMPENSATION WILL BE ALLOWED FOR DAMAGE FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.
- PRIOR TO DEMOLITION, CONTRACTOR SHALL NOTIFY IN WRITING (48 HRS NOTICE) THE FOLLOWING:
 - CITY
 - APPROPRIATE UTILITY COMPANIES
 - OWNER
 - CIVIL DESIGN ADVANTAGE
 - ARCHITECT
- DO NOT DISTURB EXISTING UTILITIES UNLESS OTHERWISE NOTED. COORDINATE REMOVAL OR ABANDONMENT OF ALL UTILITIES WITH THE APPROPRIATE UTILITY SUPPLIER AND REGULATORY AGENCIES.
- PROTECT EXISTING UTILITIES THAT ARE TO REMAIN. THE LOCATIONS OF ALL UTILITIES INDICATED ON THE PLANS ARE TAKEN FROM EXISTING RECORDS. THE EXACT LOCATION AND ELEVATION OF ALL UTILITIES MUST BE DETERMINED BY THE CONTRACTOR. IT SHALL BE THE DUTY OF THE CONTRACTOR TO ASCERTAIN WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLAN MAY BE PRESENT.
- BACKFILL ALL EXCAVATIONS WITH COHESIVE MATERIAL COMPACTED TO 95% MAXIMUM STANDARD PROCTOR DENSITY AND MOISTURE RANGE OF OPTIMUM MOISTURE TO 4% ABOVE OPTIMUM MOISTURE. TESTING OF BACKFILL TO BE BY A GEOTECHNICAL ENGINEER EMPLOYED BY THE OWNER. IN THE EVENT OF A TEST FAILURE, ANY RETESTING SHALL BE PAID FOR BY THE CONTRACTOR.
- FIELD VERIFY EXISTING GRADES AND LOCATION OF EXISTING UTILITIES, CONDUIT, LINES, POLES, TREES, PAVING, BUILDING AND OTHER SITE FEATURES PRIOR TO DEMOLITION AND IMMEDIATELY INFORM THE ENGINEER AND/OR OWNER OF ANY DISCREPANCIES.
- DEMOLITION NOTES AS SHOWN ON THE PLAN ARE NOT ALL INCLUSIVE. CONTRACTOR TO ABANDON IN PLACE OR REMOVE AND DISPOSE OF ALL EXISTING SITE IMPROVEMENTS ABOVE AND BELOW GROUND TO COMPLY WITH THE GENERAL INTENT OF THIS DOCUMENT.
- ALL CONSTRUCTION/DEMOLITION DEBRIS SHALL BE DISPOSED OFFSITE IN FULL COMPLIANCE WITH CURRENT ENVIRONMENTAL REGULATIONS.
- CONSTRUCTION LIMITS SHALL BE CONFINED TO THE SITE BOUNDARY AS NOTED. ANY DAMAGE TO PROPERTIES OUTSIDE THE SITE BOUNDARY SHALL BE AT THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- ALL WORK SHALL BE IN ACCORDANCE WITH OSHA STANDARDS. NOTHING INDICATED ON THE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.
- DISPOSE OF TREES OFFSITE, BURNING OF TREES ONSITE IS NOT ALLOWED.

TRAFFIC CONTROL NOTES

- ALL APPLICABLE CITY PERMITS, INCLUDING BUT NOT LIMITED TO CLOSURE PERMITS, SHALL BE OBTAINED PRIOR TO ANY CONSTRUCTION WITHIN CITY R.O.W. OR LANE CLOSURES.
- ALL TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- PERMANENT SIGNING THAT CONVEYS A MESSAGE CONTRARY TO THE MESSAGE OF TEMPORARY SIGNING AND NOT APPLICABLE TO THE WORKING CONDITIONS SHALL BE COVERED BY THE CONTRACTOR WHEN DIRECTED BY THE CITY.
- THE CONTRACTOR SHALL COORDINATE HIS TRAFFIC CONTROL WITH OTHER CONSTRUCTION PROJECTS IN THE AREA.
- SIDEWALK CLOSED SIGNS REQUIRED FOR ALL SIDEWALK CLOSURES.
- THE CONTRACTOR IS CAUTIONED NEITHER TO OBSTRUCT NOR REMOVE ANY EXISTING PAVEMENT, NOR TO DISTURB THE EXISTING TRAFFIC PATTERNS MORE THAN IS NECESSARY FOR THE PROPER EXECUTION OF THE WORK.
- ALL SIGNING AND LANE STRIPING WILL NEED TO COMPLY WITH MUTCD. MAINTENANCE AND REPLACEMENT OF THE SIGNING AND STRIPING WILL BE THE RESPONSIBILITY OF THE APPLICANT.

COMMENT: ENG
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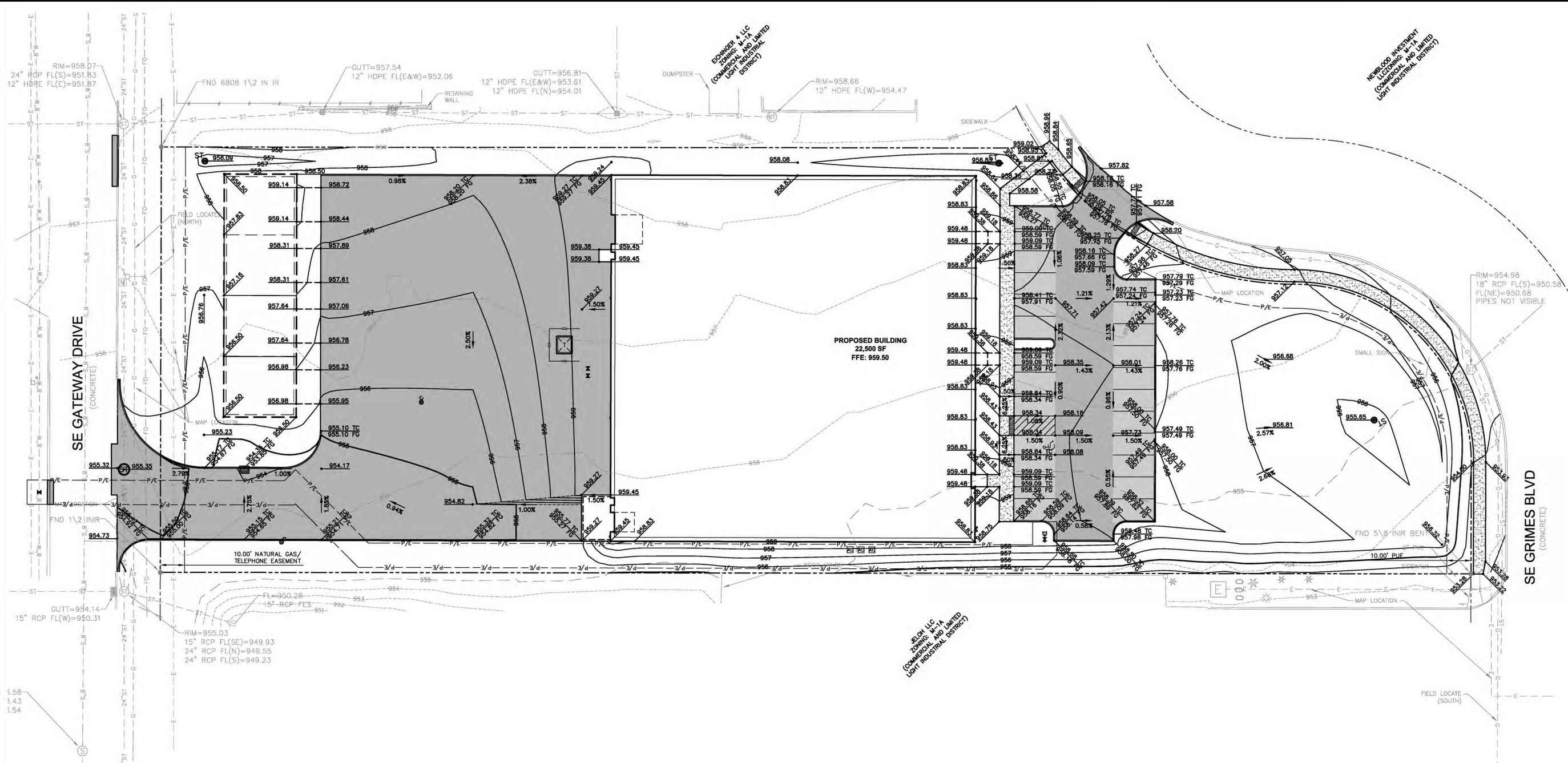
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4/29/15	4/29/15
4/29/15	4/29/15

3405 S.E. CROSSROADS DRIVE, SUITE G
 GRIMES, IOWA 50111
 PHONE: (515) 369-4400 FAX: (515) 369-4410
 ENGINEER: TECH:



**HOUGHTON - GATEWAY BUSINESS
 PARK SPEC BUILDING**
 TOPOGRAPHIC SURVEY/ DEMOLITION PLAN
 GRIMES, IOWA

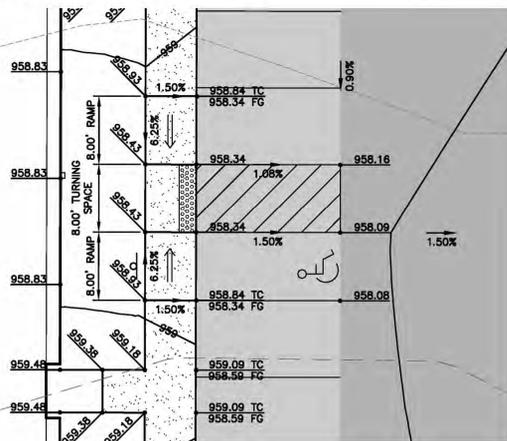
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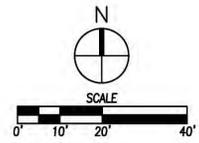
GRADING NOTES

