



101 NE Hawley, Grimes, Iowa 50111 515.986.3036 Fax 515.986.3846

**CITY COUNCIL MEETING**

Grimes City Hall 5:30 P.M.

May 13, 2014

**Mayor Tom Armstrong**

**City Council: Jill Altringer, Tami Evans, Craig Patterson**

**Ty Blackford and Doug Bickford**

**City Administrator Kelley Brown**

**City Clerk Rochelle Williams, City Treasurer Deb Gallagher,**

**City Attorneys Tom Henderson, Erik Fisk**

**City Engineer John Gade**

Every member of the public and every Council Member desiring to speak shall address the presiding officer, and upon recognition by the presiding officer, shall confine comments to the question under debate, avoiding all indecorous language and references to personalities and abiding by the following rules of civil debate.

- We may disagree, but we will be respectful of one another
- All comments will be directed to the issue at hand
- Personal attacks will not be tolerated

**GENERAL AGENDA ITEMS.**

1. Call to Order
2. Pledge of Allegiance
3. Roll Call
4. Approval of the Agenda
5. Approval of the Consent Agenda (**Discussion is not allowed unless the Mayor or a City Council Member ask for an item to be removed and placed under Council actions for consideration**)
  - A. Minutes from meeting on April 22, 2014
  - B. Development Agreement Payment to RightStuff due on June 1, 2013 @ \$9,221 (*Development Agreement with regards to operations of a distribution center facility at 512 NE Main Street*)
  - C. Alcohol License Renewal for Kum & Go #141 – Class E with Sunday Sales (*yearly renewal*)
  - D. Alcohol License Renewal for Kum & Go #237 – Class E with Sunday Sales (*yearly renewal*)
  - E. Alcohol License Renewal for Walmart – Class E with Sunday Sales (*yearly renewal*)
  - F. Autumn Park Plat 4 Storm Water Management Facility Maintenance Covenant and Permanent Easement Agreement (*control of storm water runoff*)
  - G. Brooke Ridge LLC Site Plan Storm Water Management Facility Maintenance Covenant and Permanent Easement Agreement (*control of storm water runoff*)
  - H. Incode Mapping Software from Tyler Technologies – software and professional services \$3,750 plus annual maintenance \$688 (*will be used by street department to map street issues/repairs, future work*)



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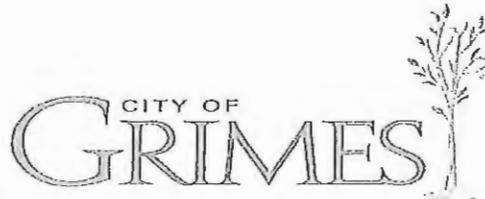
- I. Corporate Authorization Resolution with Charter Bank (*yearly agreement on who is authorized to sign for City*)
- J. MidAmerican Proposal to Relocate Overhead Electric to Underground for SE 19<sup>th</sup> Street Project In the amount of \$198,909. (*relocating the overhead electric lines and the cost to install the facilities underground as part of SE 19<sup>th</sup> Street Project*)
- K. AECOM for the Northwest Transportation Corridor Feasibility Study - \$3,406.88
- L. Mississippi Lime – operational lime \$3,540.90 (*lime used at the treatment facility*)
- M. United Contractors – gravel for SW 19<sup>th</sup> Street (*cover western ½ mile 20 ft wide by 3 inches deep) not to exceed \$7,875*)
- N. Alcohol License for Governors Days June 13 and 14 in Waterworks Park
- O. Change Order #5 for the SE Main Street Improvement by Absolute Concrete, Inc. in the amount of \$41,047.15 (*GCC north parking lot curb addition, north entrance reconstruction, and southern Parking lot paving addition, additional conduit for movement of control pedestal, addition of Flagpole light at GCC, landscaping, sidewalk ramps at 404 SE Main Street*)
- P. Request from Governors Days Committee for funding and activities for Governors Days June 12- 14 (*request for street closure, parade route, activities*)
- Q. Pay Request #10 to Absolute Concrete Construction for the SE Main Street Improvements in the Amount of \$77,985.18 (*this amount includes request for early release of retained funds of \$59,732.90*)
- R. Edge Commercial LLC for Glenstone Park Phase I – Pay Request I - \$85,811.90
- S. Change Order 1 for the Glenstone Park Phase I – increasing bid \$4,054.96 (*set drinking fountain with winterization system, with 4' meter pit, and dig 2" drain approximately 30'*)
- T. Set Public Hearing and Approval of Agreement for a Loan Contract for lease of two snow plows and a skid loader for a total financing amount not to exceed \$400,000- Award to Charter Bank for \$385,012.60
- U. Task Order No. 63 for SE 19<sup>th</sup> Street Improvements (Hwy 141 to 2600' east)- *engineering work by Fox Engineering - water main extensions, storm sewer, bike trails, street lighting, underground power and roadway construction*)

6. Fire Chief Report

7. Patrol Report

**PUBLIC AGENDA ITEMS** Council may consider and potentially act on the following Public Agenda items.

- A. Public Hearing and Approval of Plans and Specifications and Award of Contract for the Grimes Public Library Interior Renovation (*renovations to existing library*)
- B. Public Hearing and Award of Contract for the Furniture Bid Package for the Grimes Public Library (*furniture for library*)
- C. Public Hearing and Approval of Plans Specifications and Award of Contract to H&W Contracting for \$211,471 Prairie Business Park Sanitary Sewer Project. (*project consists of installation of 1,459 L.F. of 10" Sanitary sewer, bore and jack 160 L.F. of 16" steel casing, 5 sanitary sewer manholes, 100*



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- L.F. 12" water main, tree removal, fence removal and restoration of disturbed areas)
- D. Third Reading on Ordinance 627 Amending The Grimes Zoning Ordinance Chapter 165B.01, 165B.02 and 165B.19 Under The Hwy 44 Mixed Use Development Corridor Overlay District (amendment of overlay district)
- E. Third Reading on Ordinance 628 Amending The Grimes Zoning Ordinance Chapter 165A.27 Under The Highway 141 Mixed Use Development Corridor District (amendment of overlay district)

## **PUBLIC FORUM**

"Those people wishing to address the Council need to sign up on the sheet which has been provided on the table near the door. Each person will be allowed three minutes from the podium and may address no more than two issues per Grimes Rules of Procedure for Conduct of City Business – May 2005."

## **COUNCIL ACTIONS**

- A. Public Hearing to Adopt the Official Grimes Zoning Map
- B. First Reading of Ordinance # 629 to Adopt the Official Grimes Zoning Map (update zoning map)
- C. Toyota Parking Lot Expansion Site Plan (employee parking lot site plan)
- D. Commercial & Home Services Site Plan (two steel building for office space, storage and minor manufacturing)
- E. 3455 Mische Drive Site Plan (warehouse building with tenant space)
- F. Glenstone Meadows Preliminary Plat and Site Plan (townhome development)
- G. Public Hearing and on a Request for Rezone from Beaverbrook Development Company – Heritage Development from A-1 Agricultural, R-3 Multi Family Dwelling District, R-2 Single and 2 Family Dwelling District and C-2 General & Highway Service Commercial District to R-4 Planned Unit Development (400 acres housing development with commercial plats)
- H. First Reading of Ordinance 631 Rezone of Heritage Development from A-1 Agricultural, R-3 Multi Family Dwelling District, R-2 Single and 2 Family Dwelling District and C-2 General and Highway Service Commercial District to R-4 Planned Unit Development
- I. Heritage Preliminary Plat 1
- J. Public Hearing to Amend Chapter 136.08 Sidewalk Standards (adopting 5' wide sidewalks)
- K. First Reading of Ordinance #630 Amending The Grimes Code Of Ordinances Chapter 136.08 Sidewalk Standards

## **COUNCIL DISCUSSIONS**

1. Mayor's Report
2. City Attorney's Report
3. City Engineer's Report
4. City Staff Report
5. Old Business
6. New Business

## **ADJOURNMENT**

## CITY COUNCIL MEETING

Tuesday, April 22, 2014

Grimes City Hall 5:30 P.M.

The regular meeting of the Grimes City Council was called to order by Mayor Armstrong on Tuesday, April 22, 2014 at 5:30 P.M. at the Grimes City Hall. Mayor Armstrong led the Pledge of Allegiance. Roll Call: Present: Patterson, Altringer, Bickford, Evans, Blackford

### GENERAL AGENDA ITEMS.

#### **APPROVAL OF THE AGENDA**

Mayor Armstrong asked for approval of the agenda.

Moved by Evans, Seconded by Blackford; the agenda shall be approved. Council Member Altringer asked that Item E under the Consent Agenda, the 28E Agreement for the Lease Purchase of the Metropolitan Salt Storage Facility be moved to Council Actions C.

Moved by Evans, Seconded by Blackford; the agenda shall be approved with this change.

Roll Call: Ayes: All. Nays: None. Motion passes: 5 to 0.

#### **Presentation by General Manger of DART – Elizabeth Presutti**

Elizabeth Presutti the General Manger of DART was present to give an overview of the services provided by DART. Presutti advised that DART currently has 261 employees, with 151 buses including 8 hybrids, 93 RideShare vanpools and 1,642 bus stops. She added that in FY13 they provided 4.45 million rides with 4 million of them coming as fixed rides, 140,180 paratransit and 260,756 as RideShare. Presutti stated that year to date they had seen a 6% increase in ridership. Presutti also provided information regarding the new hub call DART Central Station and new fare policies. Presutti reviewed the levy increases for the next several years. Council Member Altringer asked Presutti about some of the ride locations. Council Member Altringer also asked how much of the property levy is coming out of Grimes. Presutti stated it was \$.45. Council Member Altringer stated that she understood that each year there were going to be increases in the levy and she wanted to know where that ended. Presutti stated that money is needed for increase services and that federal dollars that are to be used for Capital have been used for operating and they are working at returning those funds to their Capital fund. Board Chairman Steve Van Oort was present and addressed Council Member Altringer's question. Van Oort stated that State legislation capped the levy at .95. He stated that when they put the DART Forward Plan together they put the first five years together in scheduling. Van Oort stated that as part of that they put the tax implications together. He stated that at the end of five years increases they will stop and evaluate. He added that at the .60 mark in five years they will evaluate things. He added that they are increasing services and those will also be reviewed. Mayor Armstrong thanked the DART representative for coming to the meeting.

#### **Approval of the Consent Agenda**

A. Minutes from meeting on April 8, 2014 B. Spirits and More Alcohol Renewal Class E Liquor License with Sunday Sales C. AECOM for Northwest Transportation Corridor Feasibility Study - \$2,867.18 D. Public Utility Line Easement for Bridge Creek Plat 5 (*for access to public utilities*) E. moved to Council Actions F. Central Pump & Motor –repairs at wastewater plant - \$4,535 (*southeast lift station pump repairs and maintenance*) G. Request for Street Closure for Block Park at NW Prairie Creek on May 2, 2014 (*neighborhood block party*) H. Development Agreement Brooke Ridge West Plat 3 (*development consisting of 15.90 acres to Subdivide property into 30 single family residential lots, agreement is to*

*comply with and modify the subdivision ordinance) I. Record of Lot Tie for Lot 44 Chevalia Valley (to create parcel "A" and parcel "B" for the purposes of development to create separate parcels for tax assessment and state owners)J. Sanitary Sewer Easement for Lot 44 Chevalia Valley (easement for City to have access) K. Payment to TKG Storage Mart Partners and to 11154 54 LLC for temporary construction easement for SE 19<sup>th</sup> Street Project - \$3,200 (to grade and construct a bike trail) L. Payment to Wayne Fowler, 11154 54 LLC for temporary easement as part of the SE 19<sup>th</sup> Street Project - \$4,350 (to grade and construct a bike trail) M. Set Date to Receive Bids for May 8, 2014 and Set A Public Hearing and Approval of Plans and Specifications and Award of Contract for the Grimes Public Library Interior Renovation for May 13, 2014. (renovations to library) N. Set Date to Receive Bids for May 8, 2014 and Set a Public Hearing and Award of Contract for the Furniture Bid Package for the Grimes Public Library for May 13, 2014. (purchase of new furniture for interior of library) Added to the consent agenda: Prairie Business Park Storm Water Management Facility Maintenance Covenant and Permanent Easement Agreement.*

Moved by Bickford, Seconded by Altringer; the Consent Agenda shall be approved.

Roll Call: Ayes: All. Nays: None. Motion passes: 5 to 0.

#### **Presentation Polk County 911 – Samantha Brear**

Polk County Supervisor Brownell was present. Brownell stated that on behalf of Polk County they couldn't be happier about what is going on in Grimes. He added that the amount of residential and commercial growth has been terrific. Supervisor Brownell stated that Polk County had good growth last year. He added that he was happy to report that for the first time since he has been in office they are riding on no deficient. Supervisor Brownell stated they are working on a pilot program right now with Urbandale and are going to also work with the Grimes Volunteer Services on a minor home repair program. He added that this program will be started in Urbandale and then will be rolled out to Grimes and Johnston when things are up and running smoothly. Supervisor Brownell stated that he liked to bring things to the Council on services that are provided by county government. He advised that he thought it would be interesting to have Samantha Brear of the Polk County E911 present. Samantha Brear provided information on the many services provided by E 911. She advised that each land line and each cell phone is charged \$1 each month which goes to provide 911 services. She advised that in 2013 they received 250,000 calls. Brear reviewed the budget along with some new services that will be offer. Mayor Armstrong thanked Supervisor Brownell and Samantha Brear for coming to the meeting.

#### **FIRE CHIEF REPORT**

Fire Chief Krohse was present to address the Council. He advised that the month of March they had 72 runs of which 35 were EMS.

#### **PEOPLESERVICE REPORT**

Steve Robinette of Grimes Water and Waste Water and PeopleService was present to update the Council. He advised that well levels have maintained but are still well below the average levels of two years ago. He advised that the ASR would be ready to have water recovery taken on May 2 and DNR has given the okay for this water to be cycled through the system if needed. Robinette added that on the collection and distribution side they did not do normal hydrant flushing due to the water levels but an abbreviated flushing. He stated that there has been a considerable amount of increase in the amount of rags that have been found in the south east lift station. Robinette added that an informational sheet was going out with the utility bills to education the public on what things should not be flushed down drains. Council Member Altringer asked about stepping up the information in the south east area of town. Robinette added that they were looking into going door to door with flyers in the south east part of Grimes where they are seeing most of the issues.

**PUBLIC AGENDA ITEMS** Council may consider and potentially act on the following Public Agenda items.

**A. Public Hearing on the Special Assessment for SE 19<sup>th</sup> Street**

Mayor Armstrong opened the Public Hearing at 6:11 pm. Wayne Fowler, 5512 Boulder Drive, West Des Moines addressed the Council. Fowler asked the Council why property owners would be assessed for bike trail in this area. Mayor Armstrong directed Fowler to contact John Gade of Fox Engineering with questions regarding the project. Mayor Armstrong advised that this would just be a time to receive comments. City Administrator Brown advised that two letters had been received with concerns about the project. She stated one was from property owner at 1681 SE Destination Drive, Glenn Keller and property owner at 1751 Destination Drive, Janet Minear. Mayor Armstrong added that the Council received these letters as a part of their packets. There being no further oral or written comments the Public Hearing was closed at 6:15 pm.

**B. Resolution 03-2314 Resolution of Necessity for the SE 19<sup>th</sup> Street Paving Project.**

City Engineer John Gade advised that back in 2011 a Development Agreement with Newark which is in the Princeton Development on the north side of SE 19<sup>th</sup> Street was signed. He stated that at the time of the development the City felt there were improvements that the developer was responsible for when future roadway improvement was needed. He added that the agreement stated that that development should pay a maximum of \$350,000 and would be assessed for one lane of roadway improvements along the project and assessed for turn lanes and storm sewer. As part of the agreement it was a voluntary tax assessment. Gade stated that they also worked with Hunter Farms who own everything on the south side of the roadway improvement project and there is an agreement with them that they will not protest the assessment in an amount not to exceed \$350,000 to match the development agreement that was on record with Princeton Development. Gade stated that the project is a five lane improvement project with nine inches of pavement, center median, dual left turns at the Hwy 141 intersection. He added that the overhead power will go underground and street lights will be added. Gade stated that a 10 ft wide trail would be going in. He clarified that only 5 ft width would be assessed to the abutting property owners. This would represent a standard sidewalk width. Gade added that Kum & Go is paying for a right in and right out at this location. He stated that Hunter Farms asked for some water main extensions as part of this project under the roadway. Gade stated that about 30% of the project or \$804,000 is being assessed, 50% of the project will be paid by the City of Grimes, and then a STP Grant in the amount of \$600,000 will pay the remainder. He added that of the \$804,000 a large portion of that will be Ag-deferred. Gade stated that Ag-deferred amount came to \$600,000. He stated that at later date the length of the assessment and the interest rate will be determined by Council. Mayor Armstrong added that when each one of these lots were sold they were made aware of the development agreement attached to the property. Mayor Armstrong wanted to clarify this is the resolution of necessity is not the final assessment numbers just setting the maximum amount of the assessment.

Moved by Patterson, Seconded by Bickford: Resolution 03-2314 Resolution of Necessity for the SE 19<sup>th</sup> Street Paving Project shall be approved.

Roll Call: Ayes: All. Nays: None. Motion passes: 5 to 0.

**C. Adopt Plans and Specifications and Award of Contract for the SE 19<sup>th</sup> Street Project.**

John Gate stated that since federal dollars were involved, this project was let through the Iowa Department of Transportation on April 15, 2014. He advised that four bids were received with high bid of \$2,187,468.97 and a low bid of \$2,037,877.63. He stated that the low bid of \$2,037,877.63 came from Concrete Technologies, Inc. and he recommended the award go to them. Gade stated that this an 80 working day project with a late start date of July set by the IDOT. He added that this project is being done in conjunction with the City of Johnston on the same stretch of roadway. Gade stated that access will be maintained to the business in this area during the project.

Moved by Blackford, Seconded by Patterson; the SE 19<sup>th</sup> Street Project award to Concrete Technologies, Inc. in the amount of \$2,037,877.63 shall be approved.

Roll Call: Ayes: All. Nays: None. Motion passes: 5 to 0.

**D. Set Bid Date of May 7, 2014 and Public Hearing and Award of Contract for May 13, 2014 for the Prairie Business Park Sanitary Sewer Project.**

City Engineer Gade stated this is the extension of sanitary sewer along James Street to the Prairie Business Park and a small amount of water main.

Moved by Evans, Seconded by Blackford; a bid date of May 7, 2014 and Public Hearing and Award of Contract for May 13, 2014 for the Prairie Business Park Sanitary Sewer Project shall be approved.

Roll Call: Ayes: All. Nays: None. Motion passes: 5 to 0.

**E. Public Hearing and Approval of Plan Specification and Award of Contract for the Old and Current City Hall Interior Improvements.**

Mayor Armstrong opened the Public Hearing at 6:31 pm. There being no oral or written comment the hearing was closed at 6:31 pm.

Collin Barnes of RDG Planning and Design was present. Barnes stated that the bid opening was held on April 17, 2014 and received some very competitive bids on the project. She added that low bid was from Koester Construction at a bid price of \$250,230. Barnes recommend award to Koester Construction.

Moved by Evans, Seconded by Bickford; the award of contract for the old and current City Hall Interior Improvements be awarded to Koester Construction in the amount of \$250,230 shall be approved.

Roll Call: Ayes: All. Nays: None. Motion passes: 5 to 0.

**F. Award Contract for the Basketball Side Hoop Replacement at Grimes Community Complex.**

Public Works Director Joe McAreavy advised that these are hoops that need to be replaced. Mayor Armstrong added that in the interest of full disclosure Rainbow Play Systems did bid on this item. He added that since he as Mayor is associated with Rainbow Play Systems it was publicly bid and advertised in the newspaper. McAreavy advised the low bid from Rainbow Play Systems came in at \$1,490. Brown advised that normally this size of project would not be required to go through the normal bidding process but because there was a public official involved, it needed to.

Moved by Evans, Seconded by Blackford; the award for the basketball side hoop replacement at the Grimes Community Complex to Rainbow Play Systems at a cost of \$1,490 shall be approved.

Roll Call: Ayes: All. Nays: None. Motion passes: 5 to 0.

**G. Second Reading on Ordinance 627 Amending The Grimes Zoning Ordinance Chapter 165B.01, 165B.02 and 165B.19 Under The Hwy 44 Mixed Use Development Corridor Overlay District.**

Moved by Patterson, Seconded by Bickford; that the Second reading of Ordinance 627 amending the Grimes Zoning Ordinance Chapter 165B.01, 165B.02 and 165B.19 under the Hwy 44 Mixed Use Development Corridor Overlay District shall be approved.

Moved by Patterson, Seconded Bickford; the second reading of Ordinance 627 amending the Grimes Zoning Ordinance 627 amending the Grimes Zoning Ordinance Chapter 165B.01, 165B.02 and 165B.19 under the Hwy 44 Mixed Use Development Corridor Overlay District shall be approved.

Roll Call: Ayes: All. Nays: None. Motion passes: 5 to 0.

**H. Second Reading on Ordinance 628 Amending The Grimes Zoning Ordinance Chapter 165A.27 Under The Highway 141 Mixed Use Development Corridor District**

Moved by Patterson, Seconded by Bickford; that the Second Reading of Ordinance 628 amending the Grimes Zoning Ordinance Chapter 165A.27 under the Highway 141 Mixed Use development Corridor District shall be approved.

Roll Call: Ayes: All. Nays: None. Motion passes: 5 to 0.

## **PUBLIC FORUM**

Polk County Division Chief Kevin Schneider was present. Chief Schneider wanted to advise the Council that the speed trailer would be in Grimes. He added that he wanted to inform the Council that this would be used to remind drivers to reduce their speed and not used for ticketing. Chief Schneider asked about getting information out to the public on the use of the speed trailer before it is put into use.

## **COUNCIL ACTIONS**

**A. Set a Public Hearing and Action for Planning and Zoning for April 29, 2014 and a Public Hearing For Grimes City Council for May 13, 2014 for request for rezone from Beaverbrook Development Company – Heritage Development from A-1 Agricultural, R-3 Multi Family Dwelling District, R-2 Single and 2 Family Dwelling District and C-2 General & Highway Service Commercial District to R-4 Planned Unit Development**

Moved by Evans, Seconded by Blackford; set a Public Hearing and Action for Planning and Zoning for April 29, 2014 and Grimes City Council for May 13, 2014 for the request for rezone from Beaverbrook shall be approved.

Roll Call: Ayes: All. Nays: None. Motion passes: 5 to 0.

**B. Set a Public Hearing and Action for Planning and Zoning on April 29, 2014 and a Public Hearing and Action for Grimes City Council for May 13, 2014 to Amended the Official Zoning Map**

Moved by Patterson, Seconded by Bickford; set a Public Hearing and Action for Planning and Zoning and the Grimes City Council for May 13, 2014 to Amend the Official Zoning Map shall be approved.

Roll Call: Ayes: All. Nays: None. Motion passes: 5 to 0.

**C. (moved from consent agenda) 28E Agreement for the Lease Purchase of a Metropolitan Salt Storage Facilities Between the Cities of West Des Moines, Urbandale, Johnston, Clive, Windsor Heights, Waukee, Grimes and Pleasant Hill.**

Council Member Altringer asked Public Works Director Joe McAreavy if this agreement has worked well in the past. McAreavy stated that it was worked very well in the past.

Moved by Altringer, Seconded by Blackford; the 28E Agreement for the Lease Purchase of the Metropolitan Salt Storage Facilities shall be approved.

Roll Call: Ayes: All. Nays: None. Motion passes: 5 to 0.

## **COUNCIL DISCUSSIONS**

### **1. Mayor's Report**

Mayor Armstrong thanked Public Works Director Joe McAreavy for his 11 years of service to the City of Grimes.

### **2. City Attorney's Report**

Attorney Fisk had no report.

### **3. City Engineer's Report**

City Engineer Gade stated that the contractors were working on the Main Street punch list.

### **4. City Staff Report**

Kelley Brown spoke, "It was over 12 years ago that this man came into my office at the Old City Hall and asked me to keep him in mind in case any city positions opened. He was in a position that he liked,

but it involved a lot of on-call work and some travel. In the summer of 2003 a position came open and he was hired on October 06, 2003. He didn't have direct experience in the position but I had worked with this man indirectly through the years and was impressed by his work ethic and his attitude. And by the fact that he had come to me and wanted to work for me I knew he had sound judgment and was a great judge of character! ☺ He evolved and grew through the years from an inspector, services coordinator, Assistant Public Works Director and then Public Works Director.

He really doesn't like being in the spotlight and hates it when all of the attention is on him so my gift to him is that I am making this short. He originally came from Black Hills Energy ( then called People's Natural Gas ) and as it has now come around full circle and he has an wonderful opportunity to go back to Black Hills Energy as their Construction Manager. His grandfather and father were both pipe-liners so this is a family destiny opportunity for him.

He is an amazing man and we wish him the very best. All the best to you, Joe McAreavy!"

**5. Old Business**

**6. New Business**

**ADOURNMENT**

Moved by Altringer, Seconded by Bickford; there being no further business, the meeting shall be adjourned at 6:47 pm.

Roll Call: Ayes: All. Nays: None. Motion passes: 5 to 0.

ATTEST:

\_\_\_\_\_  
Rochelle Williams, City Clerk

\_\_\_\_\_  
Thomas M. Armstrong, Mayor



512 NE Main Street • Grimes, Iowa 50111  
Tel: 515.986.1028 • Fax: 515.986.1129 • www.rightstuf.com

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April 1, 2014

City of Grimes  
101 NE Harvey St.  
Grimes, IA 50111-2051

To Whom It May Concern:

In accordance with the Development Agreement between the City of Grimes, Iowa and The Right Stuf, Inc. dated August 9, 2005, this correspondence certifies that the company is operating as a distribution center facility at 512 NE Main St. within the city of Grimes as of March 2014.

Property taxes in the amount of \$24,875 were paid to the Polk County Treasurer on March 6, 2014.

A tax increment payment of \$9,221 is due to the Right Stuf on June 1, 2013 per the Development Agreement.

Sincerely,

A handwritten signature in black ink, appearing to read "Shawne Kleckner". The signature is written in a cursive style with a large initial "S".

Shawne Kleckner  
President – CEO  
The Right Stuf, Inc.

SK/pw  
Enclosures (2)

## Real Estate Tax Due and Payment Information

<b>Payable Year:</b> 2013/2014	<b>Installment #</b> 02	<b>Date Due:</b> 03/31/2014			
<b>Comments</b>	<b>Tax</b>	<b>Interest</b>	<b>Cost</b>	<b>Total</b>	<b>Date Paid</b>
Tax Due	\$24,875.00			\$24,875.00	
Paid in Full	\$24,875.00			\$24,875.00	03/06/14

Parcel Number 311-00305-510-000      GID 000000      Property Address: 512 NE MAIN ST  
 Legal Description      TITLEHOLDER TMI HOLDINGS LLC  
 LOT 10 GRIMES ACRES  
 ACRES 6.611

**STATEMENT OF TAX FOR FISCAL YEAR 2012-2013**  
 Assessed value is determined by the assessor. Taxable value reflects adjustments as determined by the State of Iowa.

Valuation Date:	January 1, 2012 (Current Year)		January 1, 2011 (Prior Year)	
	<u>Assessed Value</u>	<u>Taxable Value</u>	<u>Assessed Value</u>	<u>Taxable Value</u>
Land	250,000	250,000	250,000	250,000
Dwelling	930,000	930,000	930,000	930,000
Farm Buildings				
Less Military Credit				
Total:	1,180,000	1,180,000	1,180,000	1,180,000
*Multiply Taxable Value by Levy		42.1614100		41.4472100
Equals Gross Tax:		\$49,750.46		\$48,907.71
Less Credits: Homestead		.00		.00
Elderly/Disabled		.00		.00
Ag Land		.00		.00
Family Farm		.00		.00
<b>NET TAX:</b>		<b>\$49,750.00</b>		<b>\$48,908.00</b>

311 12 2 0 0 0 121	Tax Distribution by % of total			Total Tax Levied by		
		2013-2014	2012-2013	2013-2014	2012-2013	% Change
Dallas Center-Grimes School	42.32482	21,058.60	20,658.36	10,745,875	9,776,917	9.91
City of Grimes	30.62758	15,237.22	15,233.52	6,875,039	6,604,812	4.09
Polk County	16.46960	8,193.62	8,035.75	136,850,415	129,857,326	5.39
Broadlawn Hospital	7.10525	3,534.86	3,514.28	54,971,307	52,966,321	3.79
Area XI College	1.63941	815.61	689.91	23,770,054	19,289,723	23.23
Des Moines RTA - Grimes	1.07207	533.35	438.96	197,289	149,332	32.12
County Assessor	.65989	328.30	287.71	5,105,408	4,336,274	17.74
Agricultural Extension	.09356	46.55	45.62	723,918	687,558	5.29
State of Iowa	.00782	3.89	3.89	60,558	58,690	3.18
<b>TOTALS:</b>		<b>\$49,750.00</b>	<b>\$48,908.00</b>	<b>239,299,871</b>	<b>223,726,953</b>	<b>6.96000</b>

Due September 1, 2013      \$24,875.00  
 Tax Received      ( \$24,875.00 )  
 Late Interest      \$ .00  
 Service Fee      \$ .00  
 Total Payment 1      PAID

Due March 1, 2014      \$24,875.00  
 Tax Received      ( \$24,875.00 )  
 Late Interest      \$ .00  
 Service Fee      \$ .00  
 Total Payment 2      PAID

Retain the top portion for your records. See reverse side for general information.  
 DATE PRINTED: 04/01/2014-04/2014 WebPrint

Tax Receipt Number: 7504922      Form RETAXR

Enclose this stub with your payment. Make check payable to:

**Polk County Treasurer**  
 Mary Maloney  
 111 Court Ave  
 Des Moines, IA 50309-2298

Enclose this stub with your payment. Make check payable to:

**Polk County Treasurer**  
 Mary Maloney  
 111 Court Ave  
 Des Moines, IA 50309-2298

Payment 1 Due September 1, 2013      Tax \$24,875.00  
 Delinquent After September 30, 2013  
 311-00305-510-000      Tax Received ( \$24,875.00 )  
 Late Interest \$ .00  
 Service Fee \$ .00  
 Total Payment 1 PAID

Payment 2 Due March 1, 2014      Tax \$24,875.00  
 Delinquent After March 31, 2014  
 311-00305-510-000      Tax Received ( \$24,875.00 )  
 Late Interest \$ .00  
 Service Fee \$ .00  
 Total Payment 2 PAID

Pay property tax online, not in line at [www.IowaTaxAndTags.gov](http://www.IowaTaxAndTags.gov)

Pay property tax online, not in line at [www.IowaTaxAndTags.gov](http://www.IowaTaxAndTags.gov)

Tax Receipt Number: 7504922

Tax Receipt Number: 7504922

VAL 1 88-091313-033850-0

VAL 2 88-030614-033853-4



DATE PRINTED: 04/01/2014-04/2014 WebPrint

DATE PRINTED: 04/01/2014-04/2014 WebPrint

TITLEHOLDER TMI HOLDINGS LLC

TITLEHOLDER TMI HOLDINGS LLC





P.O. Box 680 • Grimes, Iowa 50111-0680  
 (515) 986-1023 • (800) 338-6827  
 FAX (515) 986-1129 • info@rightstuff.com

<b>INVOICE</b>
PLEASE REMIT TO: RIGHT STUF, INC. P.O. Box 680 Grimes, Iowa 50111-0680

PLEASE REFER TO YOUR ACCOUNT NO., OUR INVOICE AND ORDER NO. IN ALL COMMUNICATIONS REGARDING THIS INVOICE

YOUR ACCOUNT NO.  
 0002472223

SHIP TO (IF OTHER THAN "SOLD TO")

SOLD TO:

CITY OF GRIMES  
 101 N.E. HARVEY ST.  
 GRIMES, IA 50111

YOUR PURCHASE ORDER NUMBER AND DATE

OUR INV. NO./ORDER NO.	INV. DATE	SHIPPED VIA	DATE SHIPPED	Payment Due by	06/01/14
90000012522	04/01/14				

ORDERED	SHIPPED	ITEM NO.	DESCRIPTION	UNIT PRICE	EXTENDED AMOUNT
			***** A DEBIT Memo has been calculated for the amount of ->	9,221.00	
			TAX INCREMENT/DEVELOPMENT AGREEMENT		

SALES TAX	FOB	SHIPPING & HANDLING	TOTAL DUE

ACCOUNTS 30 DAYS AND OVER ARE SUBJECT TO A FINANCE CHARGE OF 1 1/2% PER MONTH WHICH IS AN ANNUAL PERCENTAGE RATE OF 18% TO BE APPLIED TO THE UNPAID BALANCE.