1. PRIOR TO ANY GRADING, A COPY OF THE NPDES PERMIT SHALL BE PROVIDED TO THE CITY'S BUILDING DIVISION.
2. CONTRACTOR SHALL STRIP ALL DELETERIOUS MATERIAL THE TOP 6" OF TOPSOIL IS TO BE STOCKPILED AND RESPAID AFTER GRADING IS COMPLETE. CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING A SUITABLE TOPSOIL STOCKPILE SITE.
3. EXCAVATION SHALL BE IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS, IF APPLICABLE.
4. MATCH EXISTING GRADES AT PROPERTY LINES AND/OR CONSTRUCTION LIMITS.
5. ALL SPOT ELEVATIONS ARE FORM GRADE (FG) OR TOP OF FINISHED SURFACES UNLESS OTHERWISE NOTED.
6. SITE SHALL BE GRADED TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS.
7. SLOPES IN PAVEMENT SHALL BE UNIFORM TO AVOID PONDING.
8. THE CONTRACTOR SHALL CONFINE HIS GRADING OPERATIONS TO WITHIN THE CONSTRUCTION LIMITS AND EASEMENTS SHOWN ON THE PLANS. ANY DAMAGE TO PROPERTIES OUTSIDE THE SITE BOUNDARY SHALL BE AT THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
9. THE CONTRACTOR SHALL APPLY NECESSARY MOISTURE CONTROL TO THE CONSTRUCTION AREA AND HAUL ROADS TO PREVENT THE SPREAD OF DUST.
10. REFER TO SEPARATE STORM WATER POLLUTION PREVENTION PLAN FOR DETAILS ON EROSION CONTROL.
11. FINAL FINISH GRADING TO BE APPROVED BY THE ARCHITECT AND CIVIL ENGINEER. MATCH EXISTING GRADES AT THE INTERFACE OF NEW AND EXISTING GRADES OR PAVING.
12. SIDEWALKS: MAINTAIN 1% MINIMUM AND 5% MAXIMUM LONGITUDINAL SLOPES ON ALL PAVED WALKWAYS. ALL WALKS TO HAVE 2.0% MAXIMUM TRANSVERSE SLOPE IN THE DIRECTION OF NATURAL DRAINAGE. SAW CUT JOINTS AS SOON AS CONCRETE HAS SET. SAW CUTS TO BE 1/8" TO 1/4" WIDE, DEPTH: LONGITUDINAL 1/3, TRANSVERSE 1/4.
13. THE GRADING OF THE DETENTION FACILITY AND INSTALLATION OF THE STORM SEWER SYSTEM SHALL BE COMPLETED AND FUNCTIONAL PRIOR TO ANY INCREASE IN IMPERVIOUS SURFACES WITHIN THE SITE OR THE PREVIOUSLY MENTIONED ITEMS SHALL BE GRADED/ INSTALLED AS SOON AS PRACTICAL.

ADA PARALLEL RAMP ENLARGEMENT



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 COMMENT: ENG



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4/29/15	4/29/15

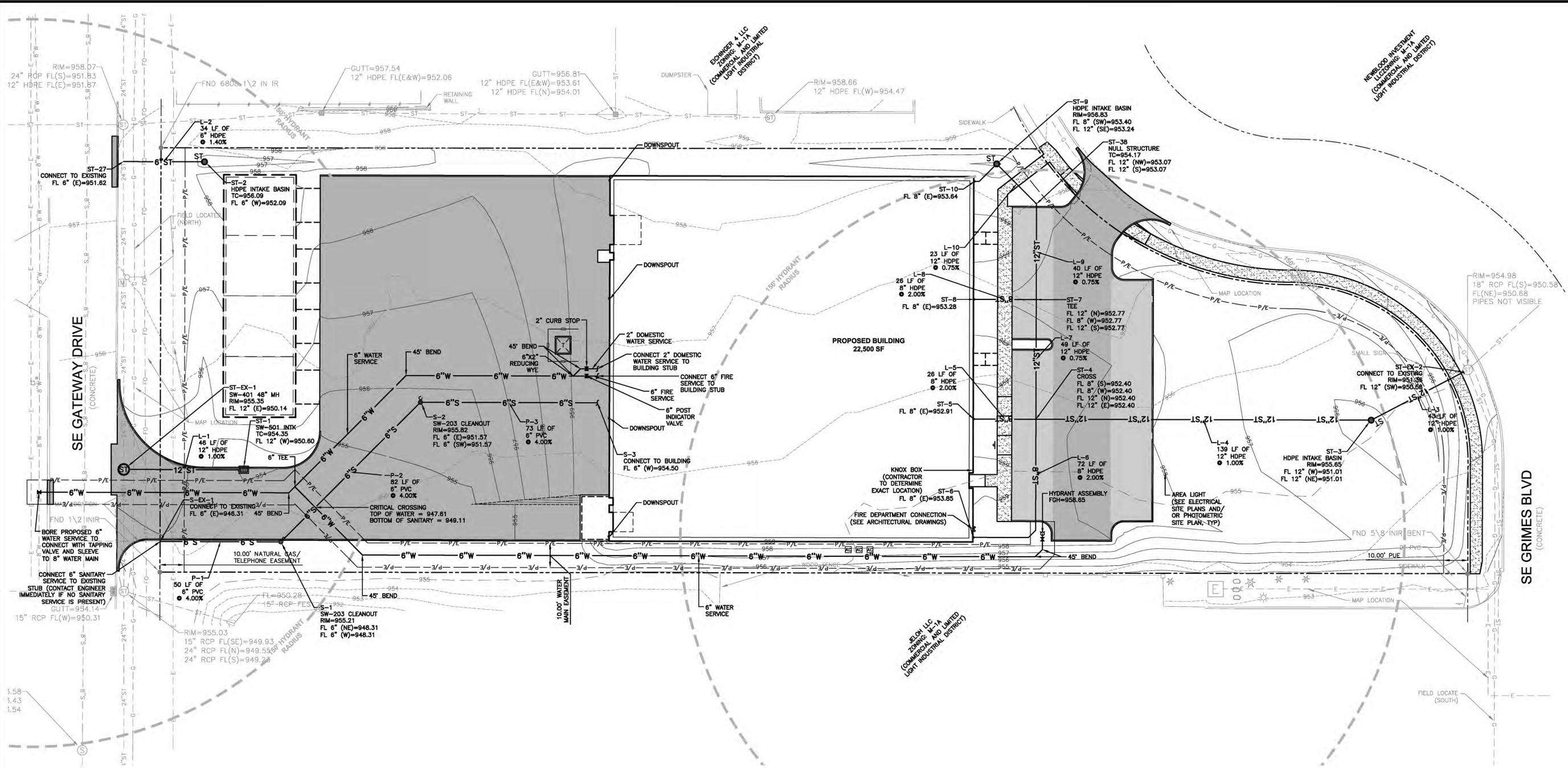
3405 S.E. CROSSROADS DRIVE, SUITE G
 GRIMES, IOWA 50111
 PHONE: (515) 369-4400 FAX: (515) 369-4410



**HOUGHTON - GATEWAY BUSINESS
 PARK SPEC BUILDING**
 GRADING PLAN

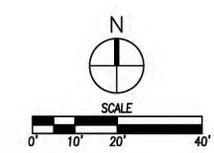
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SUBMITTALS & REVISIONS
 SUBMITTAL #2
 SUBMITTAL #1
 ENGINEER: GRIMES, IOWA
 TECH:



UTILITY NOTES

- REFER TO MECHANICAL, ELECTRICAL AND PLUMBING PLANS FOR UTILITY SERVICE SIZES AND EXACT LOCATIONS. REFER TO ELECTRICAL PLANS FOR ELECTRIC AND TELEPHONE SERVICE CONSTRUCTION DETAILS. REFER TO MECHANICAL PLANS FOR GAS SERVICE CONSTRUCTION DETAILS.
- FIELD VERIFY ELEVATIONS AND LOCATIONS OF ALL CONNECTIONS TO EXISTING UTILITIES PRIOR TO COMMENCING CONSTRUCTION.
- PROVIDE TEMPORARY SUPPORT FOR EXISTING UTILITY LINES THAT ARE ENCOUNTERED DURING CONSTRUCTION UNTIL BACKFILLING IS COMPLETE.
- BACKFILL ALL UTILITY TRENCHES ACCORDING TO THE MOST RECENT EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS. MAINTAIN A MINIMUM OF 5.5' COVER OVER ALL WATERMANS.
- ALL UTILITIES SHALL BE STUBBED TO 5 FEET FROM BUILDINGS. REFER TO MEP PLANS FOR DESIGN FROM 5' OUTSIDE OF BUILDING FACE.
- ADJUST ALL MANHOLES, INTAKES AND UTILITY FIXTURES TO FINISHED GRADE.
- ALL SANITARY SEWER AND WATER SERVICES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY'S PLUMBING CODE.
- 18" MINIMUM VERTICAL CLEARANCE BETWEEN STORM SEWER AND SANITARY SEWER PIPES. 18" MINIMUM VERTICAL CLEARANCE BETWEEN SANITARY SEWER AND WATER MAIN.
- MAINTAIN A MINIMUM OF 10' HORIZONTAL SEPARATION BETWEEN SANITARY SEWER LINES AND WATER MAINS.
- WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE, THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS. THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATIONS AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK. THE CONTRACTOR IS REQUIRED TO UTILIZE THE UTILITY ONE-CALL SERVICE AT 800-292-9999 AT LEAST 48 HOURS PRIOR TO EXCAVATING ANYWHERE ON THE PROJECT.
- ALL WATERMAIN WORK, PUBLIC OR PRIVATE SHALL BE DONE IN ACCORDANCE WITH THE CITY'S STANDARD CONSTRUCTION SPECIFICATIONS FOR PUBLIC IMPROVEMENTS.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF WORK OF ALL SUBCONTRACTOR(S) INVOLVED IN THE PROJECT.
- PRIVATE UTILITIES TO BE INSTALLED PER THE CITY'S STANDARD CONSTRUCTION SPECIFICATIONS FOR PUBLIC IMPROVEMENTS, THE 2009 UNIFORM PLUMBING CODE AND THE 2009 INTERNATIONAL PLUMBING CODE FOR FIXTURE COUNT. CONTACT BUILDING INSPECTION A MINIMUM OF 24 HOURS IN ADVANCE FOR UTILITY INSTALLATION INSPECTIONS.
- OWNER IS RESPONSIBLE FOR MAINTENANCE OF PRIVATE DETENTION FACILITIES AND PRIVATE UTILITIES.
- CONTRACTOR SHALL PREVENT ENTRY OF MUD, DIRT, DEBRIS AND OTHER MATERIAL INTO NEW AND EXISTING SEWER SYSTEMS. SHOULD ANY CONTAMINATION OCCUR DURING CONSTRUCTION, THE CONTRACTOR SHALL CLEAN AT NO COST TO THE OWNER. INSTALL SILT FENCE AT ALL PERMANENT STORM SEWER INLETS.
- ONE KNOX BOX IS REQUIRED AND MAY BE PURCHASED FROM CITY HALL. SEE PLAN FOR LOCATION.
- LIGHTING WALL PACKS SHALL BE SHARP CUT-OFF FIXTURES.
- INSTALL APRON GUARD AND FOOTINGS ON ALL APRONS.
- REMOVE SILT FENCE UPON COMPLETION OF PROJECT ONCE SEEDING IS ESTABLISHED. REFER TO STORM WATER POLLUTION PREVENTION PLAN FOR DETAILS.
- NO LIGHT FIXTURES ARE PLANNED AT THIS TIME.



COUNTY: ENG
 DATE: 4/29/2015 3:52 PM
 PLOTTED BY: NICKIE NEAL

DATE	DESCRIPTION
4/29/15	4/29/15
4/29/15	4/29/15

3405 S.E. CROSSROADS DRIVE, SUITE G
 GRIMES, IOWA 50111
 PHONE: (515) 369-4400 FAX: (515) 369-4410
 ENGINEER: GRIMES, IOWA
 TECH:



**HOUGHTON - GATEWAY BUSINESS
 PARK SPEC BUILDING
 UTILITY PLAN**

CONTACT LIST

GENERAL CONTRACTOR

DOWNING CONSTRUCTION INCORPORATED
2500 WEST 2ND AVENUE PO BOX 196
INDIANOLA, IOWA 50125
PHONE: 515-961-5386 FAX: 515-961-0468
PROJECT V.P. = Ken Seeger
kens@downingconstruct.com

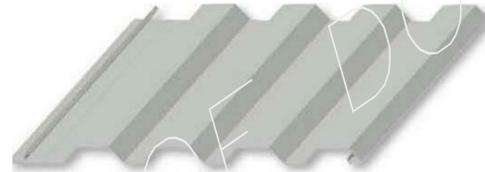
PROJECT SUPERINTENDENT=
PHONE: 515-961-_____

CONTACT LIST



FRONT PERSPECTIVE

METAL SIDING (SEE COLOR SAMPLES)



HARDI PANEL (SEE COLOR SAMPLES)



UTILITY BRICK (SEE COLOR SAMPLES)



REAR PERSPECTIVE

COVER SHEET INDEX

SHEET COVER CONTACT LIST/ SHEET INDEX/ & ARTWORK
SHEET G-0.01 GENERAL (TYPICAL) NOTES & SYMBOL LEGENDS

ARCHITECTURAL

SHEET A-1.01 MAIN FLOOR PLAN
SHEET A-2.00 EXTERIOR ELEVATIONS
SHEET A-2.01 EXTERIOR ELEVATIONS
SHEET A-4.00 TYPICAL WALL SECTION

SHEETS SUB-TOTAL = 4

Houghton - Gateway Business Park Spec Building

2900 SE Grimes BLVD
Grimes Iowa

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CHECKED BY: _____

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- 05/05/2015 - CD Set Rev.

PLAN No. = 15-50-XXX

DWG. LIST

CONTACT LIST, SHEET INDEX, & ARTWORK

SHEET No.

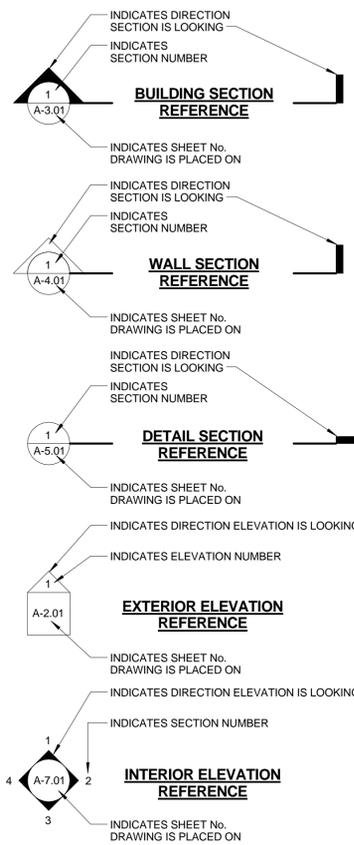
COVER

TOTAL SHEETS IN SET = 6

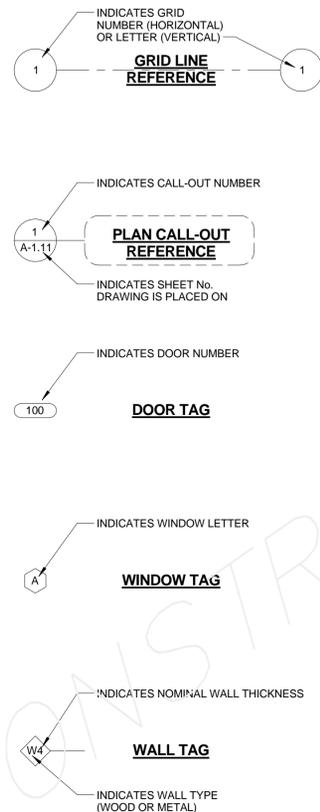
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BUILDING SECTION & ELEVATION REFERENCES



PLAN REFERENCES



DRAWING SYMBOLS LEGEND

SCALE: 1/2" = 1'-0"