FOR YOUR CONVENIENCE, IF YOUR CHECK IS DISHONORED OR RETURNED FOR ANY REASON, YOUR ACCOUNT MAY BE ELECTRONICALLY DEBITED FOR THE AMOUNT OF THE CHECK PLUS A PROCESSING FEE NOT TO EXCEED THE LEGAL LIMIT PLUS ANY APPLICABLE COSTS INCURRED TO RECOVER YOUR CHECK.

ORIGINAL

Please return bottom portion with payment:

SOLD TO:

CITY OF GRIMES  
 101 N.E. HARVEY ST.  
 GRIMES, IA 50111

YOUR ACCOUNT NO.  
 0002472223

SHIP TO:

OUR INV. NO./ORDER NO.	INV. DATE	SHIPPED VIA	DATE SHIPPED	Payment Due by	06/01/14
90000012522	04/01/14		04 01 14		

+9000001252200  
 +9000001252200  
 +9000001252200

SALES TAX	FOB	SHIPPING & HANDLING	TOTAL DUE
			\$ 9,221.00



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### Privileges LE0001818, Kum & Go #141, Grimes

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Select one or more of the privileges you wish to have for your Class E Liquor License (LE). If no privileges are applicable please leave all boxes unchecked and hit the next button.

PRIVILEGES:	
<input type="checkbox"/>	Class B Native Wine Permit
<input checked="" type="checkbox"/>	Class B Wine Permit (Carryout Wine - Includes Native Wine)
<input checked="" type="checkbox"/>	Class C Beer Permit (Carryout Beer)
<input type="checkbox"/>	Living Quarters
<input type="checkbox"/>	Outdoor Service
<input checked="" type="checkbox"/>	Sunday Sales

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### Ownership LE0001818, Kum & Go #141, Grimes

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Corporate applicant's, list all shareholders having 10% or more interest in the corporation and all officers and directors of the corporation regardless of ownership interest. Sole Proprietors shall also include their spouse even if the spouse owns 0% interest. Non-profit corporations or associations need to list officers. Partnerships and Committees not registered with the Secretary of State office will need a trade name filing from their county recorder's office.

If you want to change ownership information at renewal time please finish the renewal with the current ownership listed. When you are finished please go to the Action List and submit an Ownership Update Application along with the license renewal.

Owners:

Name	Address	Percentage	
Kyle Krause	30375 Napa Ranch Road, Waukee, IA, 50263	0.00 %	View
Craig Bergstrom	6700 Augustine Court, Johnston, IA, 50131	0.00 %	View
Krause Holdings	6400 Westown Parkway, West Des Moines, IA, 50266	100.00 %	View
Charles Campbell	2145 SE Leann Dr., Waukee, IA, 50263	0.00 %	View

1

First Name: <input type="text"/>		Last Name: <input type="text"/>	
Address: <input type="text"/>			
Address Line 2: <input type="text"/>			
City: <input type="text"/>	State: <input type="text" value="Please Select"/>		
Zip: <input type="text"/>			
Position: <input type="text"/>	SS#: <input type="text"/>	U.S. Citizen: <input type="text" value="Please Select"/>	
Date of Birth: <input type="text" value="MM/DD/YYYY"/>	% of Ownership: <input type="text"/>		
<input type="button" value="Add"/>			

Please make sure you press "Add" after each owner's information is listed above before pushing the next button.

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### Applicant License LE0001818, Kum & Go #141, Grimes

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The navigation links on the top may also be used to move around the application.

<p><b>LENGTH OF LICENSE REQUESTED:</b> (Choose one of the following):</p> <p><input checked="" type="radio"/> 12 month</p> <p><input type="radio"/> 8 month</p> <p><input type="radio"/> 6 month</p> <p><input type="radio"/> 14 day</p> <p><input type="radio"/> 5 day</p>	<p>License Status: Submitted to Local Authority</p> <p>Original issue date of license: 06/02/2011 MM/DD/YYYY</p> <p>Issue date of current license: MM/DD/YYYY</p> <p>License effective date: 07/01/2014 MM/DD/YYYY</p> <p>License expiration date: 06/30/2015 MM/DD/YYYY</p> <p>Number of days notice: 0</p> <p>70 day notice: 0</p> <p>Cancel date: MM/DD/YYYY</p>
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### Privileges LE0001818, Kum & Go #141, Grimes

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Select one or more of the privileges you wish to have for your Class E Liquor License (LE). If no privileges are applicable please leave all boxes unchecked and hit the next button.

PRIVILEGES:	
<input type="checkbox"/>	Class B Native Wine Permit
<input checked="" type="checkbox"/>	Class B Wine Permit (Carryout Wine - Includes Native Wine)
<input checked="" type="checkbox"/>	Class C Beer Permit (Carryout Beer)
<input type="checkbox"/>	Living Quarters
<input type="checkbox"/>	Outdoor Service
<input checked="" type="checkbox"/>	Sunday Sales

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### Applicant License LE0001819, Kum & Go #237, Grimes

After completion click on the NEXT link to continue to the next screen, or the BACK link to return to the previous screen.  
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**LENGTH OF LICENSE REQUESTED:**  
(Choose one of the following):

12 month

8 month

6 month

14 day

5 day

License Status: Submitted to Local Authority

Original issue date of license: 06/02/2011 MM/DD/YYYY

Issue date of current license: MM/DD/YYYY

License effective date: 07/01/2014 MM/DD/YYYY

License expiration date: 06/30/2015 MM/DD/YYYY

Number of days notice: 0

70 day notice: 0

Cancel date: MM/DD/YYYY

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### Privileges LE0001819, Kum & Go #237, Grimes

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The navigation links on the top may also be used to move around the application.

Select one or more of the privileges you wish to have for your Class E Liquor License (LE). If no privileges are applicable please leave all boxes unchecked and hit the next button.

PRIVILEGES:	
<input type="checkbox"/>	Class B Native Wine Permit
<input checked="" type="checkbox"/>	Class B Wine Permit (Carryout Wine - Includes Native Wine)
<input checked="" type="checkbox"/>	Class C Beer Permit (Carryout Beer)
<input type="checkbox"/>	Living Quarters
<input type="checkbox"/>	Outdoor Service
<input checked="" type="checkbox"/>	Sunday Sales

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### Applicant License LE0001646, Walmart Supercenter #5748, Grimes

After completion click on the NEXT link to continue to the next screen, or the BACK link to return to the previous screen. The navigation links on the top may also be used to move around the application.

<p><b>LENGTH OF LICENSE REQUESTED:</b> (Choose one of the following):</p> <p><input checked="" type="radio"/> 12 month</p> <p><input type="radio"/> 8 month</p> <p><input type="radio"/> 6 month</p> <p><input type="radio"/> 14 day</p> <p><input type="radio"/> 5 day</p>	<p>License Status: Submitted to Local Authority</p> <p>Original issue date of license: <input type="text" value="04/06/2010"/> MM/DD/YYYY</p> <p>Issue date of current license: <input type="text"/> MM/DD/YYYY</p> <p>License effective date: <input type="text" value="07/15/2014"/> MM/DD/YYYY</p> <p>License expiration date: <input type="text" value="07/14/2015"/> MM/DD/YYYY</p> <p>Number of days notice: <input type="text" value="0"/></p> <p>70 day notice: <input type="text" value="0"/></p> <p>Cancel date: <input type="text"/> MM/DD/YYYY</p>
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### Privileges - LE0001646, Walmart Supercenter #5748, Grimes

After completion click on the NEXT link to continue to the next screen, or the BACK link to return to the previous screen.  
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Select one or more of the privileges you wish to have for your Class E Liquor License (LE). If no privileges are applicable please leave all boxes unchecked and hit the next button.

PRIVILEGES:	
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<input checked="" type="checkbox"/>	Class B Wine Permit (Carryout Wine - Includes Native Wine)
<input checked="" type="checkbox"/>	Class C Beer Permit (Carryout Beer)
<input type="checkbox"/>	Living Quarters
<input type="checkbox"/>	Outdoor Service
<input checked="" type="checkbox"/>	Sunday Sales

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## General Premises Information LE0001646, Walmart Supercenter #5748, Grimes

After completion click on the NEXT link to continue to the next screen, or the BACK link to return to the previous screen.  
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No  Yes Are other liquor, wine or beer businesses accessible from the interior of your premises?

Square footage of the entire interior area of the building, including, but not limited to, all areas used in the storage, distribution, wholesale and retail sale of merchandise, offices, bathrooms, break rooms etc.

Square footage of the entire retail sales area of the business, including area of walk-in coolers that are accessible to the public. This includes all areas where non-alcohol products are also sold. Do not include areas that are not accessible to the public (offices, bathroom, kitchen, storage area etc.).

Yes  No Does your premises conform to all local and state health, fire and building laws and regulation?

No  Yes Do you sell gasoline?

No  Yes Do you have a separate premises for the sale of alcoholic liquor (spirits)?

TO   Hours of Operation:

TO   Hours deliveries may be received:

No  Yes Are the hours of deliveries flexible?

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Preparer

Information: Civil Design Advantage, LLC 3405 SE Crossroads Dr, Suite G, Grimes, IA 50111 515-369-4400  
Name Street Address City, State, Zip Area Code-Phone

When Recorded Return to:

City of Grimes, 101 N. Harvey, Grimes, Iowa 50111 (515) 986-3036  
Name Street Address City, State, Zip Area Code-Phone

**AUTUMN PARK PLAT 4 - STORM WATER MANAGEMENT FACILITY MAINTENANCE COVENANT AND PERMANENT EASEMENT AGREEMENT**

THIS STORM WATER MANAGEMENT FACILITY MAINTENANCE COVENANT AND PERMANENT EASEMENT AGREEMENT ("Agreement") is entered into between Grimes Lots, LLC ("Grantor") and the City of Grimes, Iowa ("City"), in consideration for the approval by the City of the Autumn Park Plat 4 Project.

Grantor is obligated by the Code of Ordinances of the City of Grimes, Chapter 104 ("Post-Construction Storm Water Ordinance"), to control storm water runoff for the proposed development as a part of the Autumn Park Plat 4 Project approval process. In consideration for the City's approval of Grantor's Autumn Park Plat 4 Project, the parties enter into this Agreement to control and address storm water runoff for the following described property:

AUTUMN PARK PLAT 4, AN OFFICIAL PLAT IN GRIMES, POLK COUNTY, IOWA. PROPERTY IS SUBJECT TO ANY AND ALL EASEMENTS OF RECORD.

(the "Benefited Property").

**PART I - COVENANTS ON THE BENEFITED PROPERTY**

The following provisions are covenants running with the land to the City, binding on all successors and assigns of the Benefited Property and shall only be amended or released with the written permission of the City.

1. Grantor hereby agrees that the storm water runoff for the subdivision/site shall be controlled through installation, construction, and maintenance of two storm water detention basins ("Storm Water Management Facility") upon, over, under, through and across the following described property:

OUTLOT 'X' AND OUTLOT 'Y' AUTUMN PARK PLAT 4 AN OFFICIAL PLAT IN GRIMES, POLK COUNTY, IOWA. PROPERTY IS SUBJECT TO ANY AND ALL EASEMENTS OF RECORD.

(the "Easement Area").

2. Grantor covenants and agrees that the design, construction, and maintenance of the Storm Water Management Facility shall be in compliance with the stormwater management concept plan, as provided in the Post-Construction Storm Water Ordinance ("Stormwater Management Concept Plan"), on file with the City and which is available for public inspection. The design, construction, and maintenance of the Storm Water Management Facility shall meet the storm water runoff control requirements of the Post-Construction Storm Water Ordinance.
3. It is hereby agreed and covenanted that the Benefited Property receives benefit from the Storm Water Management Facility by controlling runoff from the Benefited Property to meet the requirements of the Post-Construction Storm Water Ordinance and the City stormwater requirements as defined by the Post-Construction Storm Water Ordinance.

4. It is hereby agreed that Grantor is solely responsible for constructing, installing, and ensuring that the Storm Water Management Facility meets the standard set forth in the Post-Construction Storm Water Ordinance; until the date at which 20 of the lots in Plat 4 have been sodded or seed established following home construction OR after a period of 4-years from the date of Final Plat approval, whichever occurs first; after which time it will be the City's responsibility. Outlot 'X' and 'Y' will be deeded to the City of Grimes when Autumn Park Plat 4 Final Plat is approved. Grantor will post a performance bond for 4-years to cover erosion control for the period in which they are responsible. The City will allow the bond to be discontinued after the earliest of the aforementioned periods occur.
5. Grantor hereby designates, appoints, and agrees on behalf of Grantor and all successors and assigns that the Grantor is designated as the responsible party for replacement, reconstruction, repair, grading, and maintenance of the Storm Water Management Facility; until the earliest of the aforementioned dates in Paragraph 4 occurs; at which time it will be the City's responsibility.
6. Grantor hereby covenants and agrees that Grantor is hereby designated and authorized to accept notices and service of process as it relates to the inspection, replacement, reconstruction, repair, grading, and maintenance of the Storm Water Management Facility or permanent easement or notice of assessment for replacement, reconstruction, repair, grading, and maintenance of the Storm Water Management Facility; until the earliest of the aforementioned dates in Paragraph 4 occurs; at which time it will be the City's responsibility.
7. Grantor shall be responsible for all maintenance, repair, and replacement of the Storm Water Management Facility; until the earliest of the aforementioned dates in Paragraph 4 occurs; at which time it will be the City's responsibility.
8. Grantor shall inspect the Storm Water Management Facility on an annual basis, including but not limited to all pipes, inlets, and outlets for defects, obstructions, or any changes in the Storm Water Management Facility from the original design of the Storm Water Management Facility; until the earliest of the aforementioned dates in Paragraph 4 occurs; at which time it will be the City's responsibility. The inspection shall be documented. The inspection shall be made available to the City for review upon request and shall be kept and maintained for a period of 4 years.
9. Should Grantor fail to maintain, reconstruct, repair, grade, or dredge the Storm Water Management Facility or the Easement Area upon notice from the City; (prior to one of the aforementioned dates occurring in Paragraph 4; at which time it will be the City's responsibility); the City may cause such action to be done and assessed to the Benefited Property. The assessments shall be a lien on the Benefited Property and place on the real estate tax bill and collected as ordinary taxes.

## PART II – Easement for Storm Water Management Facility and Surface Water Flowage

The following provisions in Part II herein are for a permanent easement over the Easement Area running with the land to the City.

10. Grantor hereby grants to the City a Permanent Surface Water Flowage Easement and Storm Water Management Facility under, over, through and across the Easement Area for the purpose of constructing, reconstructing, repairing, grading, and maintaining the Storm Water Management Facility and the surface of the Easement Area in a manner that will permit the free and unobstructed flow of surface water over the Easement Area.
11. It is the obligation of the Grantor of the Easement Area to maintain the Easement Area and the Storm Water Management Facility as set forth below; until the earliest of the aforementioned dates in Paragraph 4 occurs; at which time it will be the City's responsibility. The Grantor of the Easement Area shall perform the maintenance obligations set forth below; until the earliest of the aforementioned dates in Paragraph 4 occurs; at which time it will be the City's responsibility. The maintenance obligations for the Storm Water Management Facility are as follows:

### Storm water detention and retention ponds or basins:

- a. Mow on a regular basis to maintain the vegetation at the height designated on the original design to prevent erosion.

- b. Remove all trash, litter, debris or obstructions in the basin in the Easement Area and any inlets or outlets located within the Easement Area.
- c. Plant, maintain and replant as necessary permitted vegetation.
- d. Inspect for any defects, obstructions, or any changes in the original design.
- e. Inspect and determine the depth of the pond or basin on an annual basis.
- f. Remove any accumulated sediment from the outlet structures and remove any sediment which may accumulate greater than 12 inches in ponds or basins and greater than 6 inches in an underground detention basin.
- g. All repairs shall conform to the original design.
- h. Maintaining the storm water and retention pond or basin to assure the effectiveness for storm water runoff for the subdivision/site.

Grass and Bioretention Swales:

- a. Mow on a regular basis to maintain the vegetation at the height designated on the original design to prevent erosion.
  - b. Remove all trash, litter, debris or obstructions in the grass or bioretention swale and Easement Area.
  - c. No chemicals or substances shall be applied to the Easement Area that shall harm or impair the effectiveness of the swale as a storm water runoff control measure.
  - d. Replant vegetation as soon as practical when any vegetation dies.
  - e. Inspect and determine the depth of the swale on an annual basis.
  - f. Remove any sediment accumulated greater than 6 inches which may accumulate in the swale.
  - g. Till the soil at the bottom of the swale if the grass swale does not drain out within the time established in the design plan and replant vegetation as designated on the original design.
  - h. All repairs shall conform to the original design.
  - i. Maintain the grass and/or bioretention swale to assure the effectiveness for storm water runoff for the subdivision/site.
12. No chemicals or any substance shall be applied to the Storm Water Management Facility that shall harm or impair the effectiveness of the Storm Water Management Facility as a storm water runoff control measure.
  13. No structure shall be erected over or within the Easement Area without obtaining the prior written approval of the City Engineer.
  14. No structure, material, device, thing or matter which could possibly obstruct or impede the normal flow of surface water over the Easement Area shall be erected or caused to be placed on the Easement Area without obtaining the prior written approval of the City Engineer.
  15. No planting of trees and shrubs is allowed within the Easement Area (other than planting allowed and required pursuant to the original Stormwater Management Concept Plan on file with the City).
  16. No change shall be made to the grade, elevation or contour of any part of the Easement Area without obtaining the prior written consent of the City Engineer.
  17. The City and its agents, contractors, employees and assigns shall have the right of access to the Easement Area and have all rights of ingress and egress reasonably necessary for the use and enjoyment of the Easement Area as herein described, including, but not limited to, the right to remove any unauthorized plantings, structures, or obstructions placed or erected under, over, on, across or within the Easement Area and the right to do maintenance, repair, reconstruction, grading, and dredging.
  18. Except as may be caused by the negligent acts or omissions of the City, its employees, agents, or its representatives, the City shall not be liable for injury or property damage occurring in or to the Easement Area, the property abutting said Easement Area, nor for property damage to any improvements or obstructions thereon resulting from the City's exercise of its rights under this Agreement. Grantor agrees to indemnify and hold City, its employees, agents, and representatives harmless against any loss, damage, injury or any claim or lawsuit for loss, damage or injury arising out of or resulting from the negligent or intentional acts or omissions of Grantor; until the earliest of the aforementioned dates occurs in Paragraph 4; at which time it will be the City's responsibility.



Preparer  
 Information: Civil Design Advantage, 3405 SE Crossroads Drive Suite G, Grimes, Iowa 50111 (515) 369-4400  
 Name Street Address City,State,Zip Area Code-Phone

When Recorded Return to:

City of Grimes, 101 N. Harvey, Grimes, Iowa 50111 (515) 986-3036  
 Name Street Address City,State,Zip Area Code-Phone

**BROOKE RIDGE LLC SITE PLAN STORM WATER MANAGEMENT FACILITY MAINTENANCE COVENANT AND PERMANENT EASEMENT AGREEMENT**

**THIS STORM WATER MANAGEMENT FACILITY MAINTENANCE COVENANT AND PERMANENT EASEMENT AGREEMENT ("Agreement")** is entered into between Kleen Flooring, Inc. ("Grantor") and the City of Grimes, Iowa ("City"), in consideration for the approval by the City of the 3250 SE Gateway Drive Project.

Grantor is obligated by the Code of Ordinances of the City of Grimes, Chapter 104 ("Post-Construction Storm Water Ordinance"), to control storm water runoff for the proposed development as a part of the 3250 SE Gateway Drive Project approval process. In consideration for the City's approval of Grantor's 3250 SE Gateway Drive Project, the parties enter into this Agreement to control and address storm water runoff for the following described property:

LOT 6, INTERSTATE GATEWAY BUSINESS PARK, AN OFFICIAL PLAT IN THE CITY OF GRIMES,  
 POLK COUNTY, IOWA.

(the "Benefited Property").

**PART I – COVENANTS ON THE BENEFITED PROPERTY**

The following provisions are covenants running with the land to the City, binding on all successors and assigns of the Benefited Property and shall only be amended or released with the written permission of the City.

1. Grantor hereby agrees that the storm water runoff for the subdivision/site shall be controlled through installation, construction, and maintenance of a storm water detention basin ("Storm Water Management Facility") upon, over, under, through and across the following described property:

LOT 6, INTERSTATE GATEWAY BUSINESS PARK, AN OFFICIAL PLAT IN THE CITY OF GRIMES,  
 POLK COUNTY, IOWA AND CONTAINING 4.77 ACRES (207,877 SQUARE FEET).

(the "Easement Area").

2. Grantor covenants and agrees that the design, construction, and maintenance of the Storm Water Management Facility shall be in compliance with the stormwater management concept plan, as provided in the Post-Construction Storm Water Ordinance ("Stormwater Management Concept Plan"), on file with the City and which is available for public inspection. The design, construction, and maintenance of the Storm Water Management Facility shall meet the storm water runoff control requirements of the Post-Construction Storm Water Ordinance.
3. It is hereby agreed and covenanted that the Benefited Property receives benefit from the Storm Water Management Facility by controlling runoff from the Benefited Property to meet the requirements of the Post-Construction Storm Water Ordinance and the City stormwater requirements as defined by the Post-Construction Storm Water Ordinance.
4. It is hereby agreed that Grantor is solely responsible for constructing, installing, and ensuring that the Storm Water Management Facility meets the standard set forth in the Post-Construction Storm Water Ordinance.

5. Grantor hereby designates, appoints, and agrees on behalf of Grantor and all successors and assigns that the Grantor is designated as the responsible party for replacement, reconstruction, repair, grading, and maintenance of the Storm Water Management Facility.
6. Grantor hereby covenants and agrees that Grantor is hereby designated and authorized to accept notices and service of process as it relates to the inspection, replacement, reconstruction, repair, grading, and maintenance of the Storm Water Management Facility or permanent easement or notice of assessment for replacement, reconstruction, repair, grading, and maintenance of the Storm Water Management Facility.
7. Grantor shall be responsible for all maintenance, repair, and replacement of the Storm Water Management Facility.
8. Grantor shall inspect the Storm Water Management Facility on an annual basis, including but not limited to all pipes, inlets, and outlets for defects, obstructions, or any changes in the Storm Water Management Facility from the original design of the Storm Water Management Facility. The inspection shall be documented. The inspection shall be made available to the City for review upon request and shall be kept and maintained for a period of 5 years.
9. Should Grantor fail to maintain, reconstruct, repair, grade, or dredge the Storm Water Management Facility or the Easement Area upon notice from the City, the City may cause such action to be done and assessed to the Benefited Property. The assessments shall be a lien on the Benefited Property and place on the real estate tax bill and collected as ordinary taxes.

#### **PART II – Easement for Storm Water Management Facility and Surface Water Flowage**

The following provisions in Part II herein are for a permanent easement over the Easement Area running with the land to the City.

10. Grantor hereby grants to the City a Permanent Surface Water Flowage Easement and Storm Water Management Facility under, over, through and across the Easement Area for the purpose of constructing, reconstructing, repairing, grading, and maintaining the Storm Water Management Facility and the surface of the Easement Area in a manner that will permit the free and unobstructed flow of surface water over the Easement Area.
11. It is the obligation of the Grantor and all subsequent owners of the Easement Area to maintain the Easement Area and the Storm Water Management Facility as set forth below. The Grantor and all subsequent owners of the Easement Area shall perform the maintenance obligations set forth below. The maintenance obligations for the Storm Water Management Facility are as follows:

##### Storm water detention and retention ponds or basins:

- a. Mow on a regular basis to maintain the vegetation at the height designated on the original design to prevent erosion.
- b. Remove all trash, litter, debris or obstructions in the basin in the Easement Area and any inlets or outlets located within the Easement Area.
- c. Plant, maintain and replant as necessary permitted vegetation.
- d. Inspect for any defects, obstructions, or any changes in the original design.
- e. Inspect and determine the depth of the pond or basin on an annual basis.
- f. Remove any accumulated sediment from the outlet structures and remove any sediment which may accumulate greater than 12 inches in ponds or basins and greater than 6 inches in an underground detention basin.
- g. All repairs shall conform to the original design.
- h. Maintaining the storm water and retention pond or basin to assure the effectiveness for storm water runoff for the subdivision/site.

##### Grass and Bioretention Swales:

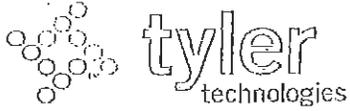
- a. Mow on a regular basis to maintain the vegetation at the height designated on the original design to prevent erosion.
  - b. Remove all trash, litter, debris or obstructions in the grass or bioretention swale and Easement Area.
  - c. No chemicals or substances shall be applied to the Easement Area that shall harm or impair the effectiveness of the swale as a storm water runoff control measure.
  - d. Replant vegetation as soon as practical when any vegetation dies.
  - e. Inspect and determine the depth of the swale on an annual basis.
  - f. Remove any sediment accumulated greater than 6 inches which may accumulate in the swale.
  - g. Till the soil at the bottom of the swale if the grass swale does not drain out within the time established in the design plan and replant vegetation as designated on the original design.
  - h. All repairs shall conform to the original design.
  - i. Maintain the grass and/or bioretention swale to assure the effectiveness for storm water runoff for the subdivision/site.
12. No chemicals or any substance shall be applied to the Storm Water Management Facility that shall harm or impair the effectiveness of the Storm Water Management Facility as a storm water runoff control measure.
  13. No structure shall be erected over or within the Easement Area without obtaining the prior written approval of the City Engineer.
  14. No structure, material, device, thing or matter which could possibly obstruct or impede the normal flow of surface water over the Easement Area shall be erected or caused to be placed on the Easement Area without obtaining the prior written approval of the City Engineer.
  15. No planting of trees and shrubs is allowed within the Easement Area (other than planting allowed and required pursuant to the original Stormwater Management Concept Plan on file with the City).
  16. No change shall be made to the grade, elevation or contour of any part of the Easement Area without obtaining the prior written consent of the City Engineer.
  17. The City and its agents, contractors, employees and assigns shall have the right of access to the Easement Area and have all rights of ingress and egress reasonably necessary for the use and enjoyment of the Easement Area as herein described, including, but not limited to, the right to remove any unauthorized plantings, structures, or obstructions placed or erected under, over, on, across or within the Easement Area and the right to do maintenance, repair, reconstruction, grading, and dredging.
  18. Except as may be caused by the negligent acts or omissions of the City, its employees, agents, or its representatives, the City shall not be liable for injury or property damage occurring in or to the Easement Area, the property abutting said Easement Area, nor for property damage to any improvements or obstructions thereon resulting from the City's exercise of its rights under this Agreement. Grantor agrees to indemnify and hold City, its employees, agents, and representatives harmless against any loss, damage, injury or any claim or lawsuit for loss, damage or injury arising out of or resulting from the negligent or intentional acts or omissions of Grantor or its employees, agents or representatives.
  19. This Agreement shall be deemed perpetual and to run with the land and shall be binding on Grantor and on Grantor's heirs, successors, and assigns.

Grantor does hereby covenant with the City that Grantor holds said real estate described in this Agreement by title in fee simple; that Grantor has good and lawful authority to convey the same; and said Grantor covenants to warrant and defend the said premises against the lawful claims of all persons whomsoever.

Each of the undersigned hereby relinquishes all rights of dower, homestead and distributive share, if any, in and to the interests conveyed by this Agreement.

Words and phrases herein, including acknowledgment hereof, shall be construed as in the singular or plural number, and as masculine or feminine gender, according to the context.





**Proposal - Incode Mapping**  
**Local Government Division**

---

*Presented to:*

**Jeff Macke**  
City of Grimes  
101 NE Harvey St  
Grimes, IA 50111  
(515) 986-3036  
jmacke@ci.grimes.ia.us

*Proposal date:*

April 22, 2014

*Submitted by:*

Robin Reeves  
(800) 646-2633  
robin.reeves@tylertech.com

Tyler Technologies  
Local Government Division  
5519 53rd Street  
Lubbock, Texas 79414

## Investment Summary

Jeff Macke  
City of Grimes  
April 22, 2014



### Investment Breakdown

Proposal Valid for 120 days

Software	Investment	Annual Fees
License Fees (Existing Customer)	2,750	688
	<b>2,750</b>	<b>688</b>
<b>Professional Services</b>	<b>Investment</b>	
Implementation Services (Existing Customers)	1,000	
	<b>1,000</b>	
<b>Project Total</b>	<b>3,750</b>	<b>688</b>

*Note: Travel Expenses are billed as incurred based on Federal IRS per diem standards.*

*Tyler will invoice Client for the License Fees listed above upon delivery of the software.*

*Maintenance Fees listed above will be invoiced upon ninety (90) days of delivery and annually thereafter on the anniversary of that date*

*All payment terms are net thirty (30) days*

**Software Licenses**

Jeff Macke  
City of Grimes  
April 22, 2014



Application Software	QTY	Hours	License Fee	Estimated Services	Annual Maintenance
Incode Customer Relationship Management Suite			2,750	1,000	688
Incode Mapping	2,750	8			
Incode Application Subtotal		8	2,750	1,000	688
Application and System Software Total			2,750	1,000	688



**incode**  
a tyler erp solution

## Incode Mapping

Tyler's Incode Mapping module provides GIS spatial analysis and viewing of information associated with property and account records. This module uses MapObjects® technology from GIS leader ESRI and links data with common attributes to Incode modules.

Users can visualize data directly on a parcel map. Merging Tyler's Incode data with a map of the community allows users to easily obtain decision-making and reporting information. Mapping integrates with: Utility Billing, Service Orders, Call Center, Building Projects, Sales and Business Tax, Business License, and Property Tax.

## Information & Reports

- Displays map locations of water lines, fire hydrants, electrical sub-systems, and more, along with account information associated with the location.
- Tracks citizen complaints in specified areas.
- Allows easy extraction of data points based on geographic subsets.
- Integrates with Microsoft® Office for letter generation and data analysis.
- Supports synchronization between property and parcel.
- Presents multiple mapping layers in a single view.

## User Friendly

- Single point-and-click interface.
- Full integration with ability to drill down to business objects.
- Spatial analysis which allows for proximity searching.
- Integration with Microsoft Word® allows for letter merges for outage or general notifications.

## Transaction Efficiency

- Centralizes files in a common format with easy access to business project information.
- Reduces data entry duplication by linking GIS attributes.
- Integrates easily with other Incode Citizen Services modules.
- Provides a cost-effective solution to GIS and spatial analysis.

For more information, visit

[www.tylertech.com](http://www.tylertech.com)

or email

[info@tylertech.com](mailto:info@tylertech.com)

Empowering people who serve the public™



**tyler**  
technologies



April 30, 2014

City Of Grimes-1  
101 NE Harvey St.  
Grimes, Ia 50111

Dear Rochelle,

During a recent review of our resolution files we found that we have not received an updated resolution from you in quite some time. Often times an organization will make changes to who can transact business on its behalf and simply forget to notify us. A current, accurate resolution is a very important step to lessen your organization's risk of financial loss.

Please review the enclosed copy of the most recent resolution we have on file for you. I am including a blank resolution form (as well as instruction on how to complete) for you to complete should changes be needed.

If there are no changes, please have an authorized signer from your organization indicate such at the bottom of this letter and return it to us in the envelope provided.

Thank you for your prompt attention to this matter.

Sincerely,

Mindy Tingley

The resolution dated 04-30-2012 is accurate. No changes are needed at this time.

Signed

Date

5526 N.W. 86TH STREET  
JOHNSTON, IOWA 50131  
(515) 331-2265  
FAX: 331-3311

150 S.E. GATEWAY DRIVE  
GRIMES, IOWA 50111  
(515) 986-2000  
FAX: 986-5963

455 - 6TH STREET, P.O. BOX 550  
WAUKEE, IOWA 50263  
(515) 987-1000  
FAX: 987-1909

**CORPORATE AUTHORIZATION RESOLUTION**

CHARTER BANK  
5526 NW 86TH ST  
JOHNSTON, IOWA 50131

By:

Referred to in this document as "Financial Institution"

Referred to in this document as "Corporation"

I, Rochele Williams, certify that I am Secretary (clerk) of the above named corporation organized under the laws of Iowa, Federal Employer I.D. Number 42-6004731, engaged in business under the trade name of City of Grimes, and that the resolutions on this document are a correct copy of the resolutions adopted at a meeting of the Board of Directors of the Corporation duly and properly called and held on 04/11/2014 (date). These resolutions appear in the minutes of this meeting and have not been rescinded or modified.

**AGENTS** Any Agent listed below, subject to any written limitations, is authorized to exercise the powers granted as indicated below:

Name and Title or Position	Signature	Facsimile Signature (if used)
A. <u>Thomas M. Armstrong, Mayor</u>	X	X
B. <u>Tamara Evans - Mayor Pro Tem</u>	X	X
C. <u>Kelley Brown - City Administrator</u>	X	X
D. <u>Rochele Williams - City Clerk</u>	X	X
E. _____	X	X
F. _____	X	X

**POWERS GRANTED** (Attach one or more Agents to each power by placing the letter corresponding to their name in the area before each power. Following each power indicate the number of Agent signatures required to exercise the power.)

Indicate A, B, C, D, E, and/or F	Description of Power	Indicate number of signatures required
_____	(1) Exercise all of the powers listed in this resolution.	_____
<u>ABCD</u>	(2) Open any deposit or share account(s) in the name of the Corporation.	<u>1</u>
<u>ABCD</u>	(3) Endorse checks and orders for the payment of money or otherwise withdraw or transfer funds on deposit with this Financial Institution.	<u>1</u>
_____	(4) Borrow money on behalf and in the name of the Corporation, sign, execute and deliver promissory notes or other evidences of indebtedness.	_____
_____	(5) Endorse, assign, transfer, mortgage or pledge bills receivable, warehouse receipts, bills of lading, stocks, bonds, real estate or other property now owned or hereafter owned or acquired by the Corporation as security for sums borrowed, and to discount the same, unconditionally guarantee payment of all bills received, negotiated or discounted and to waive demand, presentment, protest, notice of protest and notice of non-payment.	_____
_____	(6) Enter into a written lease for the purpose of renting, maintaining, accessing and terminating a Safe Deposit Box in this Financial Institution.	_____
_____	(7) Other _____	_____

**LIMITATIONS ON POWERS** The following are the Corporation's express limitations on the powers granted under this resolution.

**EFFECT ON PREVIOUS RESOLUTIONS** This resolution supersedes resolution dated \_\_\_\_\_. If not completed, all resolutions remain in effect.

**CERTIFICATION OF AUTHORITY**

I further certify that the Board of Directors of the Corporation has, and at the time of adoption of this resolution had, full power and lawful authority to adopt the resolutions on page 2 and to confer the powers granted above to the persons named who have full power and lawful authority to exercise the same. (Apply seal below where appropriate.)

If checked, the Corporation is a non-profit corporation.

In Witness Whereof, I have subscribed my name to this document and affixed the seal of the Corporation on \_\_\_\_\_ (date).

Attest by One Other Officer \_\_\_\_\_

Secretary \_\_\_\_\_



MidAmerican Energy Company  
10510 Douglas Avenue  
Urbandale, Iowa 50322

4/8/2014

City of Grimes  
Attention: Kelly Brown  
101 NE Harvey Street  
Grimes, IA 50111

Reference: SE 19<sup>th</sup> Street, Grimes, Iowa

Dear Ms. Brown:

The enclosed drawing shows MidAmerican Energy Company's proposal to relocate the overhead electric to underground at the above address. The applicant charge for this work is \$198,909.00. The charge is based on the differential cost of relocating the overhead electric lines and the cost to install the facilities underground. This proposal is valid for 90 days and if MidAmerican Energy Company construction has not commenced within 12 months it may be voided.

It is MidAmerican Energy Company's responsibility to see that the various utility companies' facilities are located before our construction. This includes electric, natural gas, telephone, cable television, and generally water. It is the owner's responsibility to see that any privately owned systems such as water systems, irrigation systems, drain pipes, septic lines and underground wiring are located before MidAmerican Energy Company's construction. MidAmerican Energy Company assumes no liability for private facilities that are not located.

If this proposal is satisfactory please sign and return one (1) copy to me. Please include payment of \$198,909.00. MidAmerican Energy Company will release the work upon receipt of the signed proposal and payment. Please call me at (515) 281-2619 if you have any questions.

Sincerely,  
MidAmerican Energy Company

Gail D. Davis  
Customer Technician

*Jake Stunder  
252-6622*

Enclosures

Accepted By: *Korn*

Date: *4/25/14* Date Service Required: \_\_\_\_\_



AECOM Technical Services, Inc.  
 501 Sycamore Street, Suite 222  
 Waterloo, Iowa 50703

**Cost Plus Fixed Fee Progressive Invoice**

Invoice No.: 37436915  
 Invoice Period Covered: 3/29/14 through 4/25/14  
 Consultant Job No. 60301188

Date: April 30, 2014  
 Client Project No.: HDP-3125 (610)--71-77  
 City: Grimes  
 Client Project Description: Northwest Transportation  
 Corridor Feasibility Study  
 Client Contact: Ms. Kelley Brown

	Contract Estimate	Cumulative To Date	Current Period
Labor Dollars	\$ 103,515.70	\$ 16,247.61	\$ 1,217.86
Overhead	\$ 162,519.65	\$ 24,852.70	\$ 1,797.08
Direct Expenses			
Mileage	\$ 1,525.50	\$ 364.43	\$ -
Copies	\$ 780.00	\$ 109.44	\$ -
EDM Equipment	\$ -	\$ -	\$ -
GPS Equipment	\$ -	\$ -	\$ -
Miscellaneous/Other	\$ 194.50	\$ -	\$ -
Subconsultants			
Veenstra and Kimm, Inc.	\$ 63,800.00	\$ 17,652.39	\$ -
LT Leon Associates	\$ 9,000.00	\$ 513.88	\$ -
Estimated Actual Costs	\$ 341,335.35	\$ 59,740.45	\$ 3,014.94
Subtotal Rounded	\$ 341,300.00		
Fixed Fee	\$ 34,600.00	\$ 5,343.03	\$ 391.94
Authorized Contingency	\$ -		
Total Authorized Amount	\$ 375,900.00		
Total Billed to Date	\$ 65,083.48	\$ 65,083.48	\$ 3,406.88
Remaining Authorized Balance	\$ 310,816.52		
Labor Hours (Prime)	1,988.00	322.75	19.50

Remit to: AECOM Technical Services, Inc O 1178 Paysphere Circle O Chicago, IL 60674

RECEIVED MAY 5 2014

Check Payment to:  
 AECOM Technical Services, Inc.  
 An AECOM Company  
 1178 Paysphere Circle  
 Chicago, IL 60674

ACH Payment to:  
 AECOM Technical Services, Inc.  
 An AECOM Company  
 Bank of America  
 Account Number 5800937020  
 ABA Number 071000039

Wire Transfer Payment to:  
 AECOM Technical Services, Inc.  
 An AECOM Company  
 Bank of America  
 New York, NY 10001  
 Account Number 5800937020  
 ABA Number 026009593  
 SWIFT CODE BOFAUS3N



501 Sycamore Street, Suite 222, Waterloo, IA 50703  
 Tel: 319-232-6531 Fax: 319-232-0271

Federal Tax ID No. 95-2661922

ATTN : KELLEY BROWN  
 GRIMES, IA, CITY OF  
 101 NE HARVEY STREET  
 GRIMES, IA 50111

Invoice Date: 30-APR-14  
 Invoice Number: 37436915

Agreement Number: 60301188  
 Agreement Description:

Payment Term: 30 DAYS

Please reference Invoice Number and Project Number with Remittance

Project Number : 60301188 Project Name : Grimes-NW Transportation Corridor Feasibility Study  
 Bill Through Date : 29-MAR-14 - 25-APR-14

Labor Multiplier		Date	Hours	Rate	Raw Cost	Billed Amt
Employee Name/Title	Title/Expenditure					
Allyn, Todd L	Project Professional	11-APR-14	4.00	44.00	176.00	
Allyn, Todd L	Project Professional	25-APR-14	1.00	44.00	44.00	
Bernhardt, Mary E	Project Support	04-APR-14	1.00	26.65	26.65	
Bernhardt, Mary E	Project Support	11-APR-14	0.50	26.65	13.33	
Eaton, Stevan J	Senior Professional	25-APR-14	2.00	86.81	173.62	
Lentz, Robert L	Senior Professional	04-APR-14	0.50	85.56	42.78	
Lentz, Robert L	Senior Professional	11-APR-14	4.00	85.56	342.24	
Lentz, Robert L	Senior Professional	18-APR-14	0.50	85.56	42.78	
Lentz, Robert L	Senior Professional	25-APR-14	1.00	85.56	85.56	
Wiele, Larry E	Project Professional	11-APR-14	1.00	54.18	54.18	
Wiele, Larry E	Project Professional	25-APR-14	4.00	54.18	216.72	
<b>Total Labor Multiplier</b>			<b>19.50</b>		<b>1,217.86</b>	<b>1,217.86</b>

OverHead Markup 1,797.08  
 Labor CPPF Total 3,014.94

Lump Sum		Billed Amt
Description		
Fixed Fee Labor		391.94
<b>Total Lump Sum</b>		<b>391.94</b>

Project Total : Grimes-NW Transportation Corridor Feasibility Study 3,406.88

Invoice Summaries	
Total Current Amount :	3,406.88
Retention Amount :	0.00
Pre-Tax Amount :	3,406.88
Tax Amount :	0.00
<b>Total Invoice Amount :</b>	<b>3,406.88</b>

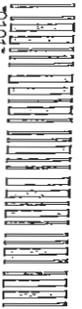
Billing Summaries					
Billing Summary	Current	Prior	Total	Limit	Remain
Billings	3,406.88	61,676.60	65,083.48	375,900.00	310,816.52
<b>Billing Total :</b>	<b>3,406.88</b>	<b>61,676.60</b>	<b>65,083.48</b>		



**MISSISSIPPI  
LIME**

**MISSISSIPPI LIME COMPANY**  
P.O. Box 840033  
Kansas City, MO 64184-0033

Phone: 800-437-5463  
314-543-6300  
Fax: 314-543-6570



Discovering what's possible with calcium

Invoice Number: 1143250

Terms: NET 15 DAYS

Date: 05/01/2014

Bill To : GRIMES IA CITY OF  
83302 101 NORTH HARVEY STR  
GRIMES, IA 50111 USA

Ship To : GRIMES IA CITY OF  
83303 C/O PEOPLE SERVICE  
7850 NW 128TH ST  
GRIMES, IA 50111 US

Shipment Date	Product Number	Product Description	Quantity	UOM	Unit Price	Amount
05/01/2014	247	GRAN STANDARD QUICKLIME~ - CaO	24.420	TN	\$145.00	\$3,540.90

Bill of Lading: VIA: TRUCK FOB: STE GENEVIEVE, MO

Order #: 533221-1  
Customer PO: 13544  
Carrier: CTS

Trailer No: 377

Freight Terms: COLLECT  
Net Weight: 48,840.000

Subtotal: \$3,540.90

Total Tax : \$0.00

Note: Pricing includes palletizing and stretch wrapping where applicable.

Total Amount Due: \$3,540.90

600 - 810 - 6380, n/

*Handwritten signature*

P.O. No. \_\_\_\_\_

13544

### CITY OF GRIMES

101 N. Harvey, Grimes, IA 50111 phone: 515-986-3036 fax: 515-986-3846

#### PURCHASE REQUEST/PURCHASE ORDER

Source/Supplier Mississippi Lime  
Name

7 Alby P.O. Box 2247 Altam, IL  
Address

800-437-5463  
Phone Number/Fax Number

ITEMS	QTY	UNIT PRICE	TOTAL
Bulk Lime	25 Tons	145 <sup>00</sup> /ton	\$3,625 <sup>00</sup>

533221 (conf #)

PURCHASE JUSTIFICATION: WTP Op. Chen

DEPARTMENT: Water

LINE ITEM: 600-910-6350.4

BEGINNING BUDGET BALANCE: \_\_\_\_\_

ENDING BUDGET BALANCE: \_\_\_\_\_

PURCHASE REQUESTED BY: Steve P. [Signature] DATE: 4/29/14

#### PURCHASE ORDER APPROVAL AND ASSIGNMENT

Kelley Brown  
Kelley L. Brown City Administrator/Clerk

5-2-14  
Date

Council Approval date: (if over \$2500)

- Purchaser's Copy
- Vendor's Copy
- File Copy

P.O. No: \_\_\_\_\_

13677

### CITY OF GRIMES

101 N. Harvey, Grimes, IA 50111 phone: 515-986-3036 fax: 515-986-3846

#### PURCHASE REQUEST/PURCHASE ORDER

Source/Supplier United Contractors

Name

3101 SW Brookside Dr Grimes IA 50111

Address

Phone Number/Fax Number

Estimate

ITEMS	QTY	UNIT PRICE	TOTAL
Gravel	750 ton	\$10.50 / ton	\$7,875

PURCHASE JUSTIFICATION:

Ru Hs

Grading on SW 19th St will cover  
western 1/2 mile 20ft wide 3in deep

DEPARTMENT: \_\_\_\_\_

LINE ITEM: \_\_\_\_\_

BEGINNING BUDGET BALANCE: \_\_\_\_\_

cc approved 5-6-14

ENDING BUDGET BALANCE: \_\_\_\_\_

PURCHASE REQUESTED BY: \_\_\_\_\_

DATE: \_\_\_\_\_

#### PURCHASE ORDER APPROVAL AND ASSIGNMENT

Kelley L. Brown City Administrator/Clerk

Date

Council Approval date: (if over \$2500)

Purchaser's Copy

Vendor's Copy

File Copy

# Change Order No. 5

Project: <b>SE Main Street Improvement</b>	Date of Contract: <b>April 9, 2013</b>
Owner: <b>City of Grimes</b>	Owner's Contract No.:
Engineer: <b>FOX Engineering</b>	Engineer's Project No.: <b>1005-03M.660</b>
Contractor: <b>Absolute Concrete, Inc.</b>	Date of Issuance: <b>May 5, 2014</b>

**The Contract Documents are modified as follows upon execution of this Change Order:**

**DESCRIPTIONS:**

- 1) GCC northern parking lot curb addition
- 2) GCC northern entrance reconstruction
- 3) GCC southern parking lot paving addition
- 4) Additional Conduit for movement of Control Pedestal
- 5) Addition of flagpole light at GCC.
- 6) Landscaping
- 7) Sidewalk ramps at 404 SE Main Street

**Item 1** Addition of 24" curb and gutter as shown in Figure CO5-1 (after removal of existing pavement by city of Grimes). Item includes paving with standard 6-inch curb, curb drop with tapers and all necessary grading and replacement of sod. Increase in PCC Parking lot paving is 27 SY. Change in item and quantities are as follows:

- i. Northern GCC Parking Lot Curb Addition – Increases by 124 LF @ \$51.00 = **\$6,324.00**
- ii. Strip & Dispose of Sod – Increases by 1 LS @ \$245.44 = **\$245.44**
- iii. Sod (Item 9.02) – Increases by 6 SQ @ \$33.00 = **\$198.00**

Add **\$6,767.44** for this change.

**Item 2** Addition 6-inch parking lot paving (paid for as driveway) at the northern entrance to the GCC as shown in Figure CO5-2 (after removal of existing pavement by city of Grimes). Also, repair of storm sewer pipe that is being infiltrated from top with grout cap or equal. Change in item and quantities are as follows:

- i. Driveway, Paved, PCC, 6-inch (Item 7.17) – Increases by 40 SY @ \$50.50 = **\$2,020.00**
- ii. Repair of storm sewer pipe, grout cap – Increases by 1 EA @ \$500 = **\$500**

Add **\$2,520.00** for this change.

**Item 3** Addition of 4-inch PCC slab, sidewalk paving and paint striping for the southern GCC Parking Lot as shown in Figure CO5-3 (after removal of existing pavement by city of Grimes). Removal of existing paint lines (60-LF) shall be included with this change order. Change in item and quantities are as follows:

- i. Removal of Pavement Markings – Increases by 0.60 STA @ \$64.00 = **\$38.40**
- ii. Parking Lot, Paved, PCC, 4-inch – Increases by 93 SY @ \$73.10 = **\$6,798.30**
- iii. Painted Pavement Marking, Waterborne or Solvent-Based (Item 7.23) – Increases by 3.19 STA @ \$78.75 = **\$251.21.**
- iv. Painted Symbols and Legends, Waterborne or Solvent-Based (Item 7.24) – Increases by 4 EA @ \$94.50 = **\$378.00**
- v. Sod (Item 9.02) – Increases by 12 SQ @ \$33.00 = **\$396.00**

Add **\$7,861.91** for this change.

Item 4 Addition of 20-ft of service cable needed to move the Control Pedestal as ordered by the Engineer. Change in item and quantities are as follows:

- i. Service Cable Extension - Increases by 1 EA @ \$325.00 = **\$325.00**

Add **\$325.00** for this change.

Item 5 Addition of bronze flagpole light to connect to the conduit that was stubbed earlier in the project. No concrete base required. Change in item and quantities as follows:

- i. Bronze flagpole light on rigid stem - Increases by 1 LS @ \$550 = **\$500.00**
- ii. Prime Contractor Markup - Increases by 1 LS @ \$50 = **\$50.00**

Add **\$550.00** for this change.

Item 6 Addition of landscaping as per Landscapes By Design details and invoice. Change in item and quantities as follows:

- i. SE Main Street Landscaping - Increases by 1 LS @ \$19,522.80 = **\$17,748.00**
- ii. Prime Contractor Markup - Increases by 1 LS @ 1,774.70 = **\$1,774.80**

Add **\$19,522.80** for this change.

Item 7 Pave sidewalk ramps in front of 404 SE 2<sup>nd</sup> Street as per Figure CO5-4. Paving will require beam curb to achieve desired changes in grades in order to meet ADA requirements. Change in quantities include:

- i. 404 SE 2<sup>nd</sup> Street Ramps - Increases by 1 LS @ \$3,500 = **\$3,500.00**

Add **\$3,500.00** for this change.

Total for Change Order No. 5 = **\$41,047.15**

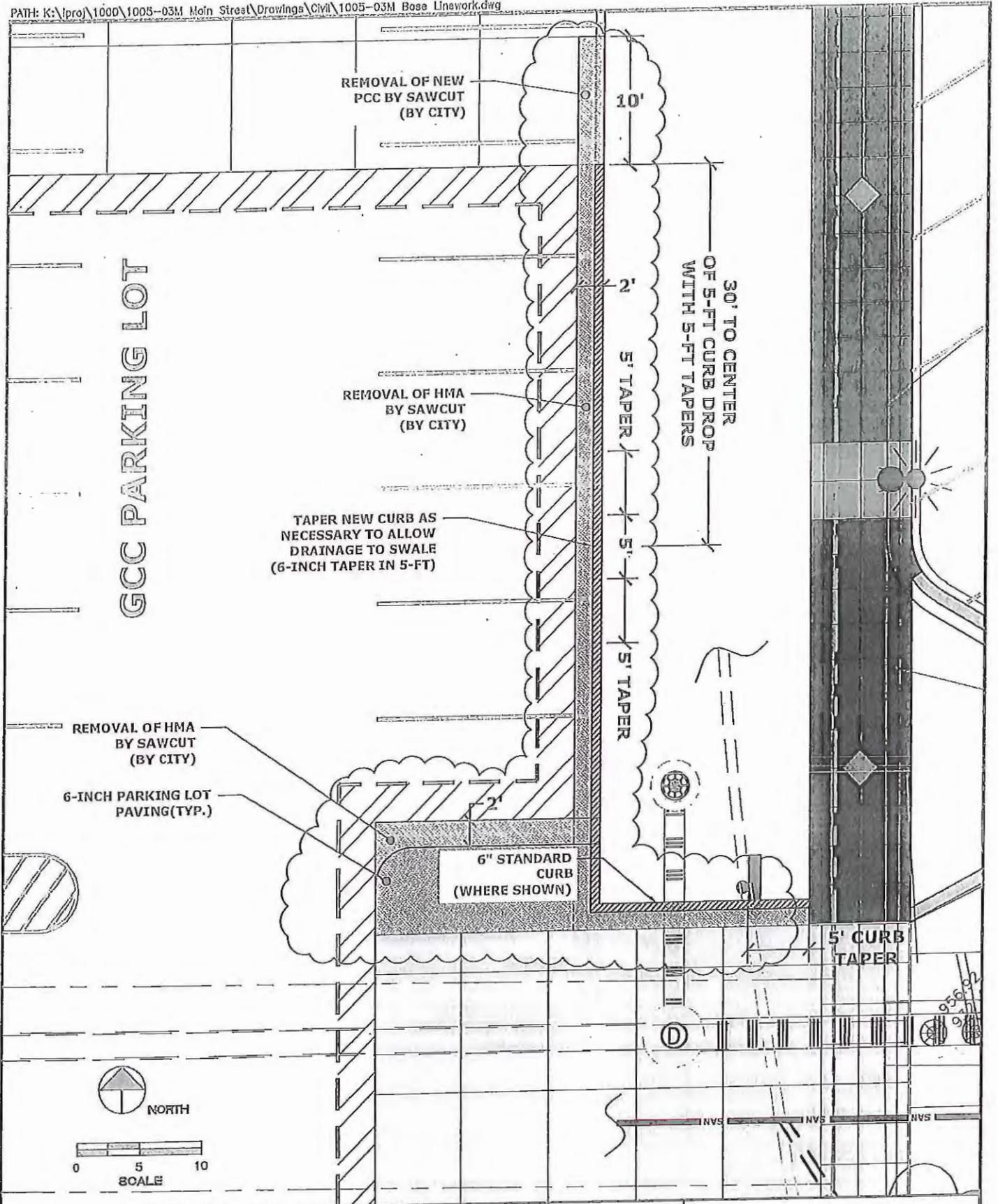
Attachments: CO5-1, CO5-2, CO5-3, CO5-4, Landscaping Sheets 1-10, Landscapes By Design Invoice

CHANGE IN CONTRACT PRICE:	CHANGE IN CONTRACT TIMES:
Original Contract Price: \$1,985,000.05	Original Contract <input checked="" type="checkbox"/> Working <input type="checkbox"/> Calendar Substantial completion: N/A Ready for final payment: N/A
<input checked="" type="checkbox"/> Increase <input type="checkbox"/> Decrease from previously approved Change Orders: \$ 39,119.76	<input type="checkbox"/> Increase <input type="checkbox"/> Decrease from previously approved Change Orders: Substantial completion (days): 0 Ready for final payment (days): N/A
Contract Price prior to this Change Order: \$2,024,119.83	Contract Times prior to this Change Order: Substantial completion: N/A Ready for final payment: N/A
<input checked="" type="checkbox"/> Increase <input type="checkbox"/> Decrease of this Change Order: \$ 41,047.15	<input checked="" type="checkbox"/> Increase <input type="checkbox"/> Decrease of this Change Order: Substantial completion (days): N/A Ready for final payment (days): N/A
Contract Price incorporating this Change Order: \$2,065,166.98	Contract Times with all approved Change Orders: Substantial completion: N/A Ready for final payment: N/A

RECOMMENDED:  
By: [Signature]  
Engineer (Authorized Signature)  
Date: 5/6/14

ACCEPTED:  
By: \_\_\_\_\_  
Owner (Authorized Signature)  
Date: \_\_\_\_\_

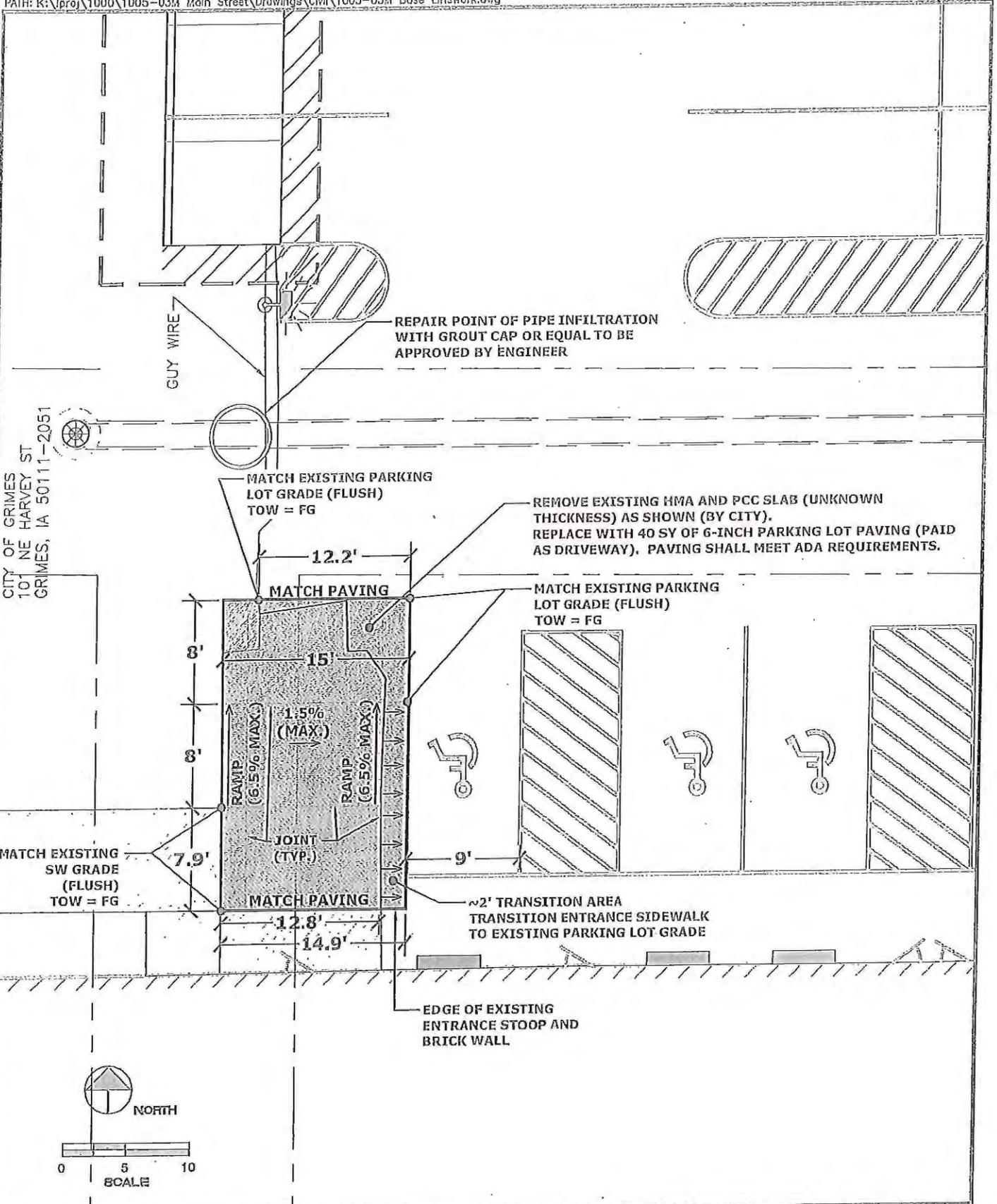
ACCEPTED:  
By: Brian Watson  
Contractor (Authorized Signature)  
Date: 5-6-14



**FIELD ORDER 5**  
**GCC PARKING LOT CHANGES**  
**SE MAIN STREET IMPROVEMENTS**  
 GRIMES, IOWA

**FIGURE: C05-1**

REVISION	NO.	DATE
DRAWN MSH	PROJECT NO. 1005-03M	DATE 5/5/14



CITY OF GRIMES  
101 NE HARVEY ST  
GRIMES, IA 50111-2051

MATCH EXISTING  
SW GRADE  
(FLUSH)  
TOW = FG

REPAIR POINT OF PIPE INFILTRATION  
WITH GROUT CAP OR EQUAL TO BE  
APPROVED BY ENGINEER

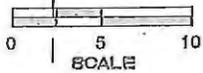
MATCH EXISTING PARKING  
LOT GRADE (FLUSH)  
TOW = FG

REMOVE EXISTING HMA AND PCC SLAB (UNKNOWN  
THICKNESS) AS SHOWN (BY CITY).  
REPLACE WITH 40 SY OF 6-INCH PARKING LOT PAVING (PAID  
AS DRIVEWAY). PAVING SHALL MEET ADA REQUIREMENTS.