ARCHITECTURAL ABBREVIATIONS

ABBR.	DESCRIPTION	ABBR.	DESCRIPTION	ABBR.	DESCRIPTION
ABBR.	ABBREVIATION	FL	FLOOR	PT.	PAINT
A.F.F.	ABOVE FINISHED FLOOR	F.D.	FLOOR DRAIN	PNL.	PANEL
ACT.	ACCOUSTICAL CEILING TILE	FIN.	FINISH	PR.	PAIR
ADD.	ADDENDUM	F.F.	FINISHED FLOOR	PTN.	PARTITION
ADDN.	ADDITION	F.E.	FIRE EXTINGUISHER	P.A.R.	PATCH AS REQUIRED
ALUM.	ALUMINUM	FIXT.	FIXTURE	PLAS.	PLASTER
ALT.	ALTERNATE	FTG.	FOOTING	PL.	PLATE
APT.	APARTMENT	FR.	FRAME	POL.	POLISHED
&	AND	FUR.	FURRING	O.T.	QUARRY TILE
B	BASE (CABINET)	G.I.	GALVANIZED IRON	R.	RADIUS OR RISER
BSMT.	BASEMENT	GAL.	GALVANIZED	R.C.	RAIN CHUTE
BATH	BATHROOM	GA.	GALVE	REF.	REFRIGERATOR
BM.	BEAM	GEN.	GENERAL	REG.	REGISTER
BRG.	BEARING	GL.	GLASS OR GLAZING	REQ.	REQUIRED
B.R.	BEDROOM	GYP.	GYP	RETD.	RETAINING
B.M.	BENCHMARK	HD.	HARD	R.D.	ROOF DRAIN
B/T	BETWEEN	HDR.	HARDWARE	RM.	ROOM
BIT.	BITUMINOUS	HTR.	HEATER	R.S.	ROUGH SAWN
BLK.	BLOCK	HT.	HEIGHT	RUB.	RUBBER
BLKG.	BLOCKING	H.C.	HOLLOW CORE	S.F.	SAND/FLAT FINISH
BRD.	BOARD	H.M.	HOLLOW METAL	SECT.	SECTION
B.O.	BOTTOM OF	HORIZ.	HORIZONTAL	SHT.	SHEET
B.O.C.	BOTTOM OF CURB	H.B.	HOSE BIBB	S.V.	SHEET VINYL
B.W.	BOTH WAYS	H.W.	HOT WATER	SH.	SHELF OR SHELVES
BR.	BRICK	INST.	INSTRUMENT	SIM.	SIMILAR
CAB.	CABINET	I.D.	INSIDE DIAMETER	S.B.	SINK BASE (CABINET)
CPT.	CARPET	INSUL.	INSULATION	S.C.	SOLID CORE
C.W.	CASEWORK	INT.	INTERIOR	SPEC.	SPECIFICATIONS
C.I.	CAST IRON	INTER.	INTERMEDIATE	S.BLK.	SPLASH BLOCK
C.B.	CATCH BASIN	INV.	INVERT	SQ.	SQUARE
CER.	CERAMIC	JAN.	JANITOR	S&V	STAIN & VARNISH
C.T.	CERAMIC TILE	JT.	JOINT	S.S.	STAINLESS STEEL
CLG.	CEILING	JST.	JOIST	STD.	STANDARD
CEM.	CEMENT	JSTS.	JOISTS	STL.	STEEL
C.O.	CLEANOUT	L.P.	LAMINATED PLASTIC	STR.	STRUCTURAL
CLO.	CLOSET	LAV.	LAVATORY	SUSP.	SUSPENDED
CP.	CLOSET POLE	LT.	LIGHT	SW.	SWITCH
COL.	COLUMN	L.W.	LIGHT WEIGHT	TUB.	BATHTUB
CONC.	CONCRETE	LIN.	LINEN	TEL.	TELEPHONE
C.B.	CONCRETE BLOCK	LINO.	LINOLEUM	T.V.	TELEVISION
COND.	CONDITION	L.V.T.	LUXURY VINYL TILE	TEXT.	TEXTURE
CONST.	CONSTRUCTION	L.R.	LIVING ROOM	T.P.	TOILET PAPER (HOLDER)
CONT.	CONTINUOUS	MFR.	MANUFACTURER	T.O.	TOP OF
CONTR.	CONTRACTOR	M.O.	MASONRY OPENING	T&G	TONGUE AND GROOVE
CORR.	CORRIDOR	MAX.	MAXIMUM	T.B.	TOWEL BAR
C.J.	CONTROL JOINT	MECH.	MECHANICAL	TR.	TREAD
CSK.	COUNTERSINK	M.C.	MEDICINE CABINET	TYP.	TYPICAL
DET.	DETAIL	MIN.	MINIMUM	U.N.O.	UNLESS NOTED OTHERWISE
DIM.	DIMENSION	MET.	METAL	U.H.	UNIT HEATER
DR.	DINING ROOM	MIN.	MINIMUM	UR.	URINAL
DISP.	DISPOSAL	MISC.	MISCELLANEOUS	VB.	VANITY BASE (CABINET)
DR.	DOOR	MLDG.	MOLDING	VSB.	VANITY SINK BASE (CABINET)
DBL.	DOUBLE	MTD.	MOUNTED	VENT.	VENTILATION
DN	DOWN	N.C.	NO CHANGE	VEST.	VESTIBULE
D.S.	DOWNSPOUT	N.I.C.	NOT IN CONTRACT	V.B.	VINYL BASE
DB.	DRAWER BASE (CABINET)	N.T.S.	NOT TO SCALE	V.W.C.	VINYL WALL COVERING
DWG.	DRAWINGS	NOM.	NOMINAL	V.C.T.	VINYL CERAMIC TILE
D.F.	DRINKING FOUNTAIN	NO.	NUMBER	V.T.	VINYL TILE
EA.	EACH	OBS.	OBSCLURE	W	WALL HUNG (CABINET)
E.W.	EACH WAY	O.C.	ON CENTER	WAINS.	WAINSCOT
ELEC.	ELECTRICAL	OPNG.	OPENING	W.I.C.	WALK IN CLOSET
EL.	ELEVATION	O.D.	OUTSIDE DIAMETER	W.C.	WATER CLOSET
ELEV.	ELEVATOR	O.H.	OVERHEAD	W.R.	WATER RESISTANT
EM.	EMERGENCY (LIGHTING)	OHGD.	OVERHEAD GARAGE DOOR	WDW.	WINDOW
ENGR.	ENGINEER	OVD.	OVERHEAD DOOR	W.GL.	WIRE GLASS
ENT.	ENTRANCE			w/o	WITHOUT
EQUIP.	EQUIPMENT			WD.	WOOD
EQ.	EQUAL			W.I.	WROUGHT IRON
EXIST.	EXISTING			YD.	YARD
EXP.	EXPANSION OR EXPOSED				
EX.	EXIT				
EXT.	EXTERIOR				

Houghton - Gateway Business Park Spec Building

2900 SE Grimes BLVD
Grimes Iowa

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Indianola, Iowa 50125 515-961-5386

DRAWN BY: *Author*
CHECKED BY: *Checker*

ORIGINAL
CONSTRUCTION DOCUMENT
03/20/2015

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PLAN No. = 15-50-XXX

DWG. LIST

GENERAL NOTES & SYMBOL LEGENDS

SHEET No.

G-0.01

STANDARD CONSTRUCTION DOCUMENTS SHEET NUMBERS & ORDER GUIDE

DISCIPLINE SHEET ORDER Hierarchy

US NATIONAL CAD STANDARD FORMAT

DESIGNATOR	NAME
-	COVER
1	GENERAL PLANS
H	HAZARDOUS MATERIALS
V	SURVEY/ MAPPING
B	GEOTECHNICAL
C	CIVIL
L	LANDSCAPE
S	STRUCTURAL
A	ARCHITECTURAL
I	INTERIORS
Q	EQUIPMENT
F	FIRE PROTECTION
P	PLUMBING
D	PROCESS
M	MECHANICAL
E	ELECTRICAL
T	TELECOMMUNICATIONS
R	RESOURCES
X	OTHER DISCIPLINES
Z	CONTRACTOR/ SHOP DRAWINGS
O	OPERATIONS

SHEET TYPE ORDER Hierarchy

MODIFIED US NATIONAL CAD STANDARD FORMAT

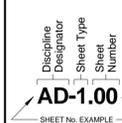
SHEET TYPE	DESCRIPTION
0	GENERAL: SYMBOL LEGEND, ABBREVIATIONS, GENERAL NOTES
1	PLANS
2	EXTERIOR ELEVATIONS
3	BUILDING SECTIONS
4	STAIR SECTIONS
5	DETAILS
6	SCHEDULES
7	FINISH FLOOR PLANS
8	INTERIOR ELEVATIONS
9	3D IMAGES & DRAWINGS

The information herein is adapted from and meets the US National CAD Standards.

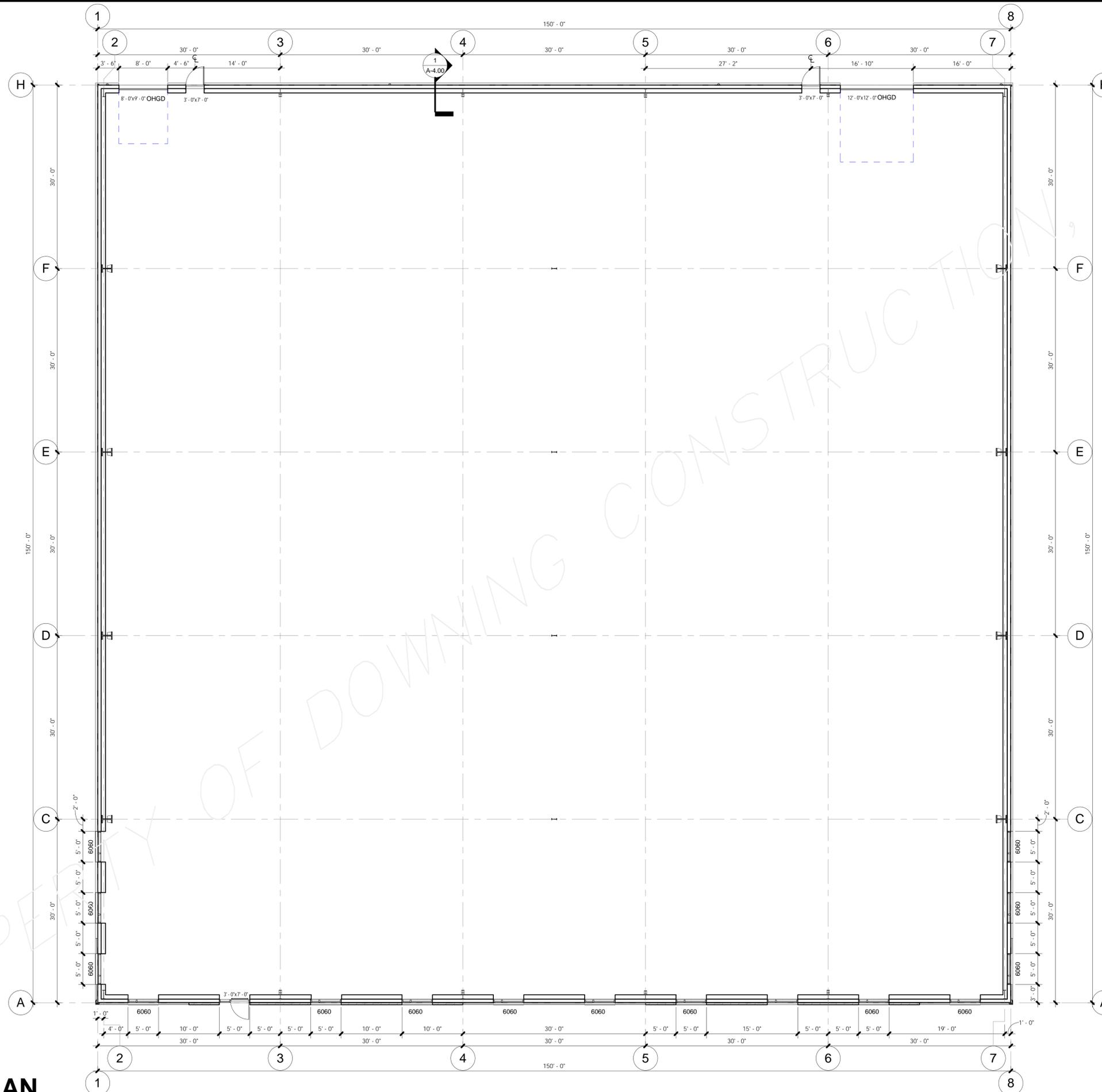
The "Discipline Designator" helps to identify the type of work that is included on the sheets. Since sheets are distributed to the different sub-contractors in the field, it is helpful for the drawings to be organized by discipline.