MATCH EXISTING PARKING  
LOT GRADE (FLUSH)  
TOW = FG

~2' TRANSITION AREA  
TRANSITION ENTRANCE SIDEWALK  
TO EXISTING PARKING LOT GRADE

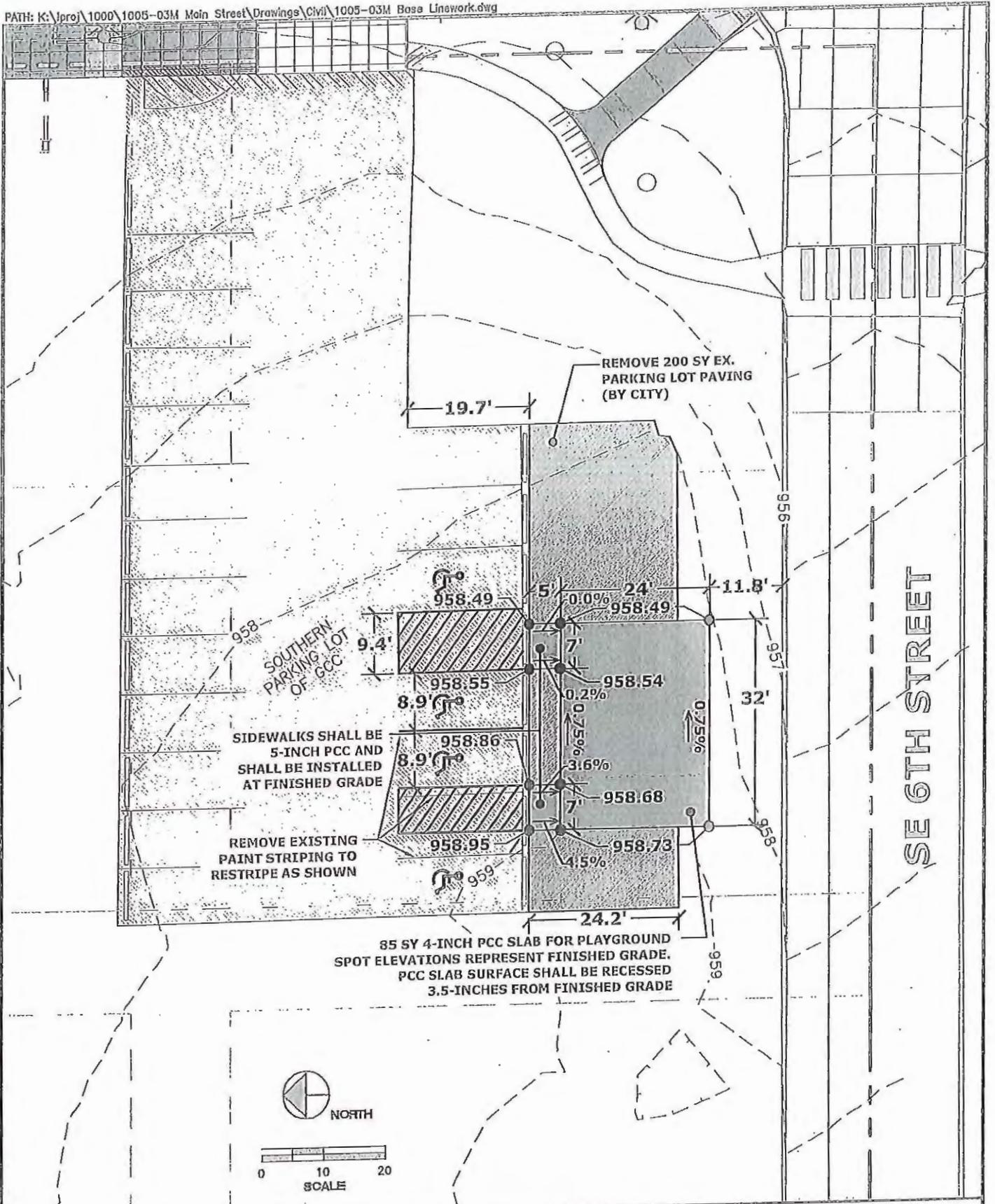
EDGE OF EXISTING  
ENTRANCE STOOP AND  
BRICK WALL



**FIELD ORDER 5**  
**GCC NORTH ENTRANCE CHANGES**  
**SE MAIN STREET IMPROVEMENTS**  
  
GRIMES, IOWA

**FIGURE: C05-2**

REVISION	NO.	DATE
DRAWN MSH	PROJECT NO. 1005-03M	DATE 4/10/14

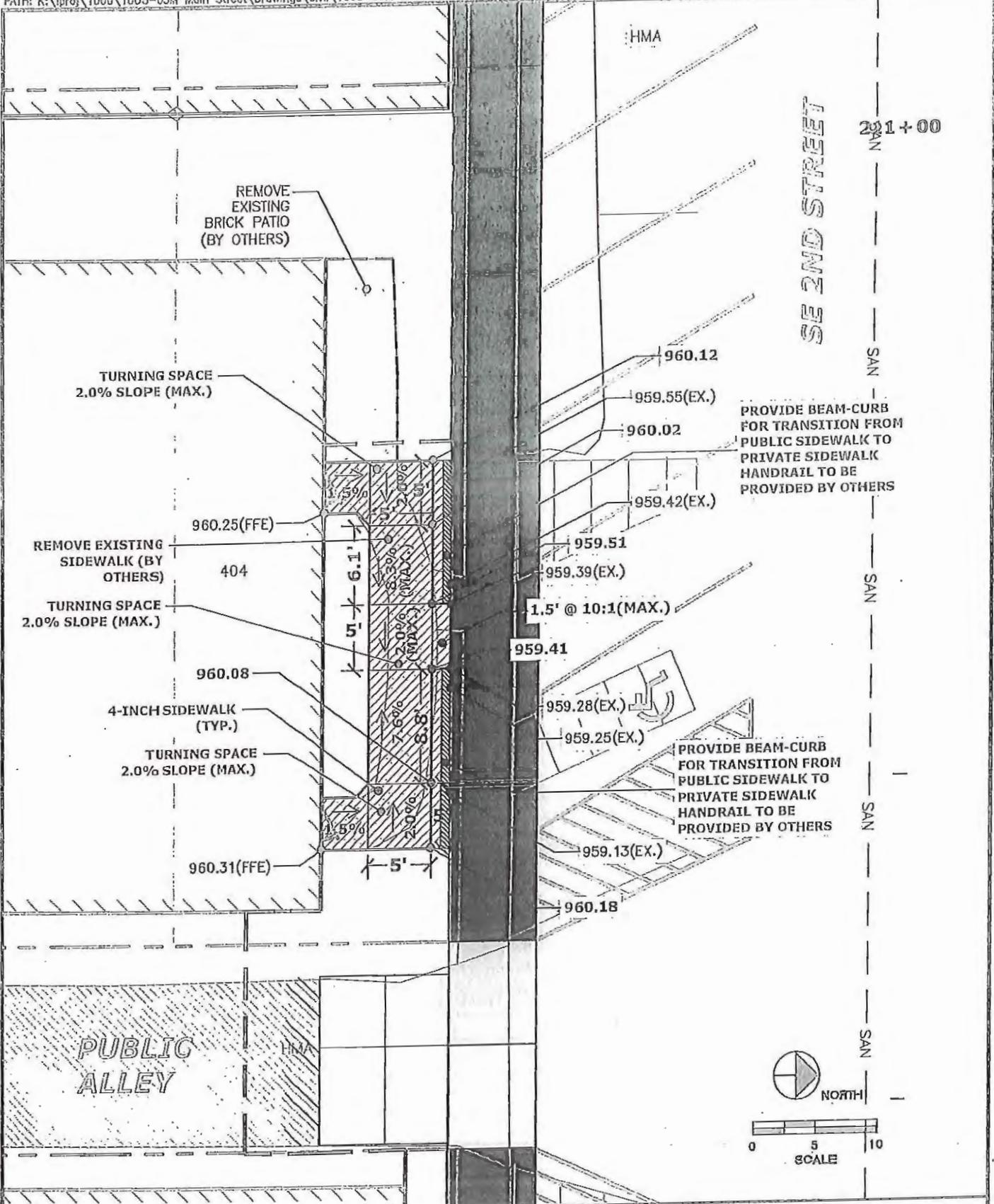


**CHANGE ORDER 5**  
**GCC SOUTHERN PARKING LOT CHANGES**  
**SE MAIN STREET IMPROVEMENTS**

GRIMES, IOWA

**FIGURE: C05-3**

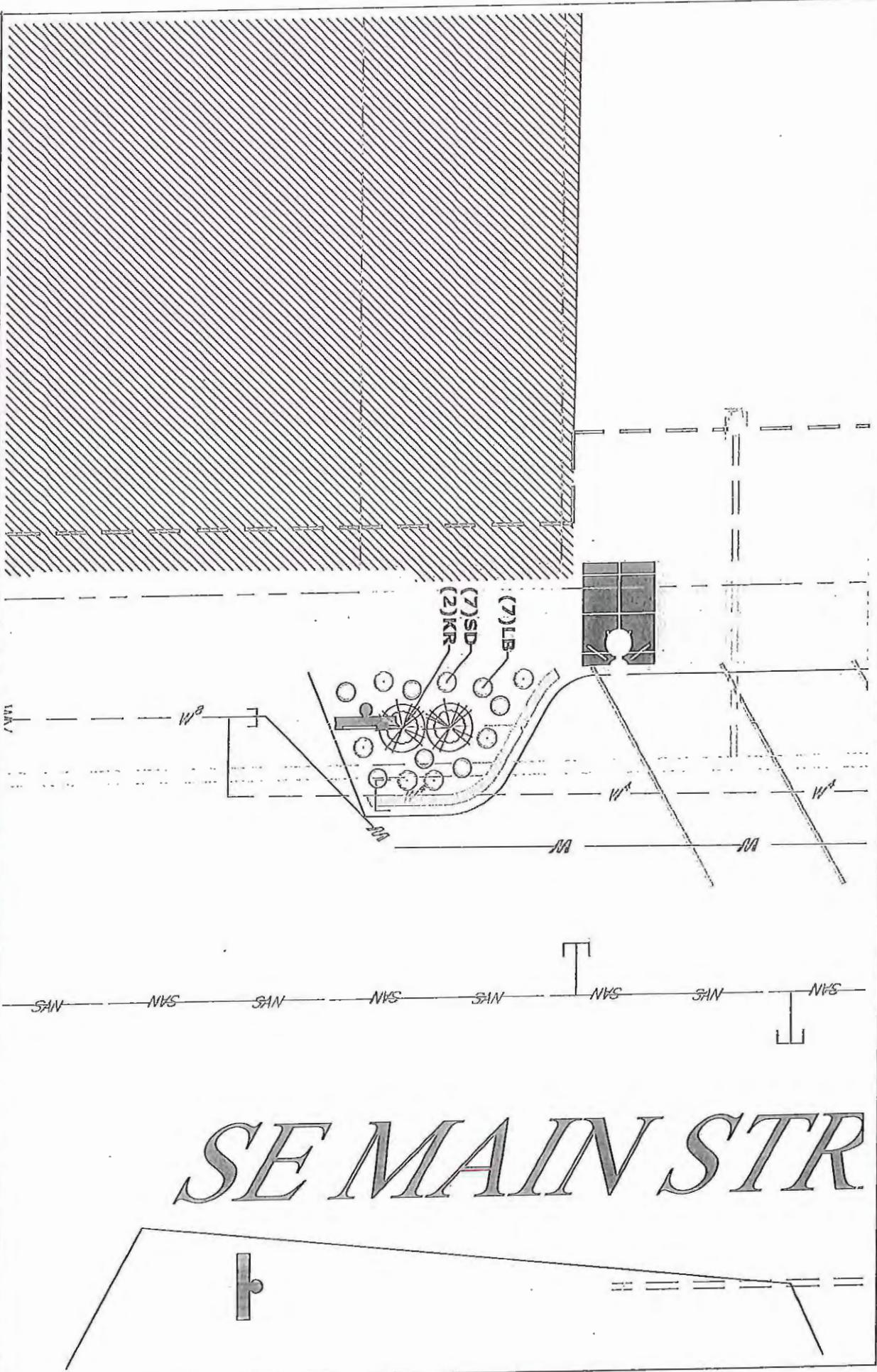
REVISION	NO.	DATE
DRAWN	PROJECT NO.	DATE
MSH	1005-03M	11/27/13



**FIELD ORDER 5**  
**404 SE 2ND STREET SIDEWALK CHANGE**  
**SE MAIN STREET IMPROVEMENTS**  
 GRIMES, IOWA

**FIGURE: C05-4**

<b>REVISION</b>	<b>NO.</b>	<b>DATE</b>
DRAWN MSH	PROJECT NO. 1005-03M	DATE 05/05/14



SCALE:  
1" = 10' - 0"

DATE:  
4/10/2014

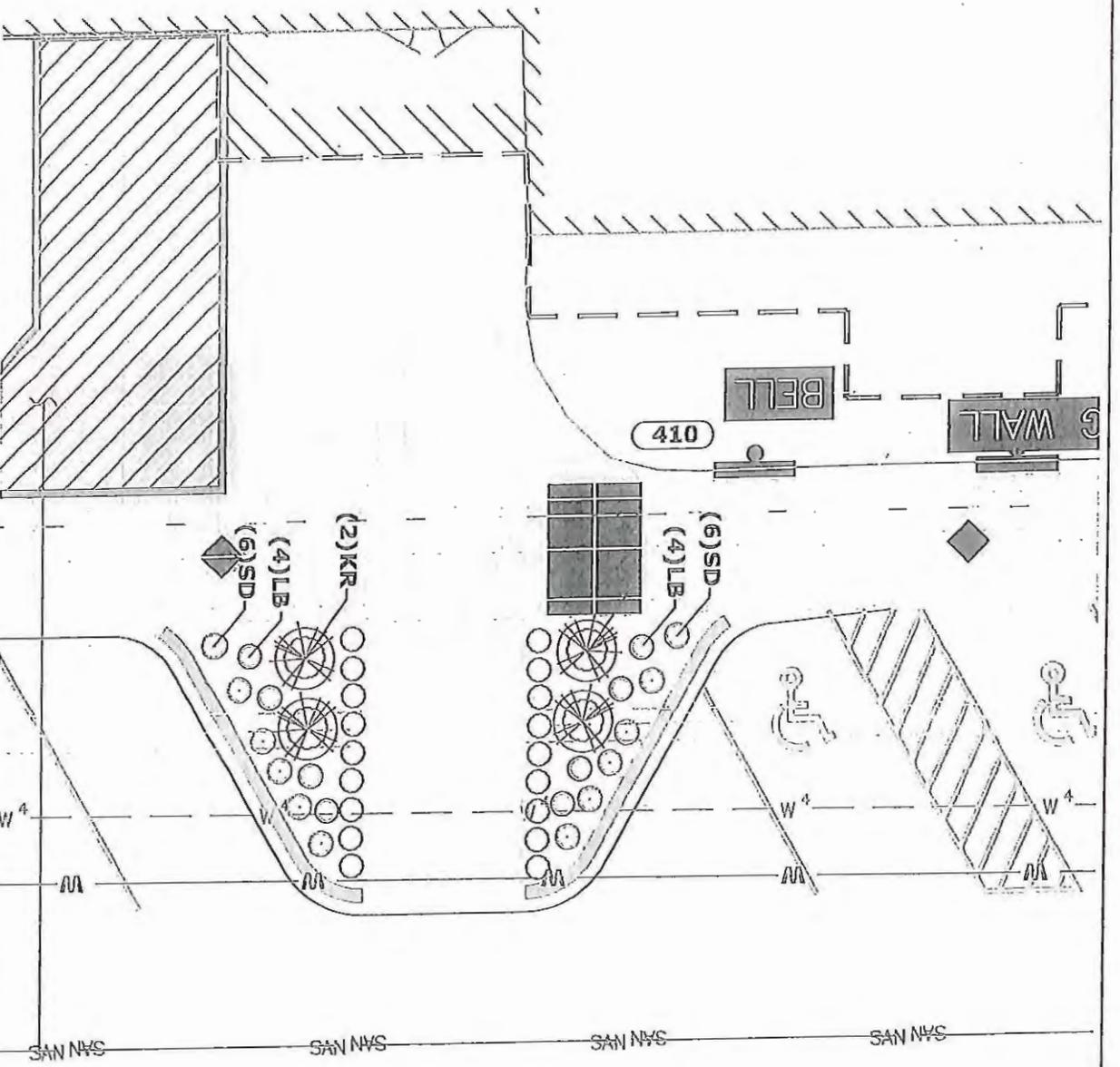
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UNDER COPYRIGHT LAW COPYRIGHT 2014

GRIMES MAIN STREET  
MAIN STREET  
GRIMES, IA 50111

*SE MAIN STR*

DRAWING:

1



SCALE: 1" = 10'-0"

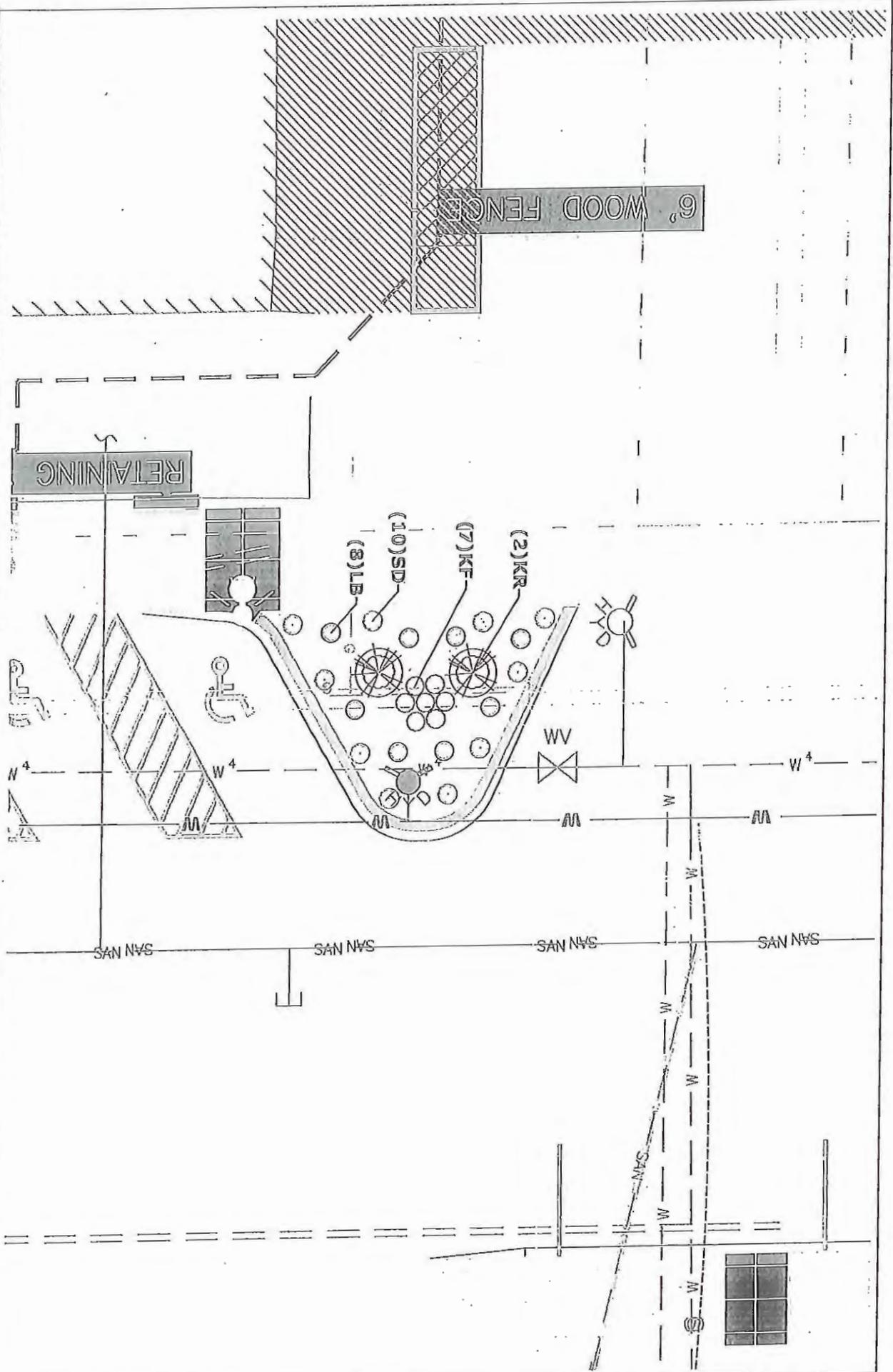
DATE: 4/10/2014

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GRIMES MAIN STREET  
 MAIN STREET  
 GRIMES, IA 50111

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2



SCALE: 1" = 10' - 0"

DATE: 4/10/2014

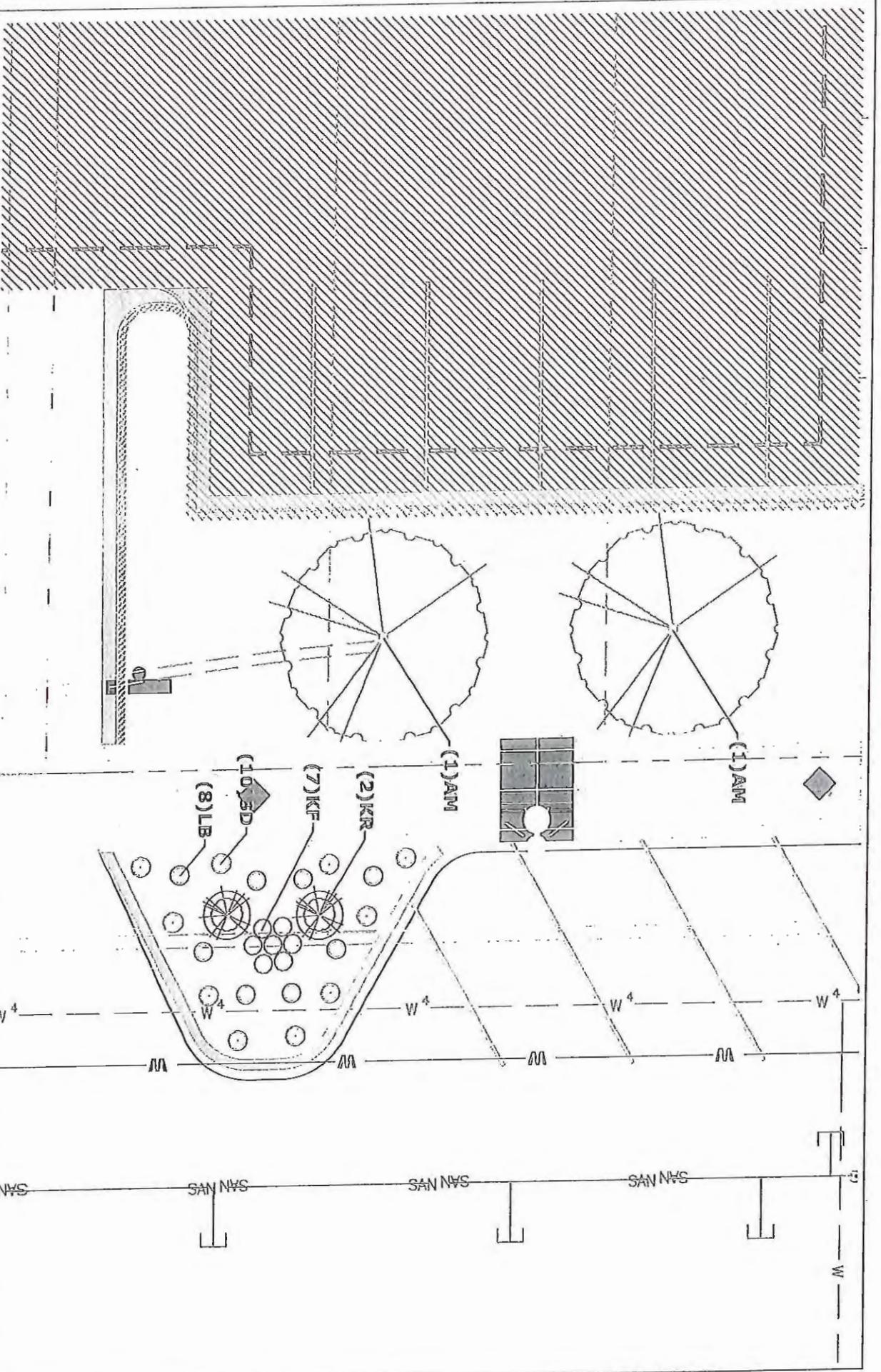
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GRIMES MAIN STREET

MAIN STREET  
 GRIMES, IA 50111

DRAWING:

3



SCALE: 1" = 10' - 0"

DATE: 4/10/2014

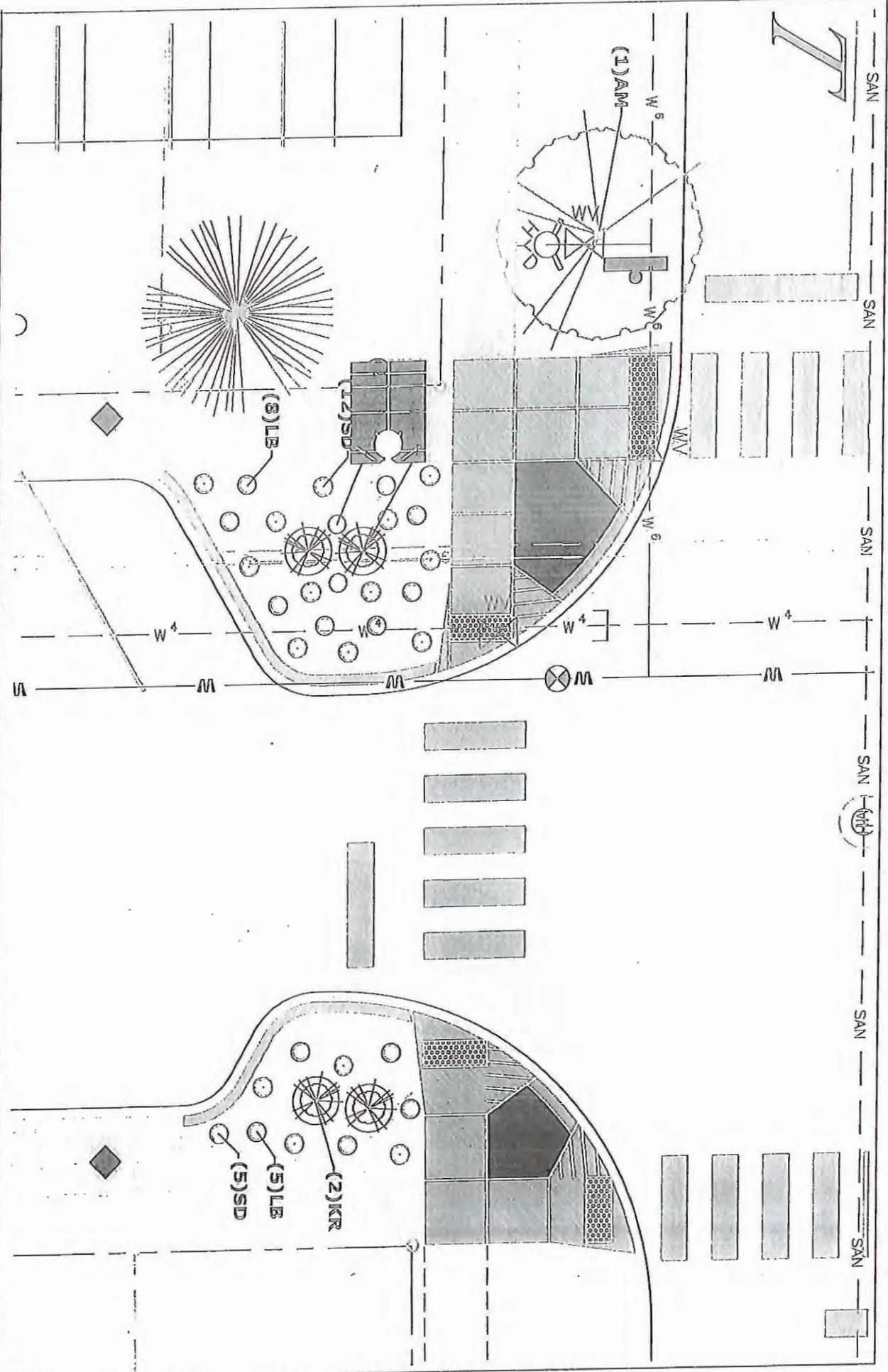
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MAIN STREET  
 GRIMES, IA 50111

DRAWING:

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SCALE: 1" = 10'-0"

DATE: 4/10/2014

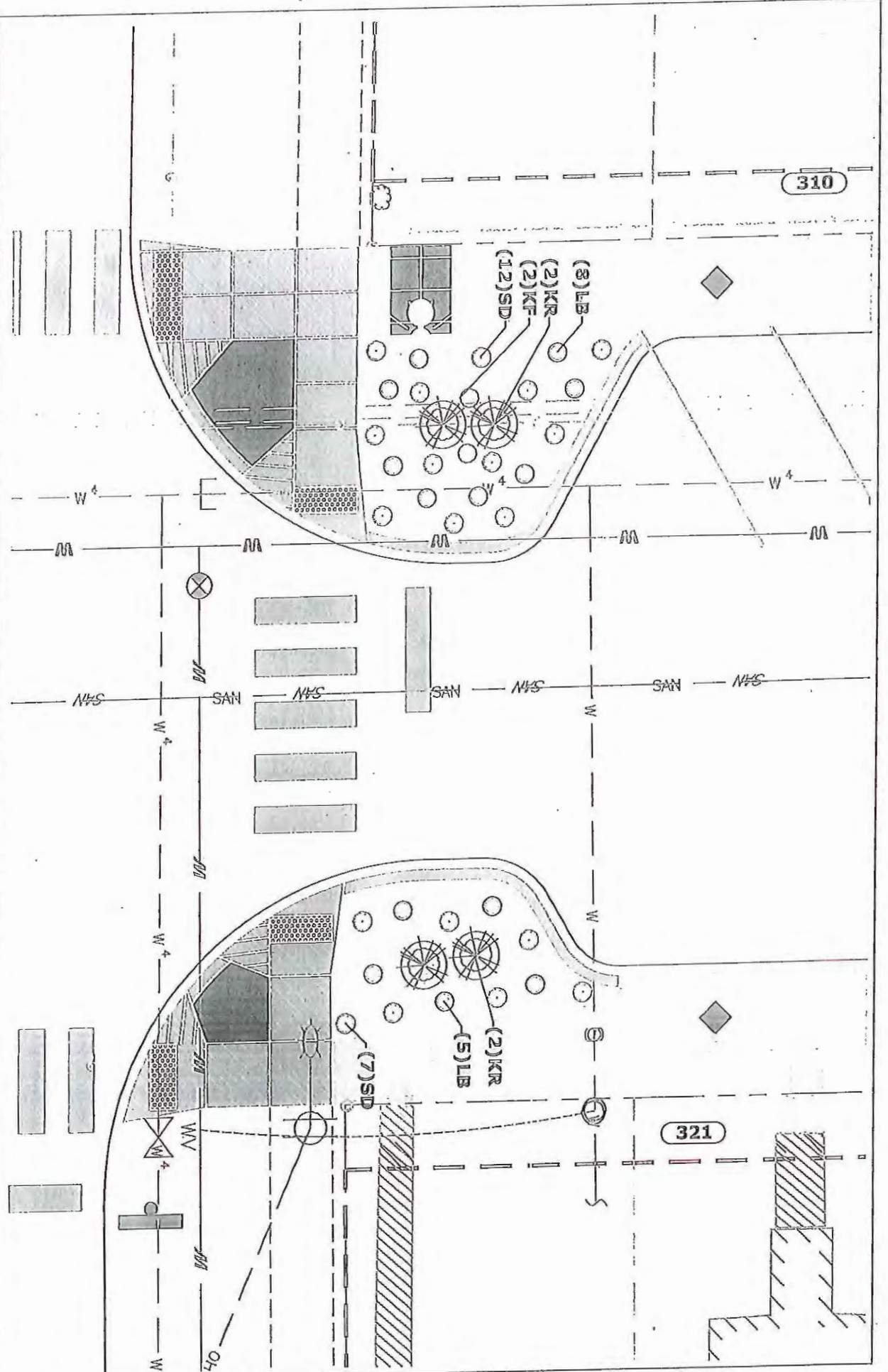
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GRIMES MAIN STREET

MAIN STREET  
 GRIMES, IA 50111

DRAWING:

5



SCALE: 1" = 10'-0"

DATE: 4/10/2014

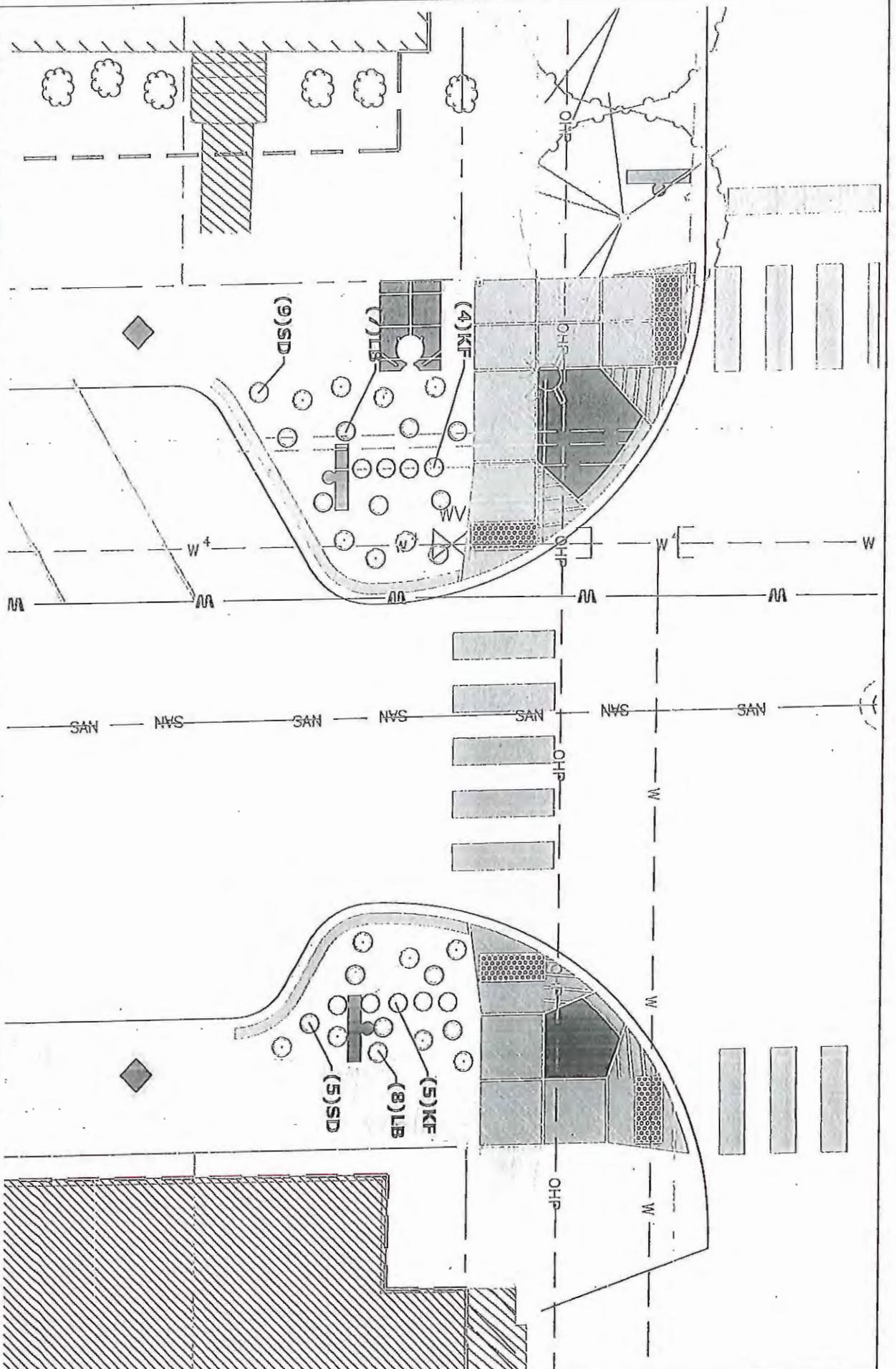
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GRIMES MAIN STREET

MAIN STREET  
 GRIMES, IA 50111

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6



SCALE: 1" = 10' - 0"

DATE: 4/10/2014

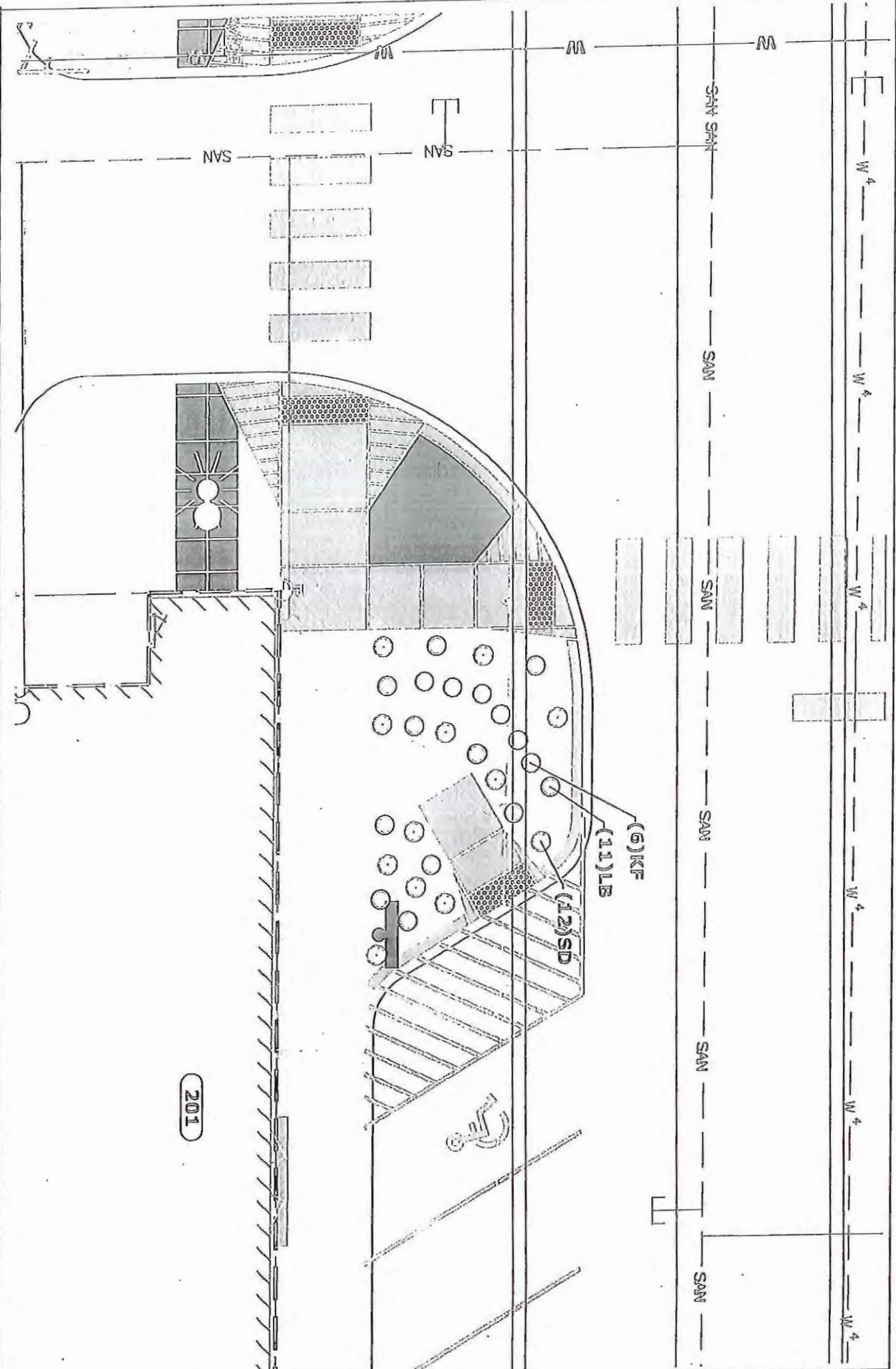
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 MAIN STREET  
 GRIMES, IA 50111

DRAWING:

7





SCALE: 1" = 10'-0"

DATE: 4/10/2014

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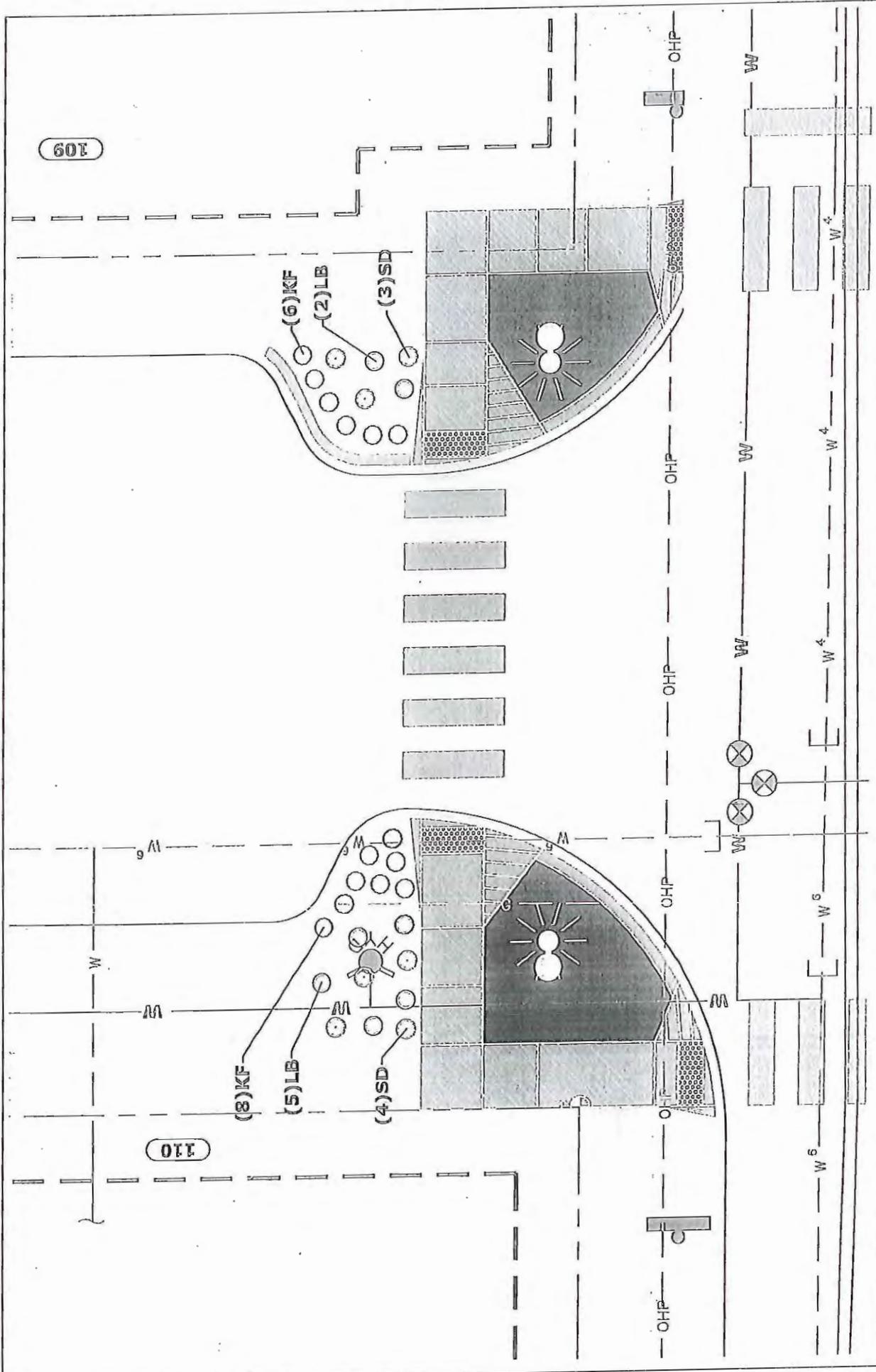
# GRIMES MAIN STREET

MAIN STREET  
 GRIMES, IA 50111

201

DRAWING:

9



SCALE: 1" = 10'-0"

DATE: 4/10/2014

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GRIMES MAIN STREET  
 MAIN STREET  
 GRIMES, IA 50111

DRAWING:

10

May 6, 2014

Kelley Brown, Administrator  
City of Grimes  
101 NE Harvey St.  
Grimes, IA 50111



**Subject:       Governors Days Requests**

Dear Kelley,

The Governors Days Committee has been diligently planning and organizing in preparation for this year's annual celebration of community. In fact, the theme for this year's Governors Days has been announced as "Everything is Awesome".

As per my involvement on the Committee I have been asked to approach the City about several items concerning the 2014 Governors Days event. These items are as follows:

	Financial assistance from the City of Grimes in the amount of \$9,000 or \$10,000 to be used toward the purchase of fireworks. The 2012 allocation was \$9,000; the \$10,000 contract would yield 48 additional shells ranging from three to five inches in size. Details provided upon request.
	Permission to Grimes Chamber & Economic Development to host a beer & entertainment garden in Waterworks Park on Friday and Saturday. Approximate serving times to run from 5 p.m. to 11:30 p.m. on Friday; 1 p.m. to 11:30 p.m. on Saturday. GCED would be required to secure proper licensure, DRAM Shop insurance, and law enforcement officers to oversee the event.
	Approval of proposed parade route for parade scheduled to begin at 10:00 a.m. on Saturday, June 14 <sup>th</sup> , 2014 (see attached document for map of proposed route).
	Approve the temporary closing or traffic control of South James Street from 9:30 a.m. until the conclusion of the parade on Saturday. We ask that the City coordinate efforts with the Polk County Sheriff's Department to control traffic at strategic locations in the community in order to allow the parade and the annual 5k/Fun Run to safely take place.
	Approval of the use of parking lot at the Grimes Sports Complex, as in previous years, for the staging of parade entries.
	Permission to set-up an announcer stand and equipment in front of the old City Hall location along SE 2 <sup>nd</sup> Street or alternatively near the intersection of SE Main and SE 6 <sup>th</sup> Street, just south of the Grimes Community Center.
	Permission to distribute candy to onlookers during the parade.

	<p>A request for the City to coordinate with the Polk County Sheriff's department to see that additional coverage occurs during Governors Days and specifically during the parade (i.e. traffic control).</p> <p>Note that special assistance is requested in helping the invited Isiserettes Drum &amp; Dance Corps cross from the Kiddie Parade route to Waterworks Park on Thursday evening.</p>
	<p>Approve the temporary closing and limited parking along the Kiddie Parade route (TBD) for a "Kiddie Parade" on Thursday, June 12<sup>th</sup>, from 5:30-7:00 p.m.</p>
	<p>Assistance from the City Street Department, as in past years to gather picnic tables, trash cans, fence, dumpsters, kybos, traffic cones and barriers, etc. from around the City and use them in and around Waterworks Park during the celebration. We would also request assistance in installing and tearing down the temporary fence around the area reserved for the entertainment garden. Finally, we would request the honor of having the Street Department and the Grimes Fire &amp; Rescue Department's participation in the parade on Saturday morning.</p>
	<p>Permission to allow Sam's Amusements carnival to use Waterworks Park for equipment and temporary living quarters during the event. As per usual, the carnival will arrive early in the week to set up and undergo safety inspections.</p>
	<p>Close section of NE Jacob Street, from intersection with NE 2<sup>nd</sup> Street to alleyway directly behind (north) Spirits &amp; More during the Car Show on Saturday, June 14<sup>th</sup>. The roadway will be used, in addition to Rick Hutcheson's parking lot area to stage the participating vehicles. It will likely close around 11 a.m. and reopen as soon as possible (likely mid-afternoon).</p>
	<p>Permission to reserve and use the volley ball courts at the Grimes Sports Complex for a volley ball tournament to take place following the parade on Saturday, June 14<sup>th</sup>.</p>

There are a lot of exciting events planned for this event and I encourage you to visit the event website [www.governorsdays.com](http://www.governorsdays.com) to see all of the details. As always we welcome any comments and constructive criticisms that will help to improve the festival.

If you, Mayor Armstrong, or the City Council have any questions or need clarification on any of the above items, please feel free to contact me at your convenience.

Finally, I would like to pass along a reminder to Mayor Armstrong and members of the City Council. **Please contact Marie Hutcheson as soon as possible regarding your ability and desire to participate in the Governors Days Parade.** Marie is again organizing the parade and she needs time to find parade vehicles for all interested parties.

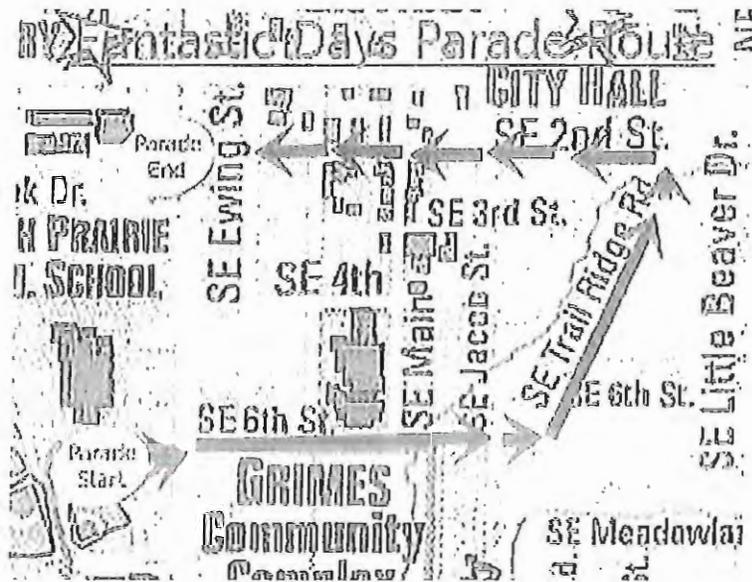
Thank you.

Sincerely,



Brian Buethe  
Executive Director  
Grimes Chamber & Economic Development

## Saturday Governors Days Parade Route



## Thursday "Kiddie Parade" Route

The Kiddie Parade Route will be along SE Main Street beginning at the Grimes Community Complex and ending at Grimes Waterworks Park.





May 6, 2014

Fox Engineering  
414 S 17<sup>th</sup> St.  
Suite 107  
Ames, IA 50010

Re: Grimes SE Main Street Improvements  
Absolute Project # ACC13-004

To Whom It May Concern:

Absolute Concrete is requesting the early release of a portion of funds retained on the public improvement project designated as Grimes SE Main Street Improvements for which we were the prime contractor for. This request is being made in pursuant to Iowa Code section 26.13. Absolute Concrete has notified all known subcontractors and suppliers who have or may have provided labor or materials at least ten calendar days prior to this request. The amount of retained funds available to be released is in the amount of \$59,732.90. This notice is provided in accordance with Iowa Code section 26.13.

Sincerely,

Brian Watson

505 1<sup>ST</sup> AVE, SLATER, IOWA 50244    PHONE 515-228-3030    FAX 515-228-3031





## Memorandum

Aspen Business Park | 414 South 17<sup>th</sup> Street, Suite 107 | Ames, Iowa 50010

SE Main Street Improvements, Grimes, IA  
May 6, 2014

**To:** City of Grimes  
**Attention:** Rochelle Williams  
**From:** Mitch Holtz, P.E.  
**RE:** Early Release of Retained Funds

Absolute Concrete has notified FOX Engineering that they would like an early release of funds for the SE Main Street Improvements project in accordance with Iowa Code Section 26.13 and in conjunction with completion of punchlist items as per the project contract documents. Absolute Concrete has provided the necessary certification that all subs have been given proper notice (in accordance with Iowa Code 26.13) that Absolute will be seeking said early release. The purpose of the request is to have the city of Grimes release and pay funds for all work that has been performed as of the date of their request. The letter of request has been attached.

FOX Engineering has totaled the value of the remaining contract items (\$6,208.50) in addition to the items remaining on the project punchlist generated on May 1, 2014 (\$5,270.00). This total (\$11,478.50) was doubled (\$22,957.00) and added to what was already paid out for retainage (\$22,720.18) and then subtracted from the total retainage (\$105,410.08) to determine the allowed release of retainage (\$59,732.90).

FOX Engineering has generated a progress payment form that documents this partial release of retainage. FOX recommends that the city of Grimes release retainage in the amount of \$59,732.90 as per Absolute Concrete's request and pursuant to Iowa Code section 26.13. I'll request that you put this progress payment on the May 13, 2014 Council Meeting Agenda. This Progress Payment will also include additional change orders that were added to the project.

If you have any questions, please contact me.

Very truly yours,  
FOX Engineering Associates, Inc.

Mitch Holtz, P.E.  
Project Engineer

**Enclosures:** *Progress Payment No. 10  
Request for Retained Funds, Absolute Concrete*

**cc:** *Kelley Brown, Grimes City Administrator*

# Landscapes By Design, Inc.

Landscapes By Design, Inc.

PO Box 506  
Slater, IA 50244

(515)685-2508  
www.Landscapes-By-Design.com



## Estimate

Date	Estimate No.
05/01/2014	3932
	Exp. Date
	06/01/2014

Address
Absolute Concrete PO Box 148 Slater, Iowa 50244

				Sales Rep
				Weston
Date	Activity	Quantity	Rate	Amount
04/11/2014	General construction labor - per man hour	1	5,720.00	5,720.00
04/11/2014	Hardwood Mulch: one cubic yard covers about 100 square feet spread at 3-4" thick - per cubic yard	33	38.50	1,270.50
04/11/2014	Shrubs - per plan	20	42.50	850.00
04/11/2014	Grasses - per plan	158	17.50	2,765.00
04/11/2014	Perennials - per plan	115	10.50	1,207.50
04/11/2014	Tree will be planted in hole at a proper depth for the root flare and two times wider than the root ball, backfilled with soil and staked. Stakes should be removed by client after the roots are established. Trees should be monitored to be sure any irrigation system is not delivering excessive water. See care sheet for more information.	12	375.00	4,500.00
05/01/2014	Remove debris from site - per trailer load	4	135.00	540.00
05/01/2014	Mobilization of materials, equipment, and crew to jobsite	1	895.00	895.00
05/01/2014	This project is tax exempt for City of Grimes			
			<b>Total</b>	<b>\$17,748.00</b>

All trees and shrubs installed by Landscapes By Design, Inc. have a one year guarantee for one year from date of installation. Ornamental grasses, perennials, and roses are excluded from this guarantee. 35% of this estimate due at time of acceptance. Landscapes By Design, Inc. accepts cash, check, Visa or Mastercard. There is a 3% service charge when using a credit card.

Accepted By

Accepted Date

# Contractor's Application for Payment No. 10

Unit Price Contract      Project: SE Main Street Improvements      From (Contractor): Absolute Concrete Construction      Application Date: 5/13/2014  
 To (Owner): City of Gfimes      Owner's Project No.:      Period From:      Period To:      Via (Engineer): FOX Engineering      Engineer's Proj. No.: 1005-03M

Approved Change Order Summary:	
No.	Date Approved
1	8/13/2013
2	9/10/2013
3	11/5/2013
4	1/28/2014
5	5/13/2014
TOTALS	
NET CHANGE BY CHANGE ORDERS	

**Contractor's Certification**  
 The undersigned Contractor certifies that to the best of its knowledge: (1) all previous progress payments received from Owner on account of Work done under the Contract have been applied on account to discharge Contractor's legitimate obligations incurred in connection with Work covered by prior Applications for Payment; (2) title of all Work, materials and equipment incorporated in said Work or otherwise listed in or covered by this Application for Payment will pass to Owner at time of payment free and clear of all Liens, security interests and encumbrances (except such as are covered by a Bond acceptable to Owner indemnifying Owner against any such Liens, security interest or encumbrances); and (3) all Work covered by this Application for Payment is in accordance with the Contract Documents and is not defective.