The "Sheet Type" number takes the drawings of a single discipline and organizes them. Drawings are always organized from most general to most specific or specialized. The hierarchy schedule above shows the US National CAD Standards format for "Sheet Type" order.

The final component of the sheet number is the two-digit sequence number, which is between 01 and 99. The sequence numbers do not have to be sequential so that space may be left within the set for future additions.



SHEET No. EXAMPLE



MAIN FLOOR PLAN

SCALE: 1/8" = 1'-0"



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Houghton - Gateway Business Park Spec Building

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 Grimes Iowa

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 CHECKED BY: _____

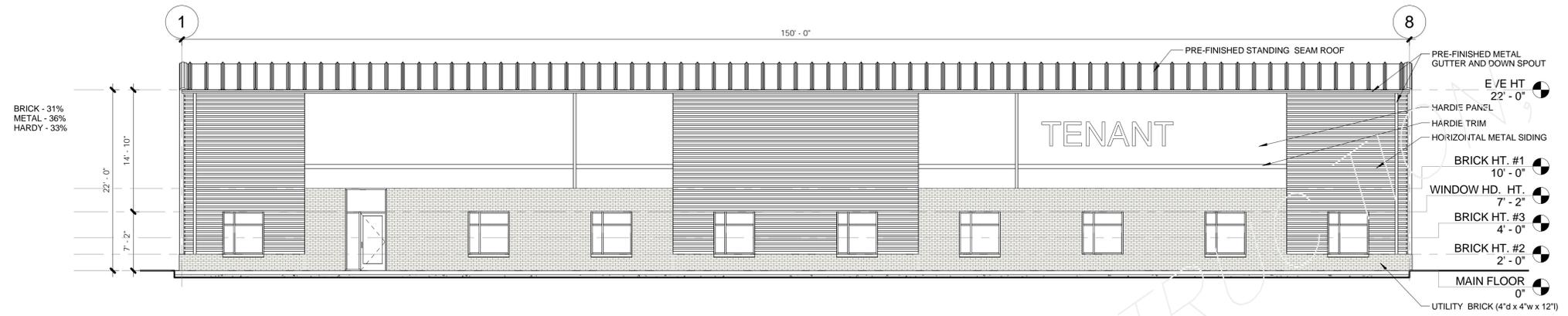
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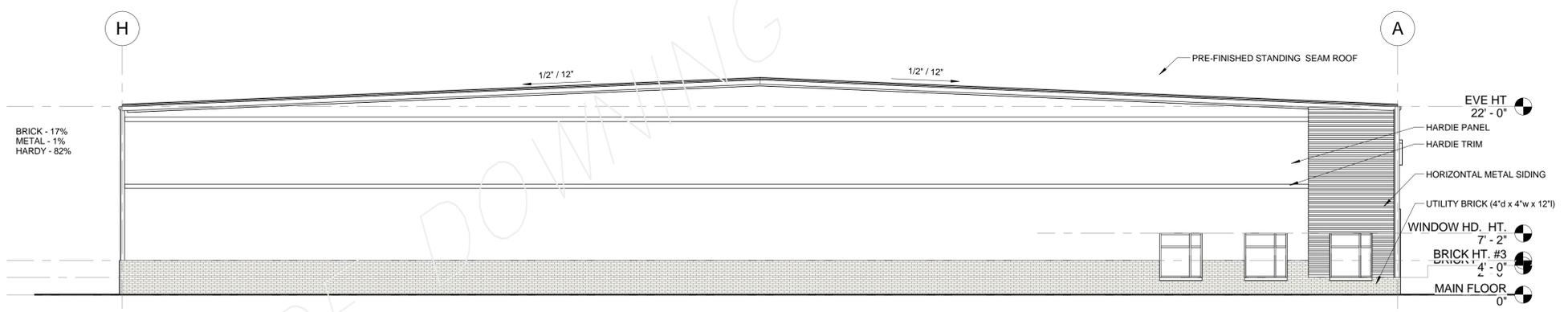
DWG. LIST
 MAIN FLOOR
 PLAN

SHEET No.
A-1.01



FRONT ELEVATION

1 SCALE: 1/8" = 1'-0"



LEFT ELEVATION

2 SCALE: 1/8" = 1'-0"

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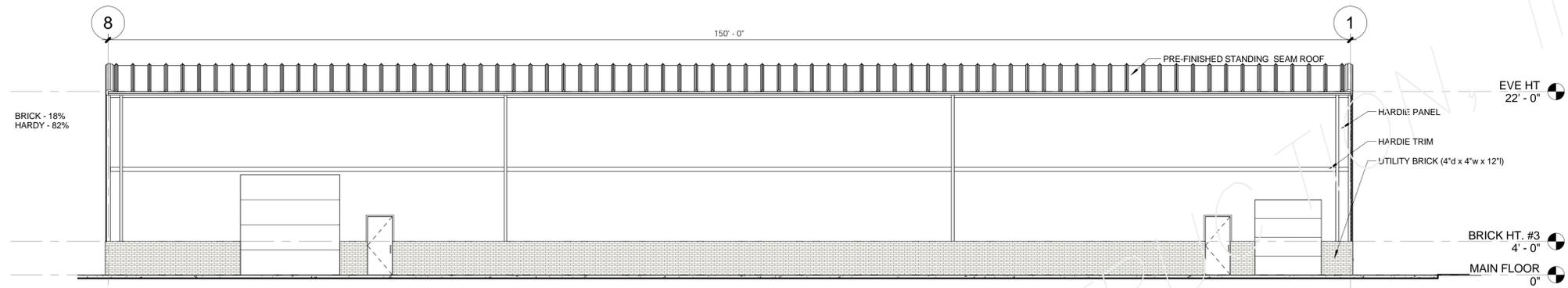
PLAN No. = 15-50-XXX

DWG. LIST
 EXTERIOR ELEVATIONS

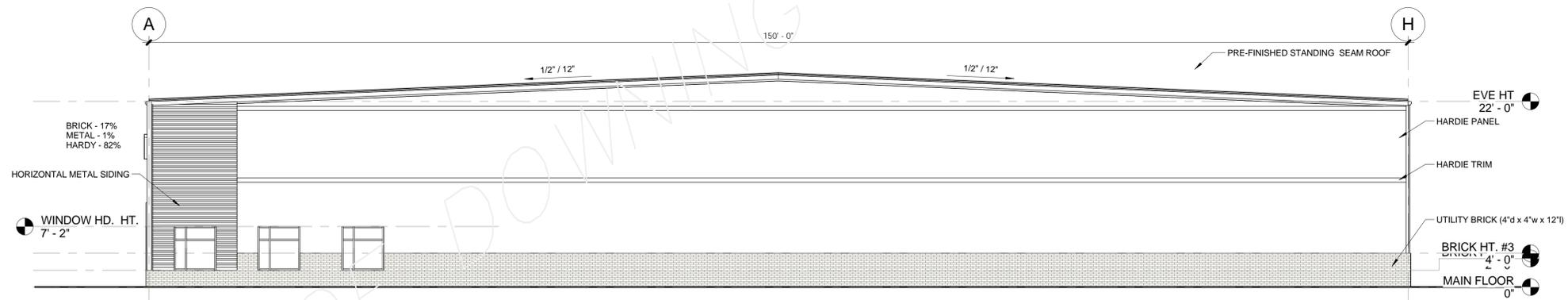
SHEET No.

A-2.00

* Emergency Egress
 One sash of this group must comply with governing fire and building codes.