By: *Jimmy West*      Date: 5/16/14

1. ORIGINAL CONTRACT PRICE..... \$ 1,995,000.05  
 2. Net change by Change Orders..... \$ 80,166.93  
 3. Current Contract Price (Line 1 + 2)..... \$ 2,065,166.98  
 4. TOTAL COMPLETED AND STORED TO DATE  
 (Column F on Progress Estimate)..... \$ 2,108,201.61  
 5. RETAINAGE:  
     a. 5%      X      \$2,108,201.61      Work Completed..... \$ 105,410.08  
     b. 5%      X      \_\_\_\_\_      Stored Material..... \$ \_\_\_\_\_  
     c. Less Total Retainage Released Early..... \$ 82,453.08  
     d. Total Retainage (Line 5a + Line 5b - Line 5c)..... \$ 22,957.00  
 6. AMOUNT ELIGIBLE TO DATE (Line 4 - Line 5c)..... \$ 2,085,244.61  
 7. LESS PREVIOUS PAYMENTS (Line 6 from prior Application)..... \$ 2,007,259.43  
 8. AMOUNT DUE THIS APPLICATION..... \$ 77,985.18  
 9. BALANCE TO FINISH, PLUS RETAINAGE  
 (Column G on Progress Estimate + Line 5 above)..... \$ -20,077.63

Payment of: \$ 77,985.18 (Line 8 or other - attach explanation of the other amount).  
 is recommended by: *John A. [Signature]* (Engineer)      Date: 5/16/14  
 Payment of: \$ \_\_\_\_\_ (Line 8 or other - attach explanation of the other amount)  
 is approved by: \_\_\_\_\_ (Owner)      Date: \_\_\_\_\_

# Progress Estimate

For (Contract): SE Rain Street Improvements  
 Contractor: Absolute Concrete Construction

# Contractor's Application

Owner's Proj. No.: 1002-034  
 Engineer's Proj. No.: 1002-034  
 Application Number: 30  
 Application Date: 2/27/2014

Bid Item No.	Item Description	Bid Quantity	Quantity Change (Qty Order)	B		C		D		E		F		G	
				Total Quantity	Unit Price	Extended Price	Estimated Quantity	Value	Materials Presently Stored (net in CI)	Total Completed and Stored to Date (ID + E)	% (F/D)	Balance to Finish (D - F)			
1.01	MOBILIZATION	1		1	\$90,267.47	\$90,267.47	1	\$90,267.47	100.0%	\$0.00					
1.02	TRAFFIC CONTROL & STAKING	1		1	\$8,300.00	\$8,300.00	1	\$8,300.00	100.0%	\$0.00					
1.03	CHANGEABLE MESSAGE SIGN, PORTABLE	12		7	\$595.00	\$4,165.00	7	\$4,165.00	58.3%	\$375.00					
1.04	REMOVAL AND REPAIRMENT OF MANHOLE	1		1	\$2,000.00	\$2,000.00	1	\$2,000.00	100.0%	\$0.00					
1.05	TEMPORARY MANHOLE	1		1	\$1,500.00	\$1,500.00	1	\$1,500.00	100.0%	\$0.00					
1.06	REMOVAL OF CURBS	1		1	\$2,500.00	\$2,500.00	1	\$2,500.00	100.0%	\$0.00					
1.07	REMOVAL, MISCELLANEOUS	1		1	\$25,000.00	\$25,000.00	1	\$25,000.00	100.0%	\$0.00					
2.01	CLAYING AND GRUBBING	1		1	\$32,265.00	\$32,265.00	1	\$32,265.00	100.0%	\$0.00					
2.02	TOPSOIL, FURNISH AND SPREAD	717		717	\$32,265.00	\$32,265.00	717	\$32,265.00	100.0%	\$0.00					
2.03	EXCAVATION, CLASS 10	5,640	37	5,677	\$97,537.50	\$97,537.50	5,620	\$97,537.50	102.2%	-\$2,343.75					
2.04	SUBGRADE PREPARATION, C-INCH	13,847	355	14,202	\$14,202.00	\$14,202.00	13,868	\$14,202.00	106.5%	-\$1,240.16					
2.05	MODIFIED SUBBASE, C-INCH	10,000	2,076	12,076	\$9,700.00	\$9,700.00	12,000	\$9,700.00	102.4%	-\$3,132.04					
2.06	TEMPORARY ROCK	200		200	\$282.00	\$282.00	200	\$282.00	100.0%	\$0.00					
2.07	REMOVAL OF STRUCTURE, EXISTING STORM SEWER STRUCTURE	250		250	\$250.00	\$250.00	250	\$250.00	100.0%	\$0.00					
2.08	REMOVAL OF PIPE, EXISTING STORM SEWER	250		250	\$250.00	\$250.00	250	\$250.00	100.0%	\$0.00					
2.09	ABANDONMENT OF EXISTING WATER MAIN	250		250	\$250.00	\$250.00	250	\$250.00	100.0%	\$0.00					
3.01	TRENCH FOUNDATION	1		1	\$2,000.00	\$2,000.00	1	\$2,000.00	100.0%	\$0.00					
3.02	REPLACEMENT OF UNSUITABLE BACKFILL MATERIAL	300		300	\$225.00	\$225.00	300	\$225.00	100.0%	\$0.00					
4.01	STORM SEWER, TRENCHED, PVC 6" DIA, 12' INCH	200		200	\$4,700.00	\$4,700.00	200	\$4,700.00	100.0%	\$0.00					
4.02	STORM SEWER, TRENCHED, PVC 6" DIA, 12' INCH	1,295		1,295	\$11,725.00	\$11,725.00	1,295	\$11,725.00	100.0%	\$0.00					
4.03	STORM SEWER, TRENCHED, RCP, 18" INCH	200		200	\$3,000.00	\$3,000.00	200	\$3,000.00	100.0%	\$0.00					
4.04	STORM SEWER, TRENCHED, RCP, 18" INCH	1,567		1,567	\$45,493.00	\$45,493.00	1,567	\$45,493.00	100.0%	\$0.00					
4.05	STORM SEWER, TRENCHED, RCP, 18" INCH	12		12	\$696.00	\$696.00	12	\$696.00	100.0%	\$0.00					
4.06	STORM SEWER, TRENCHED, RCP, 36" INCH	913		913	\$29,791.00	\$29,791.00	913	\$29,791.00	100.0%	\$0.00					
4.07	REPLACEMENT OF STORM SEWER, RCP, 36" INCH	217		217	\$11,935.00	\$11,935.00	217	\$11,935.00	100.0%	\$0.00					
4.08	STORM SEWER, TRENCHED, PVC, 6" DIA, DUAL WALL	170		170	\$12,202.00	\$12,202.00	170	\$12,202.00	100.0%	\$0.00					
4.09	STORM SEWER, TRENCHED, PVC, 6" DIA, DUAL WALL	556.00		556.00	\$5,915.00	\$5,915.00	556	\$5,915.00	100.0%	\$0.00					
4.10	SANITARY SEWER SERVICE REPLACEMENT	146		146	\$4,200.00	\$4,200.00	146	\$4,200.00	100.0%	\$0.00					
4.11	SANITARY SEWER SERVICE REPLACEMENT	1,300		1,300	\$44,168.00	\$44,168.00	1,300	\$44,168.00	100.0%	\$0.00					
4.12	SANITARY SEWER SERVICE CONNECTION	35		35	\$61,775.00	\$61,775.00	35	\$61,775.00	100.0%	\$0.00					
4.13	SANITARY SEWER SERVICE LOWERING	4		4	\$1,020.00	\$1,020.00	4	\$1,020.00	100.0%	\$0.00					
4.14	SANITARY SEWER CLEANOUT	4		4	\$2,500.00	\$2,500.00	4	\$2,500.00	100.0%	\$0.00					
4.15	EXISTING TILE INVESTIGATION	1		1	\$1,002.00	\$1,002.00	1	\$1,002.00	100.0%	\$0.00					
4.16	PIPE APPROX. CONCRETE, 36" INCH	1		1	\$1,002.00	\$1,002.00	1	\$1,002.00	100.0%	\$0.00					
4.17	SUBURBAN CLEANOUT, 18" DIA, 4' DIA	301		301	\$4,092.00	\$4,092.00	301	\$4,092.00	100.0%	\$0.00					
4.18	STORM SEWER SERVICE, 48" INCH	4		4	\$3,000.00	\$3,000.00	4	\$3,000.00	100.0%	\$0.00					
4.19	SOUP LINE - 2" INCH	130		130	\$2,240.00	\$2,240.00	130	\$2,240.00	100.0%	\$0.00					

# Progress Estimate

For Contract: 58 Vain Street Improvements  
Contractor: Absolute Concrete Construction

Owner's Proj. No.: 1005-03M  
Engineer's Proj. No.: 1005-03M

# Contractor's Application

Application Number: 10  
Application Date: 2/25/2014

Bid Item No.	Item Description	Bid Quantity	Quantity Change (By Change Order)	B		C	D		E	F	G	
				Total Quantity	Unit Price		Extended Price	Estimated Quantity Installed				Value
5.01	WATER MAIN CONNECTIONS	2		2	\$2,670.00	\$2,670.00	2	\$2,670.00		\$2,670.00	100.0%	\$0.00
5.02	WATER MAIN CONNECTIONS, SIDE STREETS	5		5	\$3,110.00	\$15,550.00	5	\$15,550.00		\$15,550.00	100.0%	\$0.00
5.03	TEMPORARY WATER SERVICE	1		1	\$15,550.00	\$15,550.00	1	\$15,550.00		\$15,550.00	100.0%	\$0.00
5.04	WATER MAIN, TRENCHED, PVC OR DIP, 6-INCH	270		270	\$17.00	\$4,590.00	270	\$4,590.00		\$4,590.00	100.0%	\$0.00
5.05	WATER MAIN, TRENCHED, PVC OR DIP, 6-INCH	1,037		1,037	\$22.00	\$22,814.00	1,037	\$22,814.00		\$22,814.00	100.0%	\$0.00
5.06	GATE VALVE, 6-INCH	1		1	\$7,700.00	\$7,700.00	1	\$7,700.00		\$7,700.00	100.0%	\$0.00
5.07	GATE VALVE, 6-INCH	7		7	\$1,850.00	\$12,950.00	7	\$12,950.00		\$12,950.00	100.0%	\$0.00
5.08	WATER MAIN, TRENCHED	1		1	\$1,850.00	\$1,850.00	1	\$1,850.00		\$1,850.00	100.0%	\$0.00
5.09	WATER SERVICE PIPE, 4" COPPER	272	-20	252	\$14.00	\$3,528.00	272	\$3,808.00		\$3,808.00	94.2%	\$775.00
5.10	WATER SERVICE PIPE, 4" COPPER	20		20	\$1,070.00	\$21,400.00	27	\$28,890.00		\$28,890.00	102.0%	\$-1,090.00
5.11	WATER SERVICE HARDWARE	4		4	\$1,270.00	\$5,080.00	3	\$3,810.00		\$3,810.00	75.0%	\$1,270.00
5.12	FIRE HYDRANT ASSEMBLY, WM-40T	5		5	\$2,455.00	\$12,275.00	4	\$20,970.00		\$20,970.00	100.0%	\$-8,695.00
5.13	REMOVE AND SALVAGE FIRE HYDRANT	1		1	\$7,700.00	\$7,700.00	1	\$7,700.00		\$7,700.00	100.0%	\$0.00
5.14	WATER MAIN, TESTING	1		1	\$1,850.00	\$1,850.00	1	\$1,850.00		\$1,850.00	100.0%	\$0.00
5.15	STORM SEWER MANHOLE, SW, 40", 48-INCH	4		4	\$1,975.00	\$7,900.00	4	\$7,900.00		\$7,900.00	100.0%	\$0.00
5.16	STORM SEWER MANHOLE, SW, 40", 48-INCH	4		4	\$2,650.00	\$10,600.00	4	\$10,600.00		\$10,600.00	100.0%	\$0.00
5.17	INTAKE, SW-40T	5		5	\$1,950.00	\$9,750.00	6	\$9,900.00		\$9,900.00	100.0%	\$-150.00
5.18	INTAKE, SW-40T	2		2	\$1,950.00	\$3,900.00	3	\$5,850.00		\$5,850.00	100.0%	\$-1,950.00
5.19	INTAKE, SW-40T	2		2	\$1,950.00	\$3,900.00	3	\$5,850.00		\$5,850.00	100.0%	\$-1,950.00
5.20	INTAKE, SW-40T	2		2	\$1,950.00	\$3,900.00	3	\$5,850.00		\$5,850.00	100.0%	\$-1,950.00
5.21	INTAKE, SW-40T	2		2	\$1,950.00	\$3,900.00	3	\$5,850.00		\$5,850.00	100.0%	\$-1,950.00
5.22	INTAKE, SW-40T	2		2	\$1,950.00	\$3,900.00	3	\$5,850.00		\$5,850.00	100.0%	\$-1,950.00
5.23	INTAKE, SW-40T	2		2	\$1,950.00	\$3,900.00	3	\$5,850.00		\$5,850.00	100.0%	\$-1,950.00
5.24	INTAKE, SW-40T	2		2	\$1,950.00	\$3,900.00	3	\$5,850.00		\$5,850.00	100.0%	\$-1,950.00
5.25	INTAKE, SW-40T	2		2	\$1,950.00	\$3,900.00	3	\$5,850.00		\$5,850.00	100.0%	\$-1,950.00
5.26	INTAKE, SW-40T	2		2	\$1,950.00	\$3,900.00	3	\$5,850.00		\$5,850.00	100.0%	\$-1,950.00
5.27	INTAKE, SW-40T	2		2	\$1,950.00	\$3,900.00	3	\$5,850.00		\$5,850.00	100.0%	\$-1,950.00
5.28	INTAKE, SW-40T	2		2	\$1,950.00	\$3,900.00	3	\$5,850.00		\$5,850.00	100.0%	\$-1,950.00
5.29	INTAKE, SW-40T	2		2	\$1,950.00	\$3,900.00	3	\$5,850.00		\$5,850.00	100.0%	\$-1,950.00
5.30	INTAKE, SW-40T	2		2	\$1,950.00	\$3,900.00	3	\$5,850.00		\$5,850.00	100.0%	\$-1,950.00
5.31	INTAKE, SW-40T	2		2	\$1,950.00	\$3,900.00	3	\$5,850.00		\$5,850.00	100.0%	\$-1,950.00
5.32	INTAKE, SW-40T	2		2	\$1,950.00	\$3,900.00	3	\$5,850.00		\$5,850.00	100.0%	\$-1,950.00
5.33	INTAKE, SW-40T	2		2	\$1,950.00	\$3,900.00	3	\$5,850.00		\$5,850.00	100.0%	\$-1,950.00
5.34	INTAKE, SW-40T	2		2	\$1,950.00	\$3,900.00	3	\$5,850.00		\$5,850.00	100.0%	\$-1,950.00
5.35	INTAKE, SW-40T	2		2	\$1,950.00	\$3,900.00	3	\$5,850.00		\$5,850.00	100.0%	\$-1,950.00
5.36	INTAKE, SW-40T	2		2	\$1,950.00	\$3,900.00	3	\$5,850.00		\$5,850.00	100.0%	\$-1,950.00
5.37	INTAKE, SW-40T	2		2	\$1,950.00	\$3,900.00	3	\$5,850.00		\$5,850.00	100.0%	\$-1,950.00
5.38	INTAKE, SW-40T	2		2	\$1,950.00	\$3,900.00	3	\$5,850.00		\$5,850.00	100.0%	\$-1,950.00
5.39	INTAKE, SW-40T	2		2	\$1,950.00	\$3,900.00	3	\$5,850.00		\$5,850.00	100.0%	\$-1,950.00
5.40	INTAKE, SW-40T	2		2	\$1,950.00	\$3,900.00	3	\$5,850.00		\$5,850.00	100.0%	\$-1,950.00
5.41	INTAKE, SW-40T	2		2	\$1,950.00	\$3,900.00	3	\$5,850.00		\$5,850.00	100.0%	\$-1,950.00
5.42	INTAKE, SW-40T	2		2	\$1,950.00	\$3,900.00	3	\$5,850.00		\$5,850.00	100.0%	\$-1,950.00
5.43	INTAKE, SW-40T	2		2	\$1,950.00	\$3,900.00	3	\$5,850.00		\$5,850.00	100.0%	\$-1,950.00
5.44	INTAKE, SW-40T	2		2	\$1,950.00	\$3,900.00	3	\$5,850.00		\$5,850.00	100.0%	\$-1,950.00
5.45	INTAKE, SW-40T	2		2	\$1,950.00	\$3,900.00	3	\$5,850.00		\$5,850.00	100.0%	\$-1,950.00
5.46	INTAKE, SW-40T	2		2	\$1,950.00	\$3,900.00	3	\$5,850.00		\$5,850.00	100.0%	\$-1,950.00
5.47	INTAKE, SW-40T	2		2	\$1,950.00	\$3,900.00	3	\$5,850.00		\$5,850.00	100.0%	\$-1,950.00
5.48	INTAKE, SW-40T	2		2	\$1,950.00	\$3,900.00	3	\$5,850.00		\$5,850.00	100.0%	\$-1,950.00
5.49	INTAKE, SW-40T	2		2	\$1,950.00	\$3,900.00	3	\$5,850.00		\$5,850.00	100.0%	\$-1,950.00
5.50	INTAKE, SW-40T	2		2	\$1,950.00	\$3,900.00	3	\$5,850.00		\$5,850.00	100.0%	\$-1,950.00
5.51	INTAKE, SW-40T	2		2	\$1,950.00	\$3,900.00	3	\$5,850.00		\$5,850.00	100.0%	\$-1,950.00
5.52	INTAKE, SW-40T	2		2	\$1,950.00	\$3,900.00	3	\$5,850.00		\$5,850.00	100.0%	\$-1,950.00
5.53	INTAKE, SW-40T	2		2	\$1,950.00	\$3,900.00	3	\$5,850.00		\$5,850.00	100.0%	\$-1,950.00
5.54	INTAKE, SW-40T	2		2	\$1,950.00	\$3,900.00	3	\$5,850.00		\$5,850.00	100.0%	\$-1,950.00
5.55	INTAKE, SW-40T	2		2	\$1,950.00	\$3,900.00	3	\$5,850.00		\$5,850.00	100.0%	\$-1,950.00
5.56	INTAKE, SW-40T	2		2	\$1,950.00	\$3,900.00	3	\$5,850.00		\$5,850.00	100.0%	\$-1,950.00
5.57	INTAKE, SW-40T	2		2	\$1,950.00	\$3,900.00	3	\$5,850.00		\$5,850.00	100.0%	\$-1,950.00
5.58	INTAKE, SW-40T	2		2	\$1,950.00	\$3,900.00	3	\$5,850.00		\$5,850.00	100.0%	\$-1,950.00
5.59	INTAKE, SW-40T	2		2	\$1,950.00	\$3,900.00	3	\$5,850.00		\$5,850.00	100.0%	\$-1,950.00
5.60	INTAKE, SW-40T	2		2	\$1,950.00	\$3,900.00	3	\$5,850.00		\$5,850.00	100.0%	\$-1,950.00
5.61	INTAKE, SW-40T	2		2	\$1,950.00	\$3,900.00	3	\$5,850.00		\$5,850.00	100.0%	\$-1,950.00
5.62	INTAKE, SW-40T	2		2	\$1,950.00	\$3,900.00	3	\$5,850.00		\$5,850.00	100.0%	\$-1,950.00
5.63	INTAKE, SW-40T	2		2	\$1,950.00	\$3,900.00	3	\$5,850.00		\$5,850.00	100.0%	\$-1,950.00
5.64	INTAKE, SW-40T	2		2	\$1,950.00	\$3,900.00	3	\$5,850.00		\$5,850.00	100.0%	\$-1,950.00
5.65	INTAKE, SW-40T	2		2	\$1,950.00	\$3,900.00	3	\$5,850.00		\$5,850.00	100.0%	\$-1,950.00
5.66	INTAKE, SW-40T	2		2	\$1,950.00	\$3,900.00	3	\$5,850.00		\$5,850.00	100.0%	\$-1,950.00
5.67	INTAKE, SW-40T	2		2	\$1,950.00	\$3,900.00	3	\$5,850.00		\$5,850.00	100.0%	\$-1,950.00
5.68	INTAKE, SW-40T	2		2	\$1,950.00	\$3,900.00	3	\$5,850.00		\$5,850.00	100.0%	\$-1,950.00
5.69	INTAKE, SW-40T	2		2	\$1,950.00	\$3,900.00	3	\$5,850.00		\$5,850.00	100.0%	\$-1,950.00
5.70	INTAKE, SW-40T	2		2	\$1,950.00	\$3,900.00	3	\$5,850.00		\$5,850.00	100.0%	\$-1,950.00
5.71	INTAKE, SW-40T	2		2	\$1,950.00	\$3,900.00	3	\$5,850.00		\$5,850.00	100.0%	\$-1,950.00
5.72	INTAKE, SW-40T	2		2	\$1,950.00	\$3,900.00	3	\$5,850.00		\$5,850.00	100.0%	\$-1,950.00
5.73	INTAKE, SW-40T	2		2	\$1,950.00	\$3,900.00	3	\$5,850.00		\$5,850.00	100.0%	\$-1,950.00
5.74	INTAKE, SW-40T	2		2	\$1,950.00	\$3,900.00	3	\$5,850.00		\$5,850.00	100.0%	\$-1,950.00
5.75	INTAKE, SW-40T	2		2	\$1,950.00	\$3,900.00	3	\$5,850.00		\$5,850.00	100.0%	\$-1,950.00
5.76	INTAKE, SW-40T	2		2	\$1,950.00	\$3,900.00	3	\$5,850.00		\$5,850.00	100.0%	\$-1,950.00
5.77	INTAKE, SW-40T	2		2	\$1,950.00	\$3,900.00	3	\$5,850.00		\$5,850.00	100.0%	\$-1,950.00
5.78	INTAKE, SW-40T	2		2	\$1,950.00	\$3,900.00	3	\$5,850.00		\$5,850.00	100.0%	\$-1,950.00
5.79	INTAKE, SW-40T	2		2	\$1,950.00	\$3,900.00	3	\$5,850.00		\$5,850.00	100.0%	\$-1,950.00
5.80	INTAKE, SW-40T	2		2	\$1,950.00	\$3,900.00	3	\$5,850.00		\$5,850.00	100.0%	\$-1,950.00
5.81	INTAKE, SW-40T	2		2	\$1,950.00	\$3,900.00	3	\$5,850.00		\$5,850.00	100.0%	\$-1,950.00
5.82	INTAKE, SW-40T	2		2	\$1,950.00	\$3,900.00	3	\$5,850.00		\$5,850.00	100.0%	\$-1,950.00
5.83	INTAKE, SW-40T	2										

# Progress Estimate

For Contract: SE Main Street Improvement  
Contractor: Spaulding Concrete Construction

# Contractor's Application

Owner's Proj. No.: 1000-CON  
Application Number: 30  
Application Date: 2/25/2014

Bid Item No.	Item Description	A		B		C		D		E		F		G	
		Quantity	Change (Qty, Change Order)	Total Quantity	Unit Price	Extended Price	Contracted Installed	Value	Material Presently Stored (est. in C)	Total Contracted and Stored to Date (C + E)	% (F/B)	Balance to Finish (B - F)			
0.01	DECORATIVE FENCING	24	-04	508	\$25.00	\$12,700.00	590	\$19,470.00		\$19,470.00	98.7%	\$264.00			
0.02	WATER FOR SOD	280	10	895	\$7.00	\$6,265.00	601	\$4,216.00		\$6,265.00	107.6%	-\$441.00			
0.03	RIP RAP, CLASS E REVEALMENT	825	15	840	\$25.00	\$21,000.00	31	\$775.00		\$21,775.00	206.7%	-\$905.00			
0.04	EROSION CONTROL MULCHING, HYDROMULCHING	15	2	17	\$200.00	\$3,400.00	31	\$6,150.00		\$6,150.00	180.9%	-\$1,050.00			
0.05	EROSION CONTROL BLANKET	2	2	4	\$150.00	\$600.00	3,167	\$475,950.00		\$476,550.00	150.4%	-\$1,050.00			
0.06	TUBE REINFORCEMENT MATTING	50	20	70	\$15.00	\$1,050.00		\$1,050.00		\$1,050.00	100.0%	\$0.00			
0.07	SILT FENCE, INSTALL & REMOVE	200	200	400	\$2.50	\$1,000.00		\$1,000.00		\$1,000.00	100.0%	\$0.00			
0.08	SILT FENCE, INSTALL & REMOVE	200	200	400	\$2.50	\$1,000.00		\$1,000.00		\$1,000.00	100.0%	\$0.00			
0.09	SILT FENCE, INSTALL & REMOVE	200	200	400	\$2.50	\$1,000.00		\$1,000.00		\$1,000.00	100.0%	\$0.00			
0.10	SLURRY WALL	200	200	400	\$2.50	\$1,000.00		\$1,000.00		\$1,000.00	100.0%	\$0.00			
0.11	SLURRY WALL	200	200	400	\$2.50	\$1,000.00		\$1,000.00		\$1,000.00	100.0%	\$0.00			
0.12	SLURRY WALL	200	200	400	\$2.50	\$1,000.00		\$1,000.00		\$1,000.00	100.0%	\$0.00			
0.13	SLURRY WALL	200	200	400	\$2.50	\$1,000.00		\$1,000.00		\$1,000.00	100.0%	\$0.00			
0.14	SLURRY WALL	200	200	400	\$2.50	\$1,000.00		\$1,000.00		\$1,000.00	100.0%	\$0.00			
0.15	SLURRY WALL	200	200	400	\$2.50	\$1,000.00		\$1,000.00		\$1,000.00	100.0%	\$0.00			
0.16	SLURRY WALL	200	200	400	\$2.50	\$1,000.00		\$1,000.00		\$1,000.00	100.0%	\$0.00			
0.17	SLURRY WALL	200	200	400	\$2.50	\$1,000.00		\$1,000.00		\$1,000.00	100.0%	\$0.00			
0.18	SLURRY WALL	200	200	400	\$2.50	\$1,000.00		\$1,000.00		\$1,000.00	100.0%	\$0.00			
0.19	SLURRY WALL	200	200	400	\$2.50	\$1,000.00		\$1,000.00		\$1,000.00	100.0%	\$0.00			
0.20	SLURRY WALL	200	200	400	\$2.50	\$1,000.00		\$1,000.00		\$1,000.00	100.0%	\$0.00			
0.21	SLURRY WALL	200	200	400	\$2.50	\$1,000.00		\$1,000.00		\$1,000.00	100.0%	\$0.00			
0.22	SLURRY WALL	200	200	400	\$2.50	\$1,000.00		\$1,000.00		\$1,000.00	100.0%	\$0.00			
0.23	SLURRY WALL	200	200	400	\$2.50	\$1,000.00		\$1,000.00		\$1,000.00	100.0%	\$0.00			
0.24	SLURRY WALL	200	200	400	\$2.50	\$1,000.00		\$1,000.00		\$1,000.00	100.0%	\$0.00			
0.25	SLURRY WALL	200	200	400	\$2.50	\$1,000.00		\$1,000.00		\$1,000.00	100.0%	\$0.00			
0.26	SLURRY WALL	200	200	400	\$2.50	\$1,000.00		\$1,000.00		\$1,000.00	100.0%	\$0.00			
0.27	SLURRY WALL	200	200	400	\$2.50	\$1,000.00		\$1,000.00		\$1,000.00	100.0%	\$0.00			
0.28	SLURRY WALL	200	200	400	\$2.50	\$1,000.00		\$1,000.00		\$1,000.00	100.0%	\$0.00			
0.29	SLURRY WALL	200	200	400	\$2.50	\$1,000.00		\$1,000.00		\$1,000.00	100.0%	\$0.00			
0.30	SLURRY WALL	200	200	400	\$2.50	\$1,000.00		\$1,000.00		\$1,000.00	100.0%	\$0.00			
0.31	SLURRY WALL	200	200	400	\$2.50	\$1,000.00		\$1,000.00		\$1,000.00	100.0%	\$0.00			
0.32	SLURRY WALL	200	200	400	\$2.50	\$1,000.00		\$1,000.00		\$1,000.00	100.0%	\$0.00			
0.33	SLURRY WALL	200	200	400	\$2.50	\$1,000.00		\$1,000.00		\$1,000.00	100.0%	\$0.00			
0.34	SLURRY WALL	200	200	400	\$2.50	\$1,000.00		\$1,000.00		\$1,000.00	100.0%	\$0.00			
0.35	SLURRY WALL	200	200	400	\$2.50	\$1,000.00		\$1,000.00		\$1,000.00	100.0%	\$0.00			
0.36	SLURRY WALL	200	200	400	\$2.50	\$1,000.00		\$1,000.00		\$1,000.00	100.0%	\$0.00			
0.37	SLURRY WALL	200	200	400	\$2.50	\$1,000.00		\$1,000.00		\$1,000.00	100.0%	\$0.00			
0.38	SLURRY WALL	200	200	400	\$2.50	\$1,000.00		\$1,000.00		\$1,000.00	100.0%	\$0.00			
0.39	SLURRY WALL	200	200	400	\$2.50	\$1,000.00		\$1,000.00		\$1,000.00	100.0%	\$0.00			
0.40	SLURRY WALL	200	200	400	\$2.50	\$1,000.00		\$1,000.00		\$1,000.00	100.0%	\$0.00			
0.41	SLURRY WALL	200	200	400	\$2.50	\$1,000.00		\$1,000.00		\$1,000.00	100.0%	\$0.00			
0.42	SLURRY WALL	200	200	400	\$2.50	\$1,000.00		\$1,000.00		\$1,000.00	100.0%	\$0.00			
0.43	SLURRY WALL	200	200	400	\$2.50	\$1,000.00		\$1,000.00		\$1,000.00	100.0%	\$0.00			
0.44	SLURRY WALL	200	200	400	\$2.50	\$1,000.00		\$1,000.00		\$1,000.00	100.0%	\$0.00			
0.45	SLURRY WALL	200	200	400	\$2.50	\$1,000.00		\$1,000.00		\$1,000.00	100.0%	\$0.00			
0.46	SLURRY WALL	200	200	400	\$2.50	\$1,000.00		\$1,000.00		\$1,000.00	100.0%	\$0.00			
0.47	SLURRY WALL	200	200	400	\$2.50	\$1,000.00		\$1,000.00		\$1,000.00	100.0%	\$0.00			
0.48	SLURRY WALL	200	200	400	\$2.50	\$1,000.00		\$1,000.00		\$1,000.00	100.0%	\$0.00			
0.49	SLURRY WALL	200	200	400	\$2.50	\$1,000.00		\$1,000.00		\$1,000.00	100.0%	\$0.00			
0.50	SLURRY WALL	200	200	400	\$2.50	\$1,000.00		\$1,000.00		\$1,000.00	100.0%	\$0.00			
0.51	SLURRY WALL	200	200	400	\$2.50	\$1,000.00		\$1,000.00		\$1,000.00	100.0%	\$0.00			
0.52	SLURRY WALL	200	200	400	\$2.50	\$1,000.00		\$1,000.00		\$1,000.00	100.0%	\$0.00			
0.53	SLURRY WALL	200	200	400	\$2.50	\$1,000.00		\$1,000.00		\$1,000.00	100.0%	\$0.00			
0.54	SLURRY WALL	200	200	400	\$2.50	\$1,000.00		\$1,000.00		\$1,000.00	100.0%	\$0.00			
0.55	SLURRY WALL	200	200	400	\$2.50	\$1,000.00		\$1,000.00		\$1,000.00	100.0%	\$0.00			
0.56	SLURRY WALL	200	200	400	\$2.50	\$1,000.00		\$1,000.00		\$1,000.00	100.0%	\$0.00			
0.57	SLURRY WALL	200	200	400	\$2.50	\$1,000.00		\$1,000.00		\$1,000.00	100.0%	\$0.00			
0.58	SLURRY WALL	200	200	400	\$2.50	\$1,000.00		\$1,000.00		\$1,000.00	100.0%	\$0.00			
0.59	SLURRY WALL	200	200	400	\$2.50	\$1,000.00		\$1,000.00		\$1,000.00	100.0%	\$0.00			
0.60	SLURRY WALL	200	200	400	\$2.50	\$1,000.00		\$1,000.00		\$1,000.00	100.0%	\$0.00			
0.61	SLURRY WALL	200	200	400	\$2.50	\$1,000.00		\$1,000.00		\$1,000.00	100.0%	\$0.00			
0.62	SLURRY WALL	200	200	400	\$2.50	\$1,000.00		\$1,000.00		\$1,000.00	100.0%	\$0.00			
0.63	SLURRY WALL	200	200	400	\$2.50	\$1,000.00		\$1,000.00		\$1,000.00	100.0%	\$0.00			
0.64	SLURRY WALL	200	200	400	\$2.50	\$1,000.00		\$1,000.00		\$1,000.00	100.0%	\$0.00			
0.65	SLURRY WALL	200	200	400	\$2.50	\$1,000.00		\$1,000.00		\$1,000.00	100.0%	\$0.00			
0.66	SLURRY WALL	200	200	400	\$2.50	\$1,000.00		\$1,000.00		\$1,000.00	100.0%	\$0.00			
0.67	SLURRY WALL	200	200	400	\$2.50	\$1,000.00		\$1,000.00		\$1,000.00	100.0%	\$0.00			
0.68	SLURRY WALL	200	200	400	\$2.50	\$1,000.00		\$1,000.00		\$1,000.00	100.0%	\$0.00			
0.69	SLURRY WALL	200	200	400	\$2.50	\$1,000.00		\$1,000.00		\$1,000.00	100.0%	\$0.00			
0.70	SLURRY WALL	200	200	400	\$2.50	\$1,000.00		\$1,000.00		\$1,000.00	100.0%	\$0.00			
0.71	SLURRY WALL	200	200	400	\$2.50	\$1,000.00		\$1,000.00		\$1,000.00	100.0%	\$0.00			
0.72	SLURRY WALL	200	200	400	\$2.50	\$1,000.00		\$1,000.00		\$1,000.00	100.0%	\$0.00			
0.73	SLURRY WALL	200	200	400	\$2.50	\$1,000.00		\$1,000.00		\$1,000.00	100.0%	\$0.00			
0.74	SLURRY WALL	200	200	400	\$2.50	\$1,000.00		\$1,000.00		\$1,000.00	100.0%	\$0.00			
0.75	SLURRY WALL	200	200	400	\$2.50	\$1,000.00		\$1,000.00		\$1,000.00	100.0%	\$0.00			
0.76	SLURRY WALL	200	200	400	\$2.50	\$1,000.00		\$1,000.00		\$1,000.00	100.0%	\$0.00			
0.77	SLURRY WALL	200	200	400	\$2.50	\$1,000.00		\$1,000.00		\$1,000.00	100.0%	\$0.00			
0.78	SLURRY WALL	200	200	400	\$2.50	\$1,000.00		\$1,000.00		\$1,000.00	100.0%	\$0.00			
0.79	SLURRY WALL	200	200	400	\$2.50	\$1,000.00		\$1,000.00		\$1,000.00	100.0%	\$0.00			
0.80	SLURRY WALL	200	200	400	\$2.50	\$1,000.00		\$1,000.00		\$1,000.00	100.0%	\$0.00			
0.81	SLURRY WALL	200	200	400	\$2.50	\$1,000.00		\$1,000.00		\$1,000.00	100.0%	\$0.00			
0.82	SLURRY WALL	200	200	400	\$2.50	\$1,000.00		\$1,000.00		\$1,000.00	100.0%	\$0.00			
0.83	SLURRY WALL	200	200	400	\$2.50	\$1,000.00		\$1,000.00		\$1,000.00	100.0%	\$0.00			
0.84	SLURRY WALL	200	200	400	\$2.50	\$1,000.00		\$1,000.00		\$1,000.00	100.0%	\$0.00			
0.85	SLURRY WALL	200	200	400	\$2.50	\$1,000.00		\$1,000.00		\$1,000.00	100.0%	\$0.00			
0.86	SLURRY WALL	200	200	400	\$2.50	\$1,000.00		\$1,000.00		\$1,000.00	100.0%	\$0.00			
0.87	SLURRY WALL	200	200	400											

To: City of Grimes

Project: S-14001-14  
Grimes Glenstone Park Phase I

Invoice: 140011401  
Draw: S-14001-1400001  
Invoice date: 4/30/2014  
Period ending date: 4/30/2014  
Contract date: 3/5/2014

From: Edge Commercial, LLC  
3155 SE Miehe Dr, Ste 2  
Grimes, IA 50111

Architect:

Contract For:

**Request for payment:**

Original contract amount	\$192,630.00	
Approved changes	\$4,054.96	
Revised contract amount	\$196,684.96	
Contract completed to date	\$90,328.32	
Add-ons to date	\$0.00	
Taxes to date	\$0.00	
Less retainage	\$4,516.42	
Total completed less retainage	\$85,811.90	
Less previous requests	\$0.00	
Current request for payment	\$85,811.90	
Current billing	\$90,328.32	
Current additional charges	\$0.00	
Current tax	\$0.00	
Less current retainage	\$4,516.42	
Current amount due	\$85,811.90	
Remaining contract to bill	\$110,873.06	

CHANGE ORDER SUMMARY	ADDITIONS	DEDUCTIONS
Changes approved in previous months by Owner		
Total approved this Month	4,054.96	
<b>TOTALS</b>	<b>4,054.96</b>	
NET CHANGES by Change Order	4,054.96	

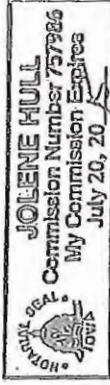
The Undersigned Contractor certifies that to the best of the Contractor's knowledge, information and belief the Work covered by this application for Payment has been completed in accordance with the Contract Documents, that all amounts have been paid by the Contractor for Work for which previous Certified for Payment were issued and payments received from the Owner, and that current payment shown herein is now due.

CONTRACTOR: Walden Date: 4/30/14

State Of Iowa  
County Of

Subscribed and sworn to before me this 30<sup>th</sup> day  
of April 2014

Notary Public: Jolene Hull  
My commission expires: 7.20.15



Architect's Certificate for Payment  
In accordance with the contract documents, based on on-site observations and the data comprising this application, the Architect certifies to the Owner that to the best of Architect's knowledge, information and belief the Work has progressed as indicated, the quality of the Work is in accordance with the Contract Documents, and the Contractor is entitled to payment of the AMOUNT CERTIFIED.

AMOUNT CERTIFIED.....\$ 85,811.90

Attach explanation if amount certified differs from the amount applied for. Initial all figures on this Application and on the Continuation sheet that are change to confirm the AMOUNT CERTIFIED)

Architect: [Signature] Date: 5.5.2014

This Certificate is not negotiable. The AMOUNT CERTIFIED is payable on to the Contractor named herein. Issuance, payment and acceptance of payment are without prejudice to any rights of the Owner or Contractor under this Contract.

# REQUEST FOR PAYMENT DETAIL

Project: S-14001-14 / Grimes Glenstone Park Pha Invoice: 140011401 Draw: S-14001-1400001 Period Ending Date: 4/30/2014 Detail Page 2 of 2 Pages

Item ID	Description	Total Contract Amount	Previously Completed Work	Work Completed This Period	Presently Stored Materials	Completed And Stored To Date	% Comp	Balance To Finish	Retainage Balance
1	General Conditions	10,185.00		3,845.00		3,845.00	37.75	6,340.00	192.25 ✓
2	Surveying/Layout	3,150.00		630.00		630.00	20.00	2,520.00	31.50 ✓
3	Testing/Inspection	2,954.00		1,063.00		1,063.00	35.99	1,891.00	53.15 ✓
4	Earthwork	66,297.00		55,625.00		55,625.00	83.90	10,672.00	2,781.25 ✓
5	Asphalt Paving	19,500.00						19,500.00	
6	Basketball Court Surfacing	5,510.00						5,510.00	
7	Playground Equipment	33,989.00		19,500.00		19,500.00	57.37	14,489.00	975.00 ✓
8	Basketball Goals	3,395.00						3,395.00	
9	Site Furnishings	1,378.00						1,378.00	
10	Play Sand & Pea Gravel	3,632.00						3,632.00	
11	Engineered Wood Fiber	3,148.00						3,148.00	
12	Transplant Trees	4,840.00		2,420.00		2,420.00	50.00	2,420.00	121.00 ✓
13	Seeding	6,900.00						6,900.00	
14	SWPPP	3,375.00		2,650.00		2,650.00	78.52	725.00	132.50 ✓
15	Concrete	15,000.00						15,000.00	
16	Plumbing	500.00						500.00	
17	General Liability Insurance	771.00		175.00		175.00	22.70	596.00	8.75 ✓
18	Performance/Payment/Maint E	2,328.00		1,878.00		1,878.00	80.67	450.00	93.90 ✓
19	Contractor's Fee	5,778.00		2,542.32		2,542.32	44.00	3,235.68	127.12 ✓
20	CO #1-Drinking Fountain	4,054.96						4,054.96	
<b>Totals</b>		196,684.96		90,328.32		90,328.32	45.93	106,356.64	4,516.42

# EDGEE COMMERCIAL

## Schedule of Values

Item	Description	Total Contract Amount	Change Orders	Revised Contract Amount	Remaining Balance
1	General Conditions	\$ 10,185	0 \$	10,185	\$ 10,185
2	Surveying/Layout	\$ 3,150	0 \$	3,150	\$ 3,150
3	Testing/Inspection	\$ 2,954	0 \$	2,954	\$ 2,954
4	Earthwork	\$ 66,297	0 \$	66,297	\$ 66,297
5	Asphalt Paving	\$ 19,500	0 \$	19,500	\$ 19,500
6	Basketball Court Surfacing	\$ 5,510	0 \$	5,510	\$ 5,510
7	Playground Equipment	\$ 33,989	0 \$	33,989	\$ 33,989
8	Basketball Goals	\$ 3,395	0 \$	3,395	\$ 3,395
9	Site Furnishings	\$ 1,378	0 \$	1,378	\$ 1,378
10	Play Sand & Pea Gravel	\$ 3,632	0 \$	3,632	\$ 3,632
11	Engineered Wood Fiber	\$ 3,148	0 \$	3,148	\$ 3,148
12	Transplant Trees	\$ 4,840	0 \$	4,840	\$ 4,840
13	Seeding	\$ 6,900	0 \$	6,900	\$ 6,900
14	SWPPP	\$ 3,375	0 \$	3,375	\$ 3,375
15	Concrete	\$ 15,000	0 \$	15,000	\$ 15,000
16	Plumbing	\$ 500	0 \$	500	\$ 500
17	General Liability Insurance	\$ 771	0 \$	771	\$ 771
18	Performance/Payment Bond	\$ 2,328	0 \$	2,328	\$ 2,328
19	Contractor's Fee	\$ 5,778	0 \$	5,778	\$ 5,778
<b>Total Contract Amount</b>		<b>\$ 192,630</b>	<b>\$ -</b>	<b>\$ 192,630</b>	<b>\$ 192,630</b>

Created By: Branson Ropp For: City of Grimes  
 Date: 3/28/2014 Project: Grimes Glenstone Park Phase I

Change Order #1

PROJECT: Glenstone Park Phase 1	DATE OF ISSUANCE: 4/25/2014	Distribution:
	CONTRACT FOR: Glenstone Park	Owner: <input checked="" type="checkbox"/>
	CONTRACT DATE: 3/5/2014	Architect: <input type="checkbox"/>
TO CONTRACTOR: Edge Commercial 3155 Miehe Drive Grimes, IA 50111	ENGINEER'S PROJECT NO: 1303.191	Engineer: <input checked="" type="checkbox"/>
		Contractor: <input checked="" type="checkbox"/>

THE CONTRACT IS CHANGED AS FOLLOWS:

Set owner's drinking fountain with winterization system, with 4' meter pit, and dig 2" drain approximately 30'.

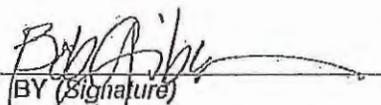
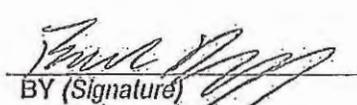
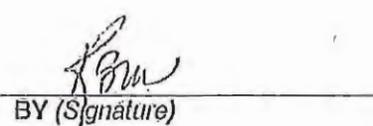
The Original Contract Sum was:	\$ 192,630.00
The net change by previously authorized Change Orders is:	\$
The Contract Sum prior to this Change Order was:	\$ 192,630.00
The Contract Sum will be changed by this Change Order in the amount of:	\$ 4,054.96
The new Contract Sum, including this Change Order, will be:	\$ 196,684.96

The Contract Time will be unchanged.

The date of Substantial Completion as of the date if this change Order therefore is: 5/30/2014

Note: This Change Order does not include changes in the Contract Sum, Contract Time, or Guaranteed Maximum Price, which have been authorized by Construction Change Directive until the cost and time have been agreed upon by both the Owner and Contractor, in which case a Change Order is executed to supercede the Construction Change Directive.

NOT VALID UNTIL SIGNED BY THE ENGINEER, CONTRACTOR, AND THE OWNER.

<u>Civil Design Advantage</u> ENGINEER	<u>Edge Commercial</u> CONTRACTOR	<u>City of Grimes</u> OWNER
<u>3405 SE Crossroads Drive</u> Grimes, IA 50111 ADDRESS	<u>3155 Miehe Drive</u> Grimes, IA 50111 ADDRESS	<u>101 N. Harvey Street</u> Grimes, IA 50111 ADDRESS
 BY (Signature)	 BY (Signature)	 BY (Signature)
<u>Bob Gibson</u> (Typed Name)	<u>Branson Ropp</u> (Typed Name)	<u>Kelley Brown</u> (Typed Name)
<u>4/25/2014</u> DATE	<u>4/25/2014</u> DATE	<u>4/25/2014</u> DATE

# EDGE COMMERCIAL

## Change Request

To: Civil Design Advantage LLC  
3405 SE Crossroads Dr.  
Ste. G  
Grimes, IA 50111  
Ph: (515)369-4400 Fax: (515)369-4410

Number: 1  
Date: 4/14/14  
Job: S-14001-14 Grimes Glenstone Park Phase I  
Phone:

Description: Install owner provided drinking fountain

We are pleased to offer the following specifications and pricing to make the following changes:  
To set owner's drinking fountain with winterization system and dig 2" drain approximately 30 feet.

Cook Plumbing: \$4295  
Previous Allotted Amount by Edge: \$500

Change Amount: \$3,795

Edge Bond/Insurance (1.85%): \$70.21  
Edge Fee (5%): \$189.75

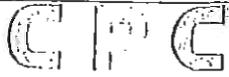
The total amount to provide this work is ..... \$4,054.96

If you have any questions, please contact me at 515-986-2229.

Submitted by: Branson Ropp  
Edge Commercial, LLC

Approved by:   
Date: 4/25/14

Cc:



COOK PLUMBING CORP. *Plumbing Contractors*

1425 Fuller Road  
West Des Moines, IA 50266  
(515) 225-9532 Fax (515) 225-9590  
www.cookplumbing.com

April 14, 2014 Revised April 17, 2014

Edge Commercial  
Attn: Bill Herman  
Email: [bherman@edgeco-usa.com](mailto:bherman@edgeco-usa.com)

RE: Glenstone Park Phase I

We will set owner's drinking fountain with 4' meter pit and drainage valve in pit and dig 2" drain approximately 30'.

PRICE: \$4,295.00

Note: Concrete pad by others, curb valves by others, water to be within 5' of fountain, Spoil piles hauled off by others.

Note: Rough grade only,

Scott Smith  
225-9532 Ext. #19





May 8, 2014

Rochelle Williams  
City of Grimes  
101 NE Harvey St.  
Grimes, IA 50111

RE: Recommendation on Award of Construction Contract and Furniture Package

Rochelle,

The Bids received on May 8, 2014 for the "Grimes Public Library Interior Renovation" and "Grimes Public Library Furniture Bid Package", indicated a lot of interest from local contractors.

We have reviewed the 7 bid results for the "Grimes Public Library Interior Renovation" which have indicated that the low bidder for the project is TBB&M, LLC of Greenfield, Iowa.

We recommend that the Grimes Public Library and the City of Grimes accept the low bid submitted from TBB&M in the Base Bid amount of **\$209,000**. Additionally, it is our recommendation that the following Alternates be accepted as part of the project.

- Alt. #1 – Remove existing water heater, replace with new hot water heater for ADD of \$2,000

The total cost of the construction contract would equal **\$211,000**. TBB&M has also indicated a Substantial Completion Date of September 22, 2014, which is beneficial to the Library's lease agreement in the temporary Library location.

We have also reviewed the 2 bid results for the "Grimes Public Library Furniture Bid Package" which have indicated that the low bidder for each Proposal are as follows. We recommend that the Grimes Public Library and the City of Grimes accept the low bid submitted for each Proposal. The total amount for furnishings & installation provided in Proposals 1-3 and Alternates 1-2 is in the amount of **\$112,988.87**.

- Proposal 1: Jones Library Sales      \$77,119.00
- Proposal 2: Jones Library Sales      \$16,920.00
- Proposal 3: Storey Kenworthy        \$ 7,155.68
- Alternate 1: Storey Kenworthy       \$ 8,434.19
- Alternate 2: Jones Library Sales      \$ 3,360.00

We have also included a Bid Tabulation Form showing bid results for the Construction Contract and Furniture Package for reference.



fehassociates.com

We look forward to the remodeling of the Library and a very successful project.

Respectfully,

*Michelle Cramblit*

Michelle Cramblit, IIDA  
Project Manager





## Bid Tabulation Form

Name of Bidder:	Jones Library Sales	Storey Kenworthy					
Bid Bond - 5%	X	Check \$2,000					
Addendum 1 (5/1/14)	X	X					
<b>Bid Proposals: Proposal 1 - 3</b>							
<b>Proposal 1:</b> Library Shelving, Displays, Equipment, Lounge Seating	\$ 77,119.00						
<b>Proposal 2:</b> Children's Furniture	\$ 16,920.00	\$ 17,762.64					
<b>Proposal 3:</b> Collection Signage	NO BID	\$ 7,155.68					
<b>Bid Proposals: Alternates 1-2</b>							
<b>Alternate 1:</b> Overhead Mobiles	NO BID	\$ 8,434.19					
<b>Alternate 2:</b> Disassemble, Remove & Store Existing Shelving	\$ 3,360.00						

\* Apparent low bid =

\*\* Indicates items missing from bids



May 7, 2014

Mayor and City Council  
City of Grimes  
101 NE Harvey Street  
Grimes, IA 50111

**Re: Report of Bids and Award of Prairie Business Park Sanitary Sewer**  
*FOX Ref No: 8630-13C.440*

Dear Mayor and City Council:

The owner of the parcel located in the SE corner of SE James Street and SE 37<sup>th</sup> Street wishes to develop this land but no sanitary sewer crosses or abuts the property. As part of the negotiations with the developer, the City of Grimes has agreed to extend a sanitary sewer from an existing nearby sanitary sewer. The City of Grimes is also to extend a 12" water main across SE 37<sup>th</sup> Street from the existing 12" water main on the north side of SE 37<sup>th</sup> Street into the property.

The Prairie Business Park Sanitary Sewer project consists of installing 10" sanitary sewer from 1,320' north of SE 37<sup>th</sup> Street to the SE corner of SE 37<sup>th</sup> Street and SE James Street.

The City received five bids on the project. The Engineer's opinion of probable construction cost was \$217,925.00. The bids ranged from a high of \$288,528.00 to a low bid of \$211,471.00

The following is a summary of the bids:

<input type="checkbox"/> Raccoon Valley Contractors	\$288,528.00
<input type="checkbox"/> Halbrook Excavating	\$265,580.00
<input type="checkbox"/> Keller Excavating	\$244,230.00
<input type="checkbox"/> Sandstone	\$237,053.86
<input type="checkbox"/> H&W Contracting LLC	\$211,471.00
<input type="checkbox"/> <i>Engineering Opinion of Cost</i>	<i>\$217,925.00</i>

The low bid from H&W Contracting LLC is 3% below the Engineering Opinion of Cost. A detailed Bid Tabulation Summary is enclosed for your reference.

To evaluate their Bid, FOX Engineering discussed their current projects and reviewed their performance on previous projects. The firm has a history of satisfactory performance on similar projects in Iowa. H&W Contracting LLC has been in business since 1993 and is located out of Sioux Falls, South Dakota. FOX engineering has previous work experience with this firm.

H&W Contracting LLC has reviewed their Bid and found no errors or omissions in their proposal. We also discussed H&W Contracting LLC's current project work load and they have availability to complete this work. They could start this project as soon as July 15, 2014.

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Based on these investigations, we believe H&W Contracting LLC has a practical knowledge of the work, adequate equipment, necessary supervisory personnel and financial resources to complete the work.

Therefore, FOX recommends that the Prairie Business Park Sanitary Sewer project be awarded to H&W Contracting LLC for their Total Bid of **\$211,471.00**. We believe this represents the lowest responsive, responsible bid for the project.

Prior to the City of Grimes approving the contract, the City's Insurance counsel should review the contractor's insurance certificates and performance and maintenance bonds for conformance with the City of Grimes requirements.

We have enclosed the Notice of Award for your use. If approved please sign, copy for your records, and return to FOX Engineering. FOX will then execute the contract documents. Please contact us with any questions or comments regarding this recommendation.

Very truly yours,  
FOX Engineering Associates, Inc.



Jerry Byg, P.E.  
Project Manager

cc: Kelley Brown, John Gade

# Notice of Award

Project: <b>Prairie Business Park Sanitary Sewer</b>	Date of Award: <b>May 13, 2014</b>
Owner: <b>City of Grimes</b>	Owner's Contract No.:
Engineer: <b>FOX Engineering</b>	Engineer's Project No.: <b>8630-13C</b>
Bidder: <b>H&amp;W Contracting, LLC</b>	

You are notified that your Bid dated May 7, 2014 for the above Contract has been considered. You are the Successful Bidder and are awarded a Contract for Prairie Business Park Sanitary Sewer.

Work includes: **The project consists of installation of 1,459 L.F. of 10" sanitary sewer, Bore and Jack 160 L.F. of 16" steel casing, 5 each sanitary sewer manholes, 100 L.F. 12" water main, tree removal, fence removal and restoration of disturbed areas.**

The Contract Price of your Contract is Two Hundred Eleven Thousand Four Hundred Seventy One Dollars and No/100 (\$211,471.00).

3 copies of each of the proposed Contract Documents accompany this Notice of Award.

A minimum of 5 sets of the Project Manual and Drawings will be delivered separately or otherwise made available to you immediately.

You must comply with the following conditions precedent within [15] days of the date you receive this Notice of Award.

1. Deliver to the Owner [3] fully executed counterparts of the Contract Documents.
2. Deliver with the executed Contract Documents the Contract security [Bonds] as specified in the Instructions to Bidders (Article 20), [and] General Conditions (Paragraph 5.01) [and Supplementary Conditions (Paragraph SC-5.01).]
3. Other conditions precedent:
  - a. Before you may start work at site; paragraph 2.01.B of the General Conditions provides that you must deliver to the Owner (with copies to the ENGINEER and other identified additional Insureds) certificates of insurance which you are required to purchase and maintain in accordance with the Contract Documents.
  - b. Paragraph 2.05 states that before starting construction a preliminary progress schedule, a preliminary schedule of submittals, and a preliminary schedule of values are required.

Failure to comply with these conditions within the time specified will entitle Owner to consider you in default, annul this Notice of Award and declare your Bid security forfeited.

Within ten days after you comply with the above conditions, Owner will return to you one fully executed counterpart of the Contract Documents.

Owner: City of Grimes  
Title: \_\_\_\_\_  
Authorized Signature: \_\_\_\_\_

Copy to Engineer, Owner & Contractor

BID TABULATION

BID DATE: May 7, 2014  
FOX PN 0530-13C.640

Prinlike Business Park Sanitary Sewer  
Orimes, Iowa

ITEM NO.	CHECK FOR BID BOND	DESCRIPTION	UNITS	QTY	Engineer's Opinion Probable Cost		HAW Contracting, LLC		Sandstone Management, Ltd		Keller Excavating		Hobrook Excavating, Inc.		Raccoon Valley Contractors					
					UNIT PRICE	TOTAL PRICE	UNIT PRICE	TOTAL PRICE	UNIT PRICE	TOTAL PRICE	UNIT PRICE	TOTAL PRICE	UNIT PRICE	TOTAL PRICE	UNIT PRICE	TOTAL PRICE				
CONTRACTORS:																				
DIVISION 1 - GENERAL PROVISIONS AND COVENANTS																				
1.1		MOBILIZATION	LS	1	\$10,000.00	\$10,000.00	\$5,000.00	\$5,000.00	\$4,507.00	\$4,507.00	\$10,000.00	\$10,000.00	\$14,000.00	\$14,000.00	\$4,000.00	\$4,000.00				
1.2		TRAFFIC CONTROL	LS	1	\$3,000.00	\$3,000.00	\$3,500.00	\$3,500.00	\$4,077.00	\$4,077.00	\$3,000.00	\$3,000.00	\$5,000.00	\$5,000.00	\$1,000.00	\$1,000.00				
DIVISION 2 - EARTHWORK																				
2.1		CLEARING AND GRUBBING	LS	1	\$3,000.00	\$3,000.00	\$2,500.00	\$2,500.00	\$1,529.00	\$1,529.00	\$5,000.00	\$5,000.00	\$5,000.00	\$5,000.00	\$1,000.00	\$1,000.00				
2.2		REMOVE AND DISPOSE FARM FENCE	LS	1	\$2,000.00	\$2,000.00	\$3,000.00	\$3,000.00	\$2,294.00	\$2,294.00	\$3,000.00	\$3,000.00	\$5,000.00	\$5,000.00	\$1,500.00	\$1,500.00				
2.3		CLASS A ROAD STONE	TON	50	\$30.00	\$1,500.00	\$25.00	\$1,250.00	\$23.07	\$1,153.50	\$30.00	\$1,500.00	\$30.00	\$1,500.00	\$27.00	\$1,350.00				
2.4		STRIP, STOCKPILE AND RESPREAD TOPSOIL	LS	1	\$5,000.00	\$5,000.00	\$3,500.00	\$3,500.00	\$17,512.25	\$17,512.25	\$5,000.00	\$5,000.00	\$10,000.00	\$10,000.00	\$5,000.00	\$5,000.00				
DIVISION 3 - TRENCH AND TRENCHLESS CONSTRUCTION																				
3.1		TRENCH FOUNDATION	TON	100	\$30.00	\$3,000.00	\$30.00	\$3,000.00	\$34.01	\$3,401.00	\$35.00	\$3,500.00	\$30.00	\$3,000.00	\$5.00	\$500.00				
3.2		REPLACEMENT OF UNSUITABLE BACKFILL MATERIAL	CY	100	\$30.00	\$3,000.00	\$24.00	\$2,400.00	\$41.23	\$4,123.00	\$30.00	\$3,000.00	\$30.00	\$3,000.00	\$15.00	\$1,500.00				
3.3		BORE AND JACK STEEL CASING	LF	100	\$275.00	\$27,500.00	\$200.00	\$20,000.00	\$303.49	\$30,349.00	\$340.00	\$34,000.00	\$420.00	\$42,000.00	\$218.00	\$21,800.00				
DIVISION 4 - SEWERS AND DRAINS																				
4.1		GRAVITY SANITARY SEWER, 10-INCH, TRENCHED	LF	1,450	\$75.00	\$109,125.00	\$60.00	\$87,000.00	\$54.48	\$79,500.00	\$70.00	\$102,150.00	\$70.00	\$102,150.00	\$122.00	\$177,900.00				
4.2		FIELD TILE REPAIR	LF	100	\$15.00	\$1,500.00	\$12.00	\$1,200.00	\$30.53	\$3,053.00	\$22.00	\$2,200.00	\$25.00	\$2,500.00	\$15.00	\$1,500.00				
DIVISION 5 - WATER MAINS AND APPURTENANCES																				
5.1		WATER MAIN, PVC, 12-INCH	LS	1	\$10,000.00	\$10,000.00	\$14,000.00	\$14,000.00	\$21,716.00	\$21,716.00	\$21,000.00	\$21,000.00	\$20,000.00	\$20,000.00	\$32,000.00	\$32,000.00				
DIVISION 6 - STRUCTURES FOR SANITARY AND STORM SEWERS																				
6.1		CONNECT TO EXISTING MANHOLE	EACH	1	\$1,000.00	\$1,000.00	\$1,050.00	\$1,050.00	\$3,907.25	\$3,907.25	\$3,000.00	\$3,000.00	\$1,500.00	\$1,500.00	\$2,300.00	\$2,300.00				
6.2		MANHOLE, SANITARY SEWER, SW-301, 48-INCH	EACH	5	\$4,000.00	\$20,000.00	\$5,000.00	\$25,000.00	\$4,512.91	\$22,564.55	\$4,200.00	\$21,000.00	\$4,000.00	\$20,000.00	\$4,000.00	\$20,000.00				
DIVISION 7 - STREETS AND RELATED WORK - NONE																				
DIVISION 8 - TRAFFIC SIGNALS - NONE																				
DIVISION 9 - SITE WORK, IRRIGATION AND SEEDING																				
9.1		EROSION CONTROL & SITE RESTORATION	LS	1	\$3,500.00	\$3,500.00	\$5,000.00	\$5,000.00	\$6,157.00	\$6,157.00	\$5,500.00	\$5,500.00	\$5,500.00	\$5,500.00	\$3,000.00	\$3,000.00				
TOTAL																				
															\$217,925.00	\$211,471.00	\$237,653.00	\$244,230.00	\$265,500.00	\$230,570.00

PREPARED BY:  
FOX ENGINEERING ASSOCIATES, INC.  
AMES, IOWA



## ORDINANCE #627

### **AN ORDINANCE AMENDING THE GRIMES CODE OF ORDINANCES RENAMING Chapter 165B, AND AMENDING CHAPTERS 165B.01, 165B.02, 165B.17 and 165B.19 UNDER THE HWY 44 MIXED USE DEVELOPMENT CORRIDOR OVERLAY DISTRICT**

BE IN ENACTED BY THE CITY COUNCIL OF THE CITY OF GRIMES, IOWA

SECTION 1. Purpose. The purpose of this Ordinance is to rename and amend the Grimes Code of Ordinances Chapter 165B, Highway 44 Mixed Use Development Corridor Overlay District.

SECTION 2. Amendment. Pursuant to the Grimes Code of Ordinances, Chapter 165B be renamed, revise Section 165B.01 and 165B.02, 165B.17 and 165B.19 shall be amended to read as follows:

#### 165B HIGHWAY 44 MIXED USE DEVELOPMENT CORRIDOR OVERLAY DISTRICT CHAPTER

Renaming Grimes Code of Ordinances Chapter 165B Highway 44 Mixed Use Development Corridor Overlay District to Chapter 165B Transportation Corridor Mixed Use Development Overlay District. Also provide a provision that that every reference to Hwy 44 Mixed Use Development Overlay District in the Grimes Code of Ordinances shall be stricken and replaced with "Transportation Corridor Mixed use Development Overlay District Zoning District.