1 REAR ELEVATION
SCALE: 1/8" = 1'-0"



2 RIGHT ELEVATION
SCALE: 1/8" = 1'-0"

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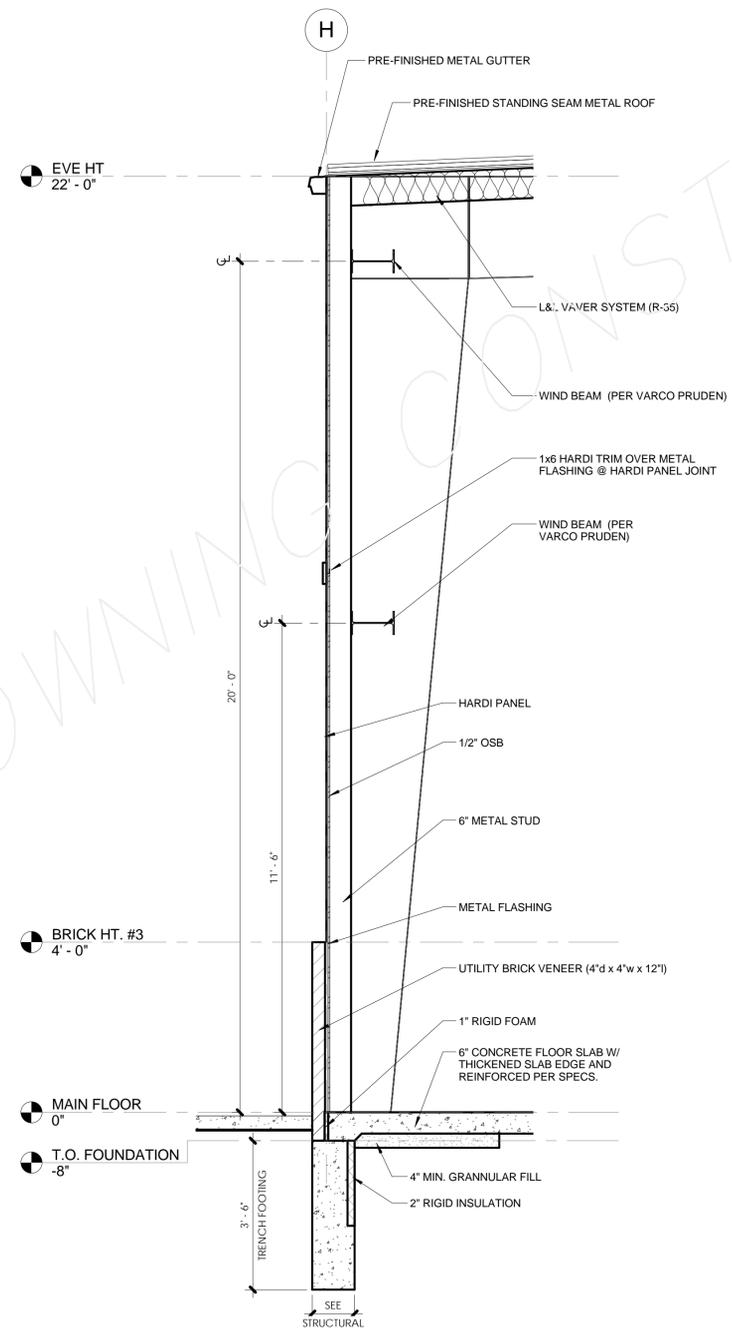
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DWG. LIST
EXTERIOR
ELEVATIONS

SHEET No.

A-2.01

PROPERTY OF DOWNING CONSTRUCTION, INC.



1 TYP. WALL SECTION
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PLAN No. = 15-50-XXX

DWG. LIST
TYPICAL
WALL
SECTIONS

SHEET No.
A-4.00

TTS Cellular

1402

OPEN

TTS Cellular

MIT
E







noodles & company



HOLD HEARING ON AND APPROVE
DEVELOPMENT AGREEMENT AND
TAX INCREMENT PAYMENTS

(Prairie Business Park, LLC/R&R Realty
Group)

419952-40

Grimes, Iowa

May 26, 2015

A meeting of the City Council of the City of Grimes, Iowa, was held at ____ o'clock
__m., on May 26, 2015, at the _____, Grimes, Iowa, pursuant to the
rules of the Council.

The Mayor presided and the roll was called, showing members present and absent as
follows:

Present: _____

Absent: _____.

The City Council investigated and found that notice of the intention of the Council to
conduct a public hearing on a Development Agreement between the City and the Prairie
Business Park, LLC/R&R Realty Group in connection with the development of a new
commercial and industrial business park and the corresponding construction of public
infrastructure in the Urban Renewal Area, which Agreement provides for certain financial
incentives in the form of annual appropriation, incremental property tax payments in a total
amount not exceeding \$1,300,300, had been published according to law and as directed by the
Council and that this is the time and place at which the Council shall receive oral or written
objections from any resident or property owner of the City. All written objections, statements,
and evidence heretofore filed were reported to the Council, and all oral objections, statements,
and all other exhibits presented were considered.

The following named persons presented oral objections, statements, or evidence as
summarized below; filed written objections or statements, copies of which are attached hereto; or
presented other exhibits, copies of which are attached hereto:

(Here list all persons presenting written or oral statements or evidence and summarize
each presentation.)

There being no further objections or comments, the Mayor announced that the hearing
was closed.

Council Member _____ introduced the resolution next hereinafter set out and moved its adoption, seconded by Council Member _____; and after due consideration thereof by the Council, the Mayor put the question upon the adoption of said resolution, and the roll being called, the following named Council Members voted:

Ayes: _____

Nays: _____.

Whereupon, the Mayor declared said resolution duly adopted, as follows:

RESOLUTION _____

Resolution Approving Development Agreement with Prairie Business Park, LLC/R&R Realty Group, Authorizing Annual Appropriation Tax Increment Payments and Pledging Certain Tax Increment Revenues to the Payment of the Agreement

WHEREAS, the City of Grimes, Iowa (the “City”), pursuant to and in strict compliance with all laws applicable to the City, and in particular the provisions of Chapter 403 of the Code of Iowa, has adopted an Urban Renewal Plan for the Grimes Urban Renewal Area (the “Urban Renewal Area”); and

WHEREAS, this City Council has adopted an ordinance providing for the division of taxes levied on taxable property in the Urban Renewal Area pursuant to Section 403.19 of the Code of Iowa and establishing the fund referred to in Subsection 2 of Section 403.19 of the Code of Iowa (the “Urban Renewal Tax Revenue Fund”), which fund and the portion of taxes referred to in that subsection may be irrevocably pledged by the City for the payment of the principal and interest on indebtedness incurred under the authority of Section 403.9 of the Code of Iowa to finance or refinance in whole or in part projects in the Urban Renewal Area; and

WHEREAS, a certain development agreement (the “Agreement”) between the City and Prairie Business Park, LLC/R&R Realty Group (the “Company”) has been prepared in connection with the development of a new commercial and industrial business park and the corresponding construction of public infrastructure in the Urban Renewal Area (the “R & R Project”); and

WHEREAS, under the Agreement, the City would provide annual appropriation tax increment payments to the Company in a total amount not exceeding \$1,300,300; and

WHEREAS, this City Council, pursuant to Section 403.9 of the Code of Iowa, has published notice, has held a public hearing on the Agreement on May 26, 2015, and has otherwise complied with statutory requirements for the approval of the Agreement; and

WHEREAS, Chapter 15A of the Code of Iowa (“Chapter 15A”) declares that economic development is a public purpose for which a City may provide grants, loans, tax incentives, guarantees and other financial assistance to or for the benefit of private persons; and

WHEREAS, Chapter 15A requires that before public funds are used for grants, loans, tax incentives or other financial assistance, a City Council must determine that a public purpose will reasonably be accomplished by the spending or use of those funds; and

WHEREAS, Chapter 15A requires that in determining whether funds should be spent, a City Council must consider any or all of a series of factors;

NOW, THEREFORE, It Is Resolved by the City Council of the City of Grimes, Iowa, as follows:

Section 1. Pursuant to the factors listed in Chapter 15A, the City Council hereby finds that:

(a) The R & R Project will add diversity and generate new opportunities for the Grimes and Iowa economies;

(b) The R & R Project will generate public gains and benefits, particularly in the creation of new jobs, which are warranted in comparison to the amount of the proposed financial incentives.

Section 2. The City Council further finds that a public purpose will reasonably be accomplished by entering into the Agreement and providing the incremental property tax payments to the Company.

Section 3. The Agreement is hereby approved and the Mayor and City Clerk are hereby authorized and directed to execute and deliver the Agreement on behalf of the City, in substantially the form and content in which the Agreement has been presented to this City Council, and such officers are also authorized to make such changes, modifications, additions or deletions as they, with the advice of bond counsel, may believe to be necessary, and to take such actions as may be necessary to carry out the provisions of the Agreement.

Section 4. All payments by the City under the Agreement shall be subject to annual appropriation by the City Council, in the manner set out in the Agreement. As provided and required by Chapter 403 of the Code of Iowa, the City's obligations under the Agreement shall be payable solely from a subfund (the "R & R Subfund") which is hereby established, into which shall be paid that portion of the income and proceeds of the Urban Renewal Tax Revenue Fund attributable to property taxes derived from the property described as follows:

Certain real property situated in the City of Grimes, Counties of Dallas and Polk, State of Iowa legally described as follows:

37.06 acres described as:

NW 1/4 of the NW 1/4 of Section 17-79-25

Less 2.51 acres of future road right-of-way currently governed by an easement for public highway purposes

Less 0.45 acres of future road right-of-way along SE 37th Street

Less 0.58 acres of future road right-of-way along S. James Street

Less 0.86 acres for both the construction of SE 46th Street and the future road right-of-way along SE 46th Street

Section 5. The City hereby pledges to the payment of the Agreement the R & R Subfund and the taxes referred to in Subsection 2 of Section 403.19 of the Code of Iowa to be paid into such Subfund, provided, however, that no payment will be made under the Agreement unless and until monies from the R & R Subfund are appropriated for such purpose by the City Council.

Section 6. After its adoption, a copy of this resolution shall be filed in the office of the County Auditor of Dallas County to evidence the continuing pledging of R & R Subfund and the portion of taxes to be paid into such Subfund and, pursuant to the direction of Section 403.19 of the Code of Iowa, the Auditor shall allocate the taxes in accordance therewith and in accordance with the tax allocation ordinance referred to in the preamble hereof.

Section 7. All resolutions or parts thereof in conflict herewith are hereby repealed.

Passed and approved this 26th day of May 2015.

Mayor

Attest:

City Clerk

• • • • •

On motion and vote the meeting adjourned.

Mayor

Attest:

City Clerk

STATE OF IOWA
COUNTIES OF DALLAS AND POLK SS:
CITY OF GRIMES

I, the undersigned, Clerk of the City of Grimes, hereby certify that the foregoing is a true and correct copy of the minutes of the Council of the City relating to holding a public hearing and adopting a resolution to approve a Development Agreement.

WITNESS MY HAND this _____ day of _____, 2015.

City Clerk

STATE OF IOWA

SS:

COUNTY OF DALLAS

I, the undersigned, County Auditor of Dallas County, in the State of Iowa, do hereby certify that on the ____ day of _____, 2015, the City Clerk of the City of Grimes filed in my office a certified copy of a resolution of the City shown to have been adopted by the City Council and approved by the Mayor thereof on May 26, 2015, entitled: "Resolution Approving Development Agreement with Prairie Business Park, LLC/R&R Realty Group, Authorizing Annual Appropriation Tax Increment Payments and Pledging Certain Tax Increment Revenues to the Payment of the Agreement", and that I have duly placed the copy of the resolution on file in my records.

WITNESS MY HAND this ____ day of _____, 2015.

County Auditor

May 21, 2015

VIA EMAIL

Rochelle Williams
City Clerk/City Hall
Grimes, IA

Re: Prairie Business Park, LLC/R&R Realty Group Development Agreement
File No. 419952-40

Dear Rochelle:

Attached are copies of proceedings covering the City Council's May 26, 2015 public hearing on the proposed Development Agreement with Prairie Business Park, LLC/R&R Realty Group, followed by a resolution approving the Agreement and pledging certain incremental property tax revenues to the payment of the Agreement.

A copy of the Resolution should be filed with the Dallas County Auditor. Please print an extra copy of the Resolution for that purpose.

We would appreciate receiving one fully-executed copy of these proceedings and of the executed Development Agreement as soon as they are available.

Best regards,

John P. Danos

Attachments

cc: Kelley Brown

MINUTES TO AUTHORIZE BOND
PURCHASE AGREEMENT

419952-39

Grimes, Iowa

May 26, 2015

The City Council of the City of Grimes, Iowa, met on May 26, 2015, at _____
o'clock __.m., at the _____, Grimes, Iowa.

The meeting was called to order by the Mayor, and the roll was called showing the
following members of the City Council present and absent:

Present: _____

Absent: _____.

After due consideration and discussion, Council Member _____
introduced the following resolution and moved its adoption, seconded by Council Member
_____. The Mayor put the question upon the adoption of said
resolution, and the roll being called, the following Council Members voted:

Ayes: _____

Nays: _____

Whereupon, the Mayor declared the resolution duly adopted, as hereinafter set out.

RESOLUTION NO. _____

Resolution approving Bond Purchase Agreement with Piper Jaffray & Co. for the sale of General Obligation Corporate Purpose Bonds, Series 2015

WHEREAS, the City of Grimes (the “City”), in Dallas and Polk Counties, State of Iowa, heretofore proposed to enter into a General Obligation Corporate Purpose Loan Agreement (the “Essential Purpose Loan Agreement”) and to borrow money thereunder in a principal amount not to exceed \$7,000,000 pursuant to the provisions of Section 384.24A of the Code of Iowa for the purpose of paying the cost, to that extent, of constructing street, bridge, water system, sanitary sewer system, storm water system and sidewalk improvements, and installing street lighting and signalization improvements, and pursuant to law and duly published notice of the proposed action has held a hearing thereon on May 13, 2015; and

WHEREAS, pursuant to the provisions of Section 384.24A of the Code of Iowa, the City also proposed to enter into a General Obligation Urban Renewal Loan Agreement (the “Urban Renewal Loan Agreement”) and to borrow money thereunder in a principal amount not to exceed \$1,400,000 for the purpose of paying the cost, to that extent, of carrying out an urban renewal project in the Grimes Urban Renewal Area consisting constructing and installing (i) trail system improvements; (ii) sidewalk improvements; (iii) concession stand improvements; (iv) ball diamonds; (v) parking lot improvements; and (vi) lighting and fences at municipal park and recreation facilities, and in lieu of calling an election upon such proposal, has published notice of the proposed action and has held a hearing thereon, and as of May 13, 2015, no petition had been filed with the City asking that the question of entering into the Urban Renewal Loan Agreement be submitted to the registered voters of the City; and

WHEREAS, the City, pursuant to the provisions of Section 384.24A of the Code of Iowa, heretofore proposed to enter into a General Obligation Public Works Building Loan Agreement (the “Public Works Building Loan Agreement”) and to borrow money thereunder in a principal amount not to exceed \$700,000 pursuant to the provisions of Section 384.24A of the Code of Iowa for the purpose of paying the cost, to that extent, of acquiring, furnishing and equipping a municipal public works facility, and in lieu of calling an election upon such proposal, has published notice of the proposed action and has held a hearing thereon, and as of March 10, 2015, no petition had been filed with the City asking that the question of entering into the Public Works Building Loan Agreement be submitted to the registered voters of the City; and

WHEREAS, pursuant to Section 384.28 of the Code of Iowa, the City Council previously combined the Essential Purpose Loan Agreement, the Urban Renewal Loan Agreement and the Public Works Building Loan Agreement into a single loan agreement (the “Loan Agreement”); and

WHEREAS, a Preliminary Official Statement (the “P.O.S.”) has been prepared to facilitate the sale of \$8,500,000 General Obligation Corporate Purpose Bonds, Series 2015 (the “Bonds”) in evidence of the obligation of the City under the Loan Agreement, and the City Council has made provision for the approval of the P.O.S. and authorized its use by Piper Jaffray & Co. (the “Underwriter”); and

WHEREAS, a certain Bond Purchase Agreement (the “Bond Purchase Agreement”) has been prepared to set forth the terms of the Bonds and the understanding between the City and the Underwriter with respect to the purchase thereof, and it is now necessary to make provision for the approval of the Bond Purchase Agreement;

NOW, THEREFORE, It Is Resolved by the City Council of the City of Grimes, Iowa, as follows:

Section 1. The Bond Purchase Agreement is hereby approved in substantially the form as presented to this City Council. The Mayor and City Clerk are hereby authorized and directed to execute and deliver the Bond Purchase Agreement to the Underwriter.

Section 2. Further action with respect to the issuance of the Bonds and the approval of the Loan Agreement is hereby adjourned to the next City Council meeting on June 9, 2015.

Section 3. All resolutions and orders or parts thereof in conflict with the provisions of this resolution, to the extent of such conflict, are hereby repealed.

Section 3. This resolution shall be in full force and effect immediately upon its adoption and approval, as provided by law.

Passed and approved May 26, 2015.

Mayor

Attest:

City Clerk

••••

At the conclusion of the meeting and upon motion and vote, the City Council adjourned.

Mayor

Attest:

City Clerk

STATE OF IOWA
COUNTIES OF POLK AND DALLAS SS:
CITY OF GRIMES

I, the undersigned, City Clerk of the City of Grimes, do hereby certify that attached hereto is a true and correct copy of the proceedings of the City Council relating to the approval of a Bond Purchase Agreement for the sale of \$8,500,000 General Obligation Corporate Purpose Bonds, Series 2015.

WITNESS MY HAND this _____ day of _____, 2015.

City Clerk

May 21, 2015

Rochelle Williams
City Clerk/City Hall
Grimes, Iowa
Via Email

Re: \$8,500,000 General Obligation Corporate Purpose Bonds, Series 2015
Our File No. 419952-39

Dear Rochelle:

We have prepared and attach proceedings related to the action to be taken on the Loan Agreement at the May 26 City Council meeting.

The proceedings attached include the following items:

1. Minutes of the meeting covering the adoption of a Resolution approving a Bond Purchase Agreement with Piper Jaffray & Co.
2. Certificate attesting transcript.

Please take the time to review the proposed Bond Purchase Agreement being provided by Piper and contact me to discuss as needed.

If you have any questions, please contact me.

Best regards,

John P. Danos

Attachments

cc: Kelley Brown
Travis Squires
Diana VanVleet

May 15, 2015

Via email only

Rochelle Williams, City Clerk
City of Grimes
101 NE Harvey St.
Grimes, IA 50111

Re: Review of Updated 28E for Mutual Assistance.

You have requested that our firm review the "Updated 28E for Mutual Assistance for Polk County Fire/Rescue Services," which is also provided contemporaneously herewith. With the agreement was provided a cover letter dated May 14, 2015, signed by Rick D. Roe, President, Polk County Fire Chief's Association

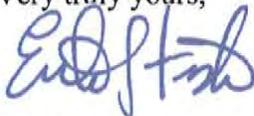
Per the cover letter:

The 28E replaces the current agreement, signed by participating parties in 2002. The primary purpose of this update s to incorporate current provisions and requirements of Iowa Code Section 28E. There are no other material modifications to this document.

The prior agreement is titled "28E Agreement for Mutual Assistance for Polk County Fire/Rescue Services," and is filed with the Iowa Secretary of State at 10:00 a.m. on December 26, 2003, numbered M025293, and recorded with a number of County Recorders, including Boone, Polk, Story and Warren County ("2002 Agreement"). I have reviewed the 2002 Agreement and find Mr. Roe's comments to be true and correct.

As far as the practical features of the agreement, each and every paragraph maintains the pre-existing methods, protocols, and mutual waivers and agreements to indemnify. The only additions involve very general and limited revisions that do not change the rights of the parties. Please do not hesitate to contact me with any further questions.