165B.01 PURPOSE. It is the intent of the City of Grimes that a mixed use development overlay district be created along the Highway 44 transportation corridor and the other major transportation corridors as indicated on the zoning map. at the intersection of S.E./S.W. 19<sup>th</sup> Street and James Street that will provide for a combination of permitted uses, including commercial and residential development and governmental offices in a "traditional" development pattern. This overlay district is intended to supplemental the base zone regulations within the overlay district boundaries in order to preserve the existing mix of commercial and residential uses within the district boundaries; to enhance the Highway 44 transportation corridor; to encourage new commercial and residential development in an orderly and compatible manner, including mixed commercial/residential development with residential structures above the first floor; to allow for maintenance and renovation of existing residential uses, while providing for appropriate redevelopment and/or adaptive reuse of existing residential structures; to preserve the historical resources of the City; to protect the environment; maintain and enhance "a sense of community"; and to reflect the unique development needs of the areas of the City impacted by proximity to the Highway 44 transportation corridor, the

other major transportation corridors as indicated on the zoning map. S.E./S.W 19<sup>th</sup> Street and James Street.

This Ordinance has been made with reasonable consideration to the character of areas included in this overlay district regulation and the peculiar suitability of such areas for particular uses, and with a view to conserving the value of buildings and encouraging the most appropriate use of land within the City.

165B.02 INTERPRETATION AND APPLICATION. The overlay zoning district created by this Ordinance is intended to function as an "overlay" to the underlying "base" zoning districts, and these regulations are in addition to the use, yard, bulk and other requirements of the applicable "base" zoning district. The two locations of this overlay zoning district shall be shown on the Official Zoning Map of the City and are referred to as Highway 44 Overlay Area 1, which is located generally along both sides of the Highway 44 corridor, and Highway 44 Overlay Area 2, which are the other major transportation corridors as indicated on the zoning map. which is located at the intersection of S.E./S.W. 19<sup>th</sup> Street and James Street.

165B.17 (2) B LANDSCAPING AND SCREENING.

B. The parking lot setback areas along the street side of property shall be landscaped with grass or vegetative ground cover. Low shrubs and low perennials may also be planted in these setback areas as long as they do not impact sight visibility at intersections and driveways. One over-story tree shall be planted for every forty (40) lineal feet along the street, exclusive of driveway openings, except along Highway 44. On the perimeter(s) of the lot adjacent to public rights-of-way, a strip of land of at least eight (8) feet in depth located between the right-of-way and the off-street parking or other vehicular use area shall be landscaped to include one (1) tree for every forty (40) feet or fraction thereof. Such trees shall be located between the abutting right-of-way and the off-street parking or other vehicular use area and shall be planted singularly or grouped in a planting area of at least twenty-five (25) square feet. In addition, a hedge, wall, earth berm, or other durable landscape barrier a minimum of three (3) feet in height shall be placed along the perimeter of such landscape strip. If said barrier consists of non-living material, one (1) shrub shall be planted every ten (10) feet and abutting the barrier. The remainder of the required landscape strip shall be planted with grass, ground cover or other landscape material, exclusive of paving. The planting of trees is not required along Highway 44 in order to preserve sight visibility and to avoid interference with street lighting.

165B.19 WAIVER OF REQUIREMENTS. Any one or more of the requirements set forth in the Chapter 165B may be waived by the City Council, after consideration by the Planning and Zoning Commission, if necessary, for reasons of safety, topographic conditions, or engineering problems, as the City Council may determine. No waiver shall be authorized or permitted for relief from any of the requirements of this Chapter for reasons related primarily to the costs of compliance or aesthetic preferences. Any person seeking a waiver under this Section shall submit a written application for

the waiver to the City detailing the reasons for the waiver. ~~Such application shall include a detailed description of the safety, topographic condition or engineering need.~~ In addition, the requirements in this Chapter do not apply to any areas zoned R-4 (Planned Unit Development District)

SECTION 3. Repealer. All ordinances or parts of ordinances in conflict with the provisions of these ordinances are hereby repealed.

SECTION 4. Severability Clause. If any section, provision or part of this ordinance shall be adjudged invalid or unconstitutional, such adjudication shall not affect the validity of the ordinance as a whole or any section, provision or part thereof not adjudged invalid or unconstitutional.

SECTION 5: Effective Date. This ordinance shall be in effect after its final passage, approval and publication as provided by law.

Passed by the City Council on this th day of and approved on this day of , 2014.

\_\_\_\_\_  
Thomas M. Armstrong, Mayor

\_\_\_\_\_  
Rochelle Williams, City Clerk



**ORDINANCE #628**

**AN ORDINANCE AMENDING THE GRIMES CODE OF ORDINANCES Chapter 165A.27  
UNDER THE HIGHWAY 141 MIXED USE DEVELOPMENT CORRIDOR DISTRICT  
BE IN ENACTED BY THE CITY COUNCIL OF THE CITY OF GRIMES, IOWA**

SECTION 1. Purpose. The purpose of this Ordinance is to amend the Grimes Code of Ordinances Chapter 165B, Mixed Use Development Corridor Overlay District.

SECTION 2. Amendment. Pursuant to the Grimes Code of Ordinances Chapter 165A, revise Section 165A.27 shall be amended to read as follows:

165A.27 WAIVER OF REQUIREMENTS. Any one or more of the requirements set forth in this Chapter 165A may be waived by the City Council after consideration by the Planning and Zoning Commission. Any person seeking a waiver under this Chapter shall submit a written application to the City detailing the reasons for the waiver. ~~for reasons of safety or engineering, as the Commission may determine. No waiver shall be authorized or permitted for relief from any of the requirements of this Chapter 165A for reasons related primarily to the costs of compliance or aesthetic preferences.~~ Any person seeking a waiver under this Section shall submit a written application to the Planning and Zoning Commission which shall include a detailed description of the safety or engineering need for a waiver. In addition, the requirements in this Chapter do not apply to any areas zoned R-4 (Planned Unit Development District)

SECTION 3. Repealer. All ordinances or parts of ordinances in conflict with the provisions of these ordinances are hereby repealed.

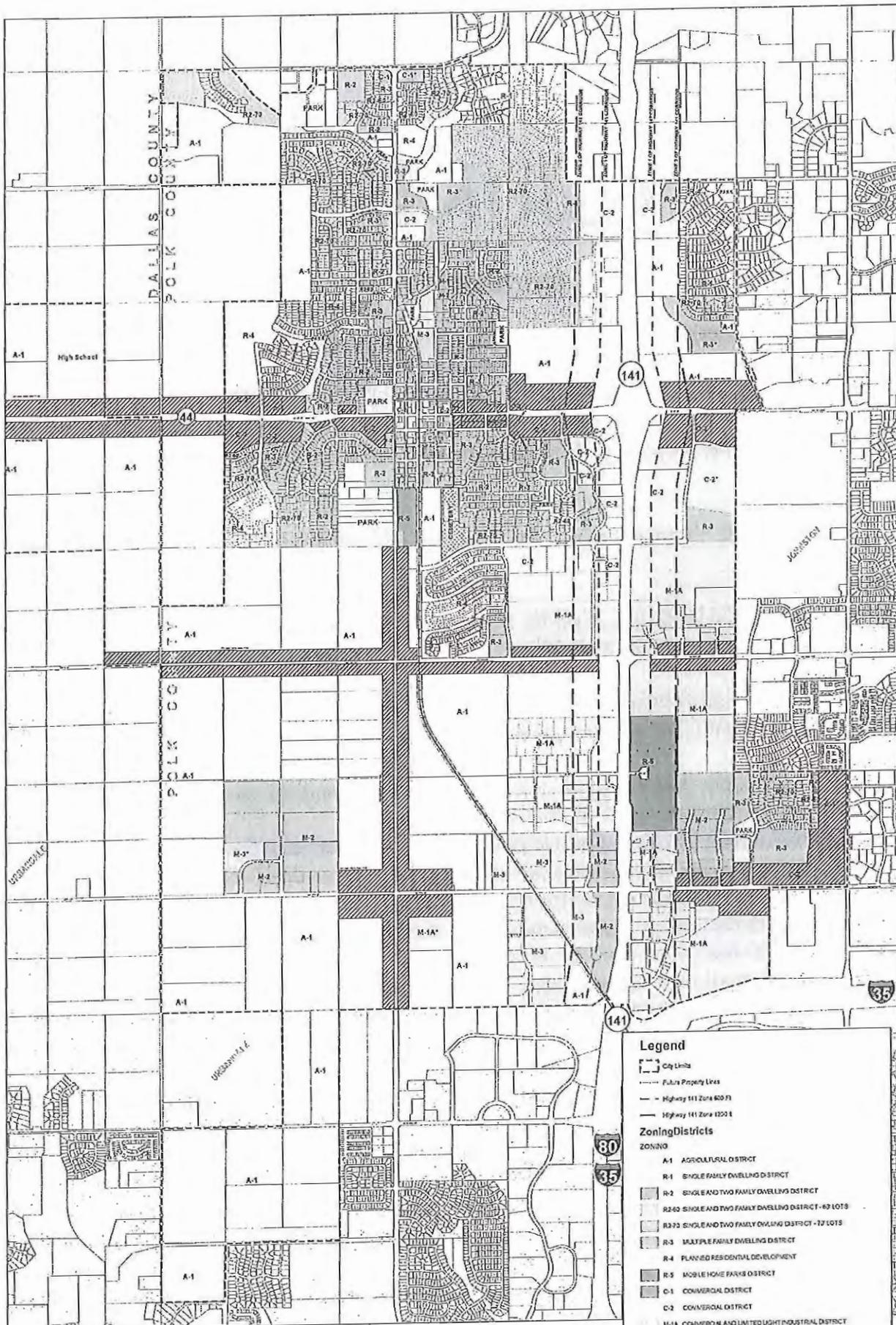
SECTION 4. Severability Clause. If any section, provision or part of this ordinance shall be adjudged invalid or unconstitutional, such adjudication shall not affect the validity of the ordinance as a whole or any section, provision or part thereof not adjudged invalid or unconstitutional.

SECTION 5: Effective Date. This ordinance shall be in effect after its final passage, approval and publication as provided by law.

Passed by the City Council on this th day of and approved on this day of , 2014.

\_\_\_\_\_  
Thomas M. Armstrong, Mayor

\_\_\_\_\_  
Rochelle Williams, City Clerk



**Legend**

- City Limits
- Future Property Lines
- Highway 141 Zone 800 Ft
- Highway 141 Zone 1250 Ft

**Zoning Districts**

ZONING

- A-1 AGRICULTURAL DISTRICT
- R-1 SINGLE FAMILY DWELLING DISTRICT
- R-2 SINGLE AND TWO FAMILY DWELLING DISTRICT
- R-2-60 SINGLE AND TWO FAMILY DWELLING DISTRICT - 60 LOTS
- R-2-70 SINGLE AND TWO FAMILY DWELLING DISTRICT - 70 LOTS
- R-3 MULTIPLE FAMILY DWELLING DISTRICT
- R-4 PLANNED RESIDENTIAL DEVELOPMENT
- R-5 MOBILE HOME PARKS DISTRICT
- C-1 COMMERCIAL DISTRICT
- C-2 COMMERCIAL DISTRICT
- C-3 COMMERCIAL DISTRICT
- M-1A COMMERCIAL AND LIMITED LIGHT INDUSTRIAL DISTRICT
- M-2 LIGHT INDUSTRIAL DISTRICT
- M-3 HEAVY INDUSTRIAL DISTRICT
- PARK
- CEMETERY

\*Special Conditions on Zoning Parcel

- TRANSPORTATION OVERLAY DISTRICT
- GOVERNOR DISTRICT OVERLAY DISTRICT

**CURRENT OFFICIAL ZONING MAP**  
 City of Grimes, Iowa

Print Date: 6/16/2014

**CITY OF GRIMES**

**FOX Engineering**

FOR EXPRESSING FUNCTIONS OF THE CITY OF GRIMES, IOWA  
 JOHN FOX, ENGINEER  
 JOHN FOX ENGINEERING, INC.  
 1015 S. 10TH ST. S.W.  
 PO BOX 1015  
 GRIMES, IOWA 52143





**ORDINANCE #629**

**AN ORDINANCE AMENDING THE GRIMES CODE OF ORDINANCES Chapter 165.05  
BOUNDARIES AND OFFICIAL MAP.**

BE IN ENACTED BY THE CITY COUNCIL OF THE CITY OF GRIMES, IOWA

SECTION 1. Purpose. The purpose of this Ordinance is to amend the Grimes Code of Ordinances Chapter 165.05

SECTION 2. Amendment. Pursuant to the Grimes Code of Ordinances Chapter 165.05, to Adopt the Official Zoning Map

165.47 AMENDMENTS TO OFFICIAL ZONING MAP. The official Zoning Map for the City of Grimes is hereby amended as follows:

1. Lots 21 and 22 of the Gateway Business Park, City of Grimes, Polk County, Iowa, zoning classification shall be modified from M-1A to M-2.

2. A parcel of land in the fractional north  $\frac{1}{2}$  of the fractional NE  $\frac{1}{4}$  of Section 5, Township 79 North, Range 25 West of the 5<sup>th</sup> P.M. City of

Grimes, Polk County, Iowa, and more particularly described as follows:

Commencing as a point of reference at the NE corner of Section 5-79-25; thence N89°42'03"W, 2368.58 feet along the north line of said section to a point; thence S00°19'57"W, 89.55 feet to a point; thence southeasterly along a curve to the left having a radius of 300.00 feet, an arc length of 218.99 feet and a chord bearing of S20°34'46"E to a point of curvature; thence southeasterly along a curve to the right having a radius of 300.00 feet, an arc length of 218.99 feet, and a chord bearing of S20 degrees 34'46"E to a point of tangency; thence S00°19'57"W, 39.59 feet to a point; thence S89°42'03"E, 870.77 feet to a point; thence southeasterly along a curve to the left having a radius of 1025.00 feet, an arc length of 573.06 feet, and a chord bearing of S36°53'28"E to a point; thence S37°05'32"W, 63.18 feet to a point; thence southwesterly along a curve to the left having a radius of 300.00 feet, an arc length of 194.21 feet and a chord bearing of S18°32'46"W to a point; thence S00°00'00"E, 389.33 feet to a point on the south line of said fractional N  $\frac{1}{2}$ , fractional NE  $\frac{1}{4}$ ; thence S89°53'01"W, 1550.00 feet to the SW corner of said fractional N  $\frac{1}{2}$ , fractional NE  $\frac{1}{4}$ ; thence N00°19'57"E, 1507.54 feet to a point; thence S89°42'03"E, 132.22 feet to a point; thence N00°19'57"E, 120.32 feet to a point; thence S81°59'34"E, 148.45 feet to a point of beginning and containing 41.3 acres more or less shall be modified from A-1 to R-3 zoning.

A parcel of land in the fractional North 1/2 of the fractional NE 1/4 of Section 5, Township 79 North, Range 25 West of the 5<sup>th</sup> P.M., City of Grimes, Polk County, Iowa and more particularly described as follows:

Commencing as a point of reference at the NE corner of Section 5-79-25; thence N89°42'03"W, 2368.58 feet along the north line of said section to a point, thence S00°19'57"W, 59.91 feet to the point of beginning on the south right-of-way line of said highway; thence S00°19'57"W, 89.55 feet to a point; thence southeasterly along a curve to the left having a radius of 300.00 feet, an arc length of 218.99 feet, and a chord bearing of S20°34'46"E to a point of curvature; thence southeasterly along a curve to the right having a radius of 300.00 feet, an arc length of 218.99 feet, and a chord bearing of S20°34'46"E to a point of tangency; thence S00°19'57"W, 39.59 feet to a point; thence S89°42'03"W, 870.77 feet to a point; thence southeasterly along a curve to the left having a radius of 1025.00 feet, an arc length of 573.06 feet, and a chord bearing of S36°53'28"E to a point; thence S37°05'32"W, 63.18 feet to a point; thence southwesterly along a curve to the left having a radius of 300.00 feet, an arc length of 194.21 feet, and a chord bearing of S18°32'46"W to a point; thence S00°00'00"E, 389.33 feet to a point on the south line of said fractional N 1/2, fractional NE 1/4; thence N89°53'01"E, 1063.45 feet along said south line to a point on the west right-of-way line of Highway 141; thence N00°21'39"E, 866.73 feet along said right-of-way to a point thence N11°30'03"W, 576.10 feet along Iowa Department of Transportation right-of-way but diverging from along Highway 141 to a point; thence N50°06'03"E 232.60 feet along said right-of-way line of Iowa Highway 44; thence N89°41'09"W, 986.60 feet along said right-of-way to a point; thence S88°50'40"W, 202.27 feet along said right-of-way to a point; thence N89°42'03"W, 613.00 feet along said right-of-way to a point; thence S00°06'45"W, 15.00 feet along said right-of-way to a point; thence N89°45'52"W, 112.28 feet along said right-of-way to a point; thence N76°09'52"W, 128.55 feet along said right-of-way to the point of beginning and containing 52.2 acres more or less zoning classification shall be modified from A-1 to C-2.

3. Lot 4 and Outlot X of Crossroads Plat, Polk County, Grimes, Iowa, zoning classification shall be modified from M-1 to M-1A.

4. The Southwest One-quarter of the Northeast One-quarter of Section 17, Township 79 North, Range 25 West of the 5<sup>th</sup> P.M., Grimes, Polk County, Iowa, zoning classification shall be modified from A-1 to M-3.

5. The following described property located in Grimes, Polk County, Iowa zoning classification is changed from A-1 to R-3:

The West 33 1/2 acres of the Southeast Quarter (SE 1/4) (EXCEPT the South 458 feet), Section 31, Township 80 North, Range 25 West of the 5<sup>th</sup> P.M., Polk County Iowa; AND

The East 1/2 of the Southwest 1/4 (EXCEPT the North 425 of the South 458 feet of the East 418, and that part conveyed to the State of Iowa for road purposes and for use as a public highway), all in Section 31, Township 80 North, Range 25 West of the 5<sup>th</sup> P.M., Polk County, Iowa all being more

particularly describes as follows:

Commencing at the South ¼ corner of Section 31, Township 80 North, Range 25 West of the 5<sup>th</sup> P.M., Polk County, Iowa; thence North 90°00'00" East, 418.6 feet; thence North 00°00'00" East, 33 feet to the POINT OF BEGINNING; thence North 89°58'15" West, 223.6 feet; thence North 83°40' West, 400.5 feet; thence North 88°40' West, 400.5 feet; thence North 88°06' West, 287.1 feet; thence North 00°32'45" West, 2544.3 feet; thence North 89°46'30" East, 1875.8 feet; thence South 00° 25'15" East, 2180.4 feet; thence South 89°58' West, 545.7 feet; thence

North 89°59'15" West, 417.9 feet; thence South 00°37' East, 424.9 feet to the POINT OF BEGINNING; EXCEPT the following described tract of land shall remain as A-1 zoning:

Commencing at the South ¼ corner of Section 31, Township 80 North, Range 25 West of the 5<sup>th</sup> P.M., Polk County, Iowa; thence North 90°00'00" East 418.6 feet; thence North 00°00'00" East 33.0 feet; thence North 00°37' West, 424.9 feet to the POINT OF BEGINNING; thence North 00°37' West, 400.02 feet; thence South 89°59'15" East, 426.51 feet; thence North 89°58' East, 538.46 feet; thence South 00°25'15" East, 400.00 feet; thence South 89°58' West, 545.70 feet; thence North 89° 59'15" West, 417.9 feet to the POINT OF BEGINNING.

Said tract of land contains 93.10 acres more or less.

6. The following described property located in Grimes, Polk County, Iowa, zoning classification is changed from R-1 to C-2:

Lot 2, Block 10 in Channon's Second North Addition to Grimes and the East-West Alley abutting Lots 2,3, and 4 in Block 10, Channon's North Addition, Grimes, Polk County, Iowa.

7. The following described property located in Grimes, Polk County, Iowa, zoning classification is changed from A-1 to R-2:

The West 184 feet of the South 246 feet of that part of the Southwest Quarter of the Northwest Quarter of Section 5, Township 79 North, Range 25 West of the 5<sup>th</sup> P.M., Polk County, Grimes, Iowa.

8. The following described property located in Grimes, Polk County, Iowa, zoning classification is changed from R-3 to C-2:

The North ½ of the Southeast ¼ of Section 5, Township 79 North, Range 25 West of the Fifth P.M., Grimes, Polk County, Iowa, which abuts Highway 141.

9. The following parcel shall be changed from R-2 to C-2: 408 First Street, Grimes, Polk County, Iowa, more particularly described as follows: Lots Two (2), Three (3), Four (4), Five (5) in Block One (1) and the 16 foot North/South alley lying East of and adjacent to Lot 2, all in the Town of Grimes, now included and forming a part of the City of Grimes, Polk County, Iowa.

EDITOR'S NOTE

The following ordinances have been adopted amending the Official Zoning Map pursuant to Section 165.05 of this chapter and have not been included as a part of this Code of Ordinances but have been specifically saved from repeal and are in full force and effect:

ZONING MAP AMENDMENTS

<u>ORDINANCE NO.</u>	<u>DATE ADOPTED</u>
236	6/9/87
244	9/13/88
247	9/13/88
250	11/22/88
251	1/24/89
258	5/9/89
274	6/25/90
275	6/25/90
282	10/22/90
291	4/22/91
299	9/23/91
320	6/22/92
348	6/28/93
350	11/9/93
357	2/8/94
361	6/14/94
362	6/14/94
405	7/22/97
425	5/25/99
426	5/25/99
436	4/25/00
439	6/27/00
440	1/23/01
441	2/27/01
450	1/17/02
451	02/12/02
452	02/12/02
454	07/09/02
461	04/22/03
462	07/08/03
464	08/12/03

465	08/26/03
467	00/00/03
468	10/14/03
469	03/18/04
470	12/25/03
480	03/18/04
486	05/13/04
489	08/12/04
491	07/29/04
494	08/12/04
496	10/07/04
513	03/22/05
514	03/22/05
517	06/23/05
518	08/04/05
526	10/13/05
529	12/08/05
531	12/08/05
539	02/28/06
536	01/10/06
537	02/14/06
534	01/10/06
541	06/24/06
543	06/13/06
544	08/08/06
545	11/28/06
546	12/12/06
547	04/24/07
550	01/09/07
553	06/12/07
556	09/28/07
557	09/25/07
558	11/01/07
560	10/25/07
559	01/22/08
569	11/25/08
570	01/27/09
584	12/15/09
587	03/23/10
588	03/22/11
592	07/06/11
595	02/14/12
607	08/29/12
613	05/14/13
614	05/14/13
615	05/14/13
618	06/25/13
619	09/24/13

~~623~~

~~01/14/14~~

~~624~~

~~01/14/14~~

As of May 13, 2014 all zoning changes are part of the 040914 Official Zoning Map and are adopted pursuant to Section 165.05 of this Chapter.

SECTION 3. Repealer. All ordinances or parts of ordinances in conflict with the provisions of these ordinances are hereby repealed.

SECTION 4. Severability Clause. If any section, provision or part of this ordinance shall be adjudged invalid or unconstitutional, such adjudication shall not affect the validity of the ordinance as a whole or any section, provision or part thereof not adjudged invalid or unconstitutional.

SECTION 5: Effective Date. This ordinance shall be in effect after its final passage, approval and publication as provided by law.

Passed by the City Council on this th day of and approved on this day of , 2014.

\_\_\_\_\_  
Thomas M. Armstrong, Mayor

\_\_\_\_\_  
Rochelle Williams, City Clerk



**ORDINANCE #629**

**AN ORDINANCE AMENDING THE GRIMES CODE OF ORDINANCES Chapter 165.05  
BOUNDARIES AND OFFICIAL MAP.**

BE IN ENACTED BY THE CITY COUNCIL OF THE CITY OF GRIMES, IOWA

SECTION 1. Purpose. The purpose of this Ordinance is to amend the Grimes Code of Ordinances Chapter 165.05

SECTION 2. Amendment. Pursuant to the Grimes Code of Ordinances Chapter 165.05, to Adopt the Official Zoning Map

165.47 AMENDMENTS TO OFFICIAL ZONING MAP. The official Zoning Map for the City of Grimes is hereby amended as follows:

1. ~~Lots 21 and 22 of the Gateway Business Park, City of Grimes, Polk County, Iowa, zoning classification shall be modified from M-1A to M-2.~~

2. ~~A parcel of land in the fractional north 1/2 of the fractional NE 1/4 of Section 5, Township 79 North, Range 25 West of the 5<sup>th</sup> P.M. City of~~

~~Grimes, Polk County, Iowa, and more particularly described as follows:~~

~~Commencing as a point of reference at the NE corner of Section 5 79 25; thence N89°42'03"W, 2368.58 feet along the north line of said section to a point; thence S00°19'57"W, 89.55 feet to a point; thence southeasterly along a curve to the left having a radius of 300.00 feet, an arc length of 218.99 feet and a chord bearing of S20°34'46"E to a point of curvature; thence southeasterly along a curve to the right having a radius of 300.00 feet, an arc length of 218.99 feet, and a chord bearing of S20 degrees 34'46"E to a point of tangency; thence S00°19'57"W, 39.59 feet to a point; thence S89°42'03"E, 870.77 feet to a point; thence southeasterly along a curve to the left having a radius of 1025.00 feet, an arc length of 573.06 feet, and a chord bearing of S36°53'28"E to a point; thence S37° 05'32"W, 63.18 feet to a point; thence southwesterly along a curve to the left having a radius of 300.00 feet, an arc length of 194.21 feet and a chord bearing of S18°32'46"W to a point; thence S00°00'00"E, 389.33 feet to a point on the south line of said fractional N 1/2, fractional NE 1/4; thence S89°53'01"W, 1550.00 feet to the SW corner of said fractional N 1/2, fractional NE 1/4; thence N00°19'57"E, 1507.54 feet to a point; thence S89°42'03"E, 132.22 feet to a point; thence N00°19'57"E, 120.32 feet to a point; thence S81°59'34"E, 148.45 feet to a point of beginning and containing 41.3 acres more or less shall be modified from A-1 to R-3 zoning.~~

A parcel of land in the fractional North 1/2 of the fractional NE 1/4 of Section 5, Township 79 North, Range 25 West of the 5<sup>th</sup> P.M., City of Grimes, Polk County, Iowa and more particularly described as follows:

Commencing as a point of reference at the NE corner of Section 5-79-25; thence N89°42'03"W, 2368.58 feet along the north line of said section to a point, thence S00°19'57"W, 59.91 feet to the point of beginning on the south right-of-way line of said highway; thence S00°19'57"W, 89.55 feet to a point; thence southeasterly along a curve to the left having a radius of 300.00 feet, an arc length of 218.99 feet, and a chord bearing of S20°34'46"E to a point of curvature; thence southeasterly along a curve to the right having a radius of 300.00 feet, an arc length of 218.99 feet, and a chord bearing of S20°34'46"E to a point of tangency; thence S00°19'57"W, 39.59 feet to a point; thence S89°42'03"W, 870.77 feet to a point; thence southeasterly along a curve to the left having a radius of 1025.00 feet, an arc length of 573.06 feet, and a chord bearing of S36°53'28"E to a point; thence S37°05'32"W, 63.18 feet to a point; thence southwesterly along a curve to the left having a radius of 300.00 feet, an arc length of 194.21 feet, and a chord bearing of S18°32'46"W to a point; thence S00°00'00"E, 389.33 feet to a point on the south line of said fractional N 1/2, fractional NE 1/4; thence N89°53'01"E, 1063.45 feet along said south line to a point on the west right of way line of Highway 141; thence N00°21'39"E, 866.73 feet along said right-of-way to a point thence N11°30'03"W, 576.10 feet along Iowa Department of Transportation right-of-way but diverging from along Highway 141 to a point; thence N50°06'03"E 232.60 feet along said right-of-way line of Iowa Highway 44; thence N89°41'09"W, 986.60 feet along said right-of-way to a point; thence S88°50'40"W, 202.27 feet along said right-of-way to a point; thence N89°42'03"W, 613.00 feet along said right-of-way to a point; thence S00°06'45"W, 15.00 feet along said right-of-way to a point; thence N89°45'52"W, 112.28 feet along said right-of-way to a point; thence N76°09'52"W, 128.55 feet along said right-of-way to the point of beginning and containing 52.2 acres more or less zoning classification shall be modified from A-1 to C-2.

3. ~~Lot 4 and Outlot X of Crossroads Plat, Polk County, Grimes, Iowa, zoning classification shall be modified from M-1 to M-1A.~~

4. ~~The Southwest One-quarter of the Northeast One-quarter of Section 17, Township 79 North, Range 25 West of the 5<sup>th</sup> P.M., Grimes, Polk County, Iowa, zoning classification shall be modified from A-1 to M-3.~~

5. ~~The following described property located in Grimes, Polk County, Iowa zoning classification is changed from A-1 to R-3:~~

~~The West 33 1/2 acres of the Southeast Quarter (SE 1/4) (EXCEPT the South 458 feet), Section 31, Township 80 North, Range 25 West of the 5<sup>th</sup> P.M., Polk County Iowa; AND~~

~~The East 1/2 of the Southwest 1/4 (EXCEPT the North 425 of the South 458 feet of the East 418, and that part conveyed to the State of Iowa for road purposes and for use as a public highway), all in Section 31, Township 80 North, Range 25 West of the 5<sup>th</sup> P.M., Polk County, Iowa all being more~~

particularly describes as follows:

Commencing at the South ¼ corner of Section 31, Township 80 North, Range 25 West of the 5<sup>th</sup> P.M., Polk County, Iowa; thence North 90°00'00" East, 418.6 feet; thence North 00°00'00" East, 33 feet to the POINT OF BEGINNING; thence North 89°58'15" West, 223.6 feet; thence North 83°40' West, 400.5 feet; thence North 88°40' West, 400.5 feet; thence North 88°06' West, 287.1 feet; thence North 00°32'45" West, 2544.3 feet; thence North 89°46'30" East, 1875.8 feet; thence South 00° 25'15" East, 2180.4 feet; thence South 89°58' West, 545.7 feet; thence

North 89°59'15" West