Very truly yours,



Erik S. Fisk

I:\Xrmas\Fisk\Opinions\28E Review Mutual Ail Agreement 05 15 15.doc

28E AGREEMENT FOR MUTUAL ASSISTANCE

for Polk County Fire/Rescue Services

WHEREAS, the undersigned entities (“Party” or collectively “Parties”) provide fire/rescue services and/or emergency medical services (“Emergency Services”) in Polk County and/or the adjoining counties of Boone County, Dallas County, Story County and Warren County (“adjoining counties”); and

WHEREAS, there has been a long standing Mutual Aid Agreement among Polk County fire/rescue and emergency medical services and/or other entities to provide mutual aid in Polk County and adjoining counties in a time of need;

WHEREAS, the current Mutual Aid Agreement is entitled 28E Agreement for Mutual Assistance for Polk County Fire/Rescue Services and is filed with the Iowa Secretary of State at 10:00 a.m. on December 26, 2003, numbered M025293, and recorded with a number of County Recorders, including Boone, Polk, Story and Warren County (“2002 Agreement”); and

WHEREAS, the 2002 Agreement has been in force for thirteen years and should be updated; and

WHEREAS, the Parties have a desire to assist each other in time of need; and

WHEREAS, the Parties each maintain adequate Emergency Services equipment and personnel to respond to the normal emergencies occurring within their respective jurisdictions; and

WHEREAS, situations may arise in regard to medical and fire/rescue emergencies or circumstances which exhaust available personnel and equipment, or require additional or specialty personnel or additional and/or special equipment that the responsible jurisdiction may not have available at any given time; and

WHEREAS, to combat such emergency situations, it is desirable for the Parties to render needed Emergency Services upon a reciprocal basis; and

WHEREAS, the governing bodies of each party are desirous of entering into this 28E Agreement (“Agreement”), the purpose of which is to provide for the Emergency Services of one entity to the other in such emergency or needed situations requiring additional, special personnel, and/or equipment.

NOW, THEREFORE, BE IT AGREED AS FOLLOWS:

I. Incorporation of Recitals

The foregoing Recitals are incorporated herein as if fully set forth in this paragraph.

II. Definitions

- A. Mutual Aid. The assistance of Emergency Services personnel and equipment provided by one Party ("Assisting Party") and requested by the other Party ("Assisted Party") to this Agreement.
- B. Incident Commander. The person who, by virtue of his/her position with the Assisted Party, is responsible for the overall command and direction of the Emergency response activities.
- C. Emergency. Any situation where a Party, due to lack of personnel or training, special equipment needs or magnitude of event, and based upon actual circumstances, concludes that assistance is needed to protect life and/or property within its jurisdiction. The Parties contemplate an Emergency to involve short duration, defined in hours rather than days.

III. Purpose

This Agreement is made pursuant to Chapter 28E, Code of Iowa. The purpose of this Agreement is to provide for Mutual Aid in case of an Emergency arising within the jurisdiction of the Parties to this Agreement.

IV. Request for Assistance

All requests for Mutual Aid in an Emergency shall be made by the Emergency Medical Services Director, Fire Chief or designee of the Assisted Party. Such requests shall state the exact nature of the Emergency and shall include the amount and type of equipment and the number and skills of personnel required, and shall specify the location where the personnel and equipment are needed. The final decision of type and amount of equipment and number of personnel to be provided by the Assisting Party to the Assisted Party shall be at the sole discretion of the Assisting Party. Further, the Assisting Party shall be held harmless by the Assisted Party from liability in connection with its final decision on type and amount of equipment and number of personnel to be provided to the Assisted Party.

V. Authority Over Joint Operations

The Incident Commander of the Assisted Party shall retain overall control of all Emergency response activities. The ranking supervisor of the Assisting Party shall remain in command of his/her personnel and equipment subject, however, to the direction and control of the Incident Commander.

VI. Liability

Employees or volunteers of either Party acting pursuant to this Agreement shall be considered as acting under the lawful orders and instructions pertaining to their employment or volunteer status with such Party. Under no circumstances are employees or volunteers of one Party to be considered employees or volunteers of the other Party.

Each Party waives all claims against the other for compensation for any property loss or damage and/or personal injury or death to its personnel as consequence of the performance of this Agreement. Each Party shall bear the liability and/or costs of damage to its equipment and facilities, and the compensation of its employees or volunteers, including injury or death of its personnel, occurring as a consequence of the performance of this Agreement, whether the damages, costs injury or death occurs at an Emergency in the Party's own jurisdiction or in the jurisdiction of the other Party.

Except as provided herein, each Party shall be responsible for the acts or omissions of its own employees, and shall indemnify, defend and hold harmless the Other Party, its officers, agents and employees from and against any and all suits, actions, debts, damages, costs, charges and expenses, including court costs and attorney's fees arising from loss of or damage to private property, and/or the death of or injury to private persons, arising from services of response rendered pursuant to this Agreement. Provided, however, the Assisted Party shall indemnify, defend and hold harmless the Assisting Party where any suits, actions, debts, damages, costs, charges or expenses arise from execution of a specific command or order pursuant to paragraph V of this Agreement.

Nothing in this Agreement shall prevent or limit either Party to this Agreement from recovering or attempting to recover costs of services rendered to a third party where such recovery of costs is provided for by law.

The Parties to this Agreement do not waive any defenses, immunities or other limitations applicable to a respective party and nothing herein shall be so construed. Each Party to this Agreement reserves the right to fully defend all claims arising from loss of or damage to private property and/or death of or injury to private persons who are not parties to this Agreement including, but not limited to asserting defenses of immunities available under applicable law.

This article shall survive the termination of this Agreement where necessary to protect each Party to this Agreement.

VII. Compensation

For fire/rescue services, no Party shall be required to reimburse any other Party for the cost of providing the fire department services set forth in this Agreement. Each Party shall pay its own costs for responding to calls.

The Party transporting a patient from an emergency location to a medical facility will be responsible for billing the patient for services rendered.

If the Assisting Party provides supplemental services or a higher level of medical services than the Assisted Party, such as paramedic services, the Assisted Party may bill the patient for the supplemental services pursuant to accepted billing standards. In the event the Assisted Party does not charge for ambulance services, the Assisting Party will bill the patient for services rendered and retain one hundred percent (100%) of fees collected.

The Assisting Party may bill the responsible person (as defined by Iowa Administrative Code Sections 133.2 and 133.3) at a hazardous substance or condition incident (as defined in Iowa Administrative Code Section 133.1(2)) to reclaim costs associated with responding to the incident.

VIII. Termination

This Agreement may be terminated with respect to that Party for any reason by any Party by giving written notice, by certified mail to the President of the Polk County Fire Chief's Association. This Agreement shall thereafter terminate, with respect to that Party only, sixty (60) days from the date of receipt of termination notice. Upon termination, said terminating Party shall have no further responsibility or obligation or benefits from the other Parties to the Agreement, under this Agreement, except as provided herein.

IX. Effective Date

This Agreement shall be in full force and effect at 12:01 a.m., July 1, 2015, by and between the Parties who have obtained approval hereof by their respective governing bodies. Prior to July 1, 2015, the President of the Polk County Fire Chief's Association shall have filed this Agreement with the Iowa Secretary of State as required by Iowa Code section 28E.9. This Agreement shall remain in full force and effect for an indefinite period of time from the effective date hereof until terminated as provided in paragraph VII.

X. Prior Mutual Assistance Agreements

This Agreement supersedes the 2002 Agreement in full.

XI. Amendments

This Agreement represents the entire Agreement of the Parties. Any amendments must be in writing, approved by the governing body of all Parties, and executed by the authorized representatives of all Parties. Any and all amendments must comply with the provisions of Iowa Code section 28E.8. Any and all such requirements shall be done by the then presiding President of the Polk County Fire Chief's Association or President's designee.

XII. Validity

In the event any part or paragraph of this Agreement is declared void as being contrary to Iowa law, the remaining portions of this Agreement that are valid shall continue in full force and effect.

XIII. No Separate Entity Created -- Administration

It is the Intent of the Parties not to create a separate legal entity or administrative agency under this Agreement. The then presiding President of the Polk County Fire Chief's Association shall serve as Administrator of this undertaking.

XIV. No Real or Personal Property

No real or personal property will be acquired, held or disposed of during this undertaking as no separate entity has been created.

XV. Applicable Law

This Agreement shall be governed by and construed in accordance with the laws of the State of Iowa (excluding conflicts of laws rules), and applicable federal law.

XVI. Counterparts

This Agreement may be executed in any number of counterparts, each of which shall be deemed to be an original, but all such counterparts shall together constitute but one and the same instrument.

**28E AGREEMENT FOR MUTUAL ASSISTANCE
for Polk County Fire/Rescue Services**

Participating Jurisdictions

<u>Jurisdiction:</u>	<u>Date Signed:</u>
City of Altoona	_____
City of Ankeny	_____
City of Bondurant	_____
Camp Dodge	_____
Camp Township	_____
City of Carlisle	_____
City of Clive	_____
Delaware Township	_____
City of Des Moines	_____
Des Moines Airport Authority	_____
City of Elkhart	_____
City of Granger	_____
City of Grimes	_____
City of Huxley	_____
City of Indianola	_____
City of Johnston	_____
City of Madrid	_____
City of Maxwell	_____
City of Mitchellville	_____
North Warren County Fire Department	_____
City of Norwalk	_____
City of Pleasant Hill	_____
City of Polk City	_____
Saylor Township	_____
City of Slater	_____
City of Urbandale	_____
City of Waukee	_____
City of West Des Moines	_____
City of Windsor Heights	_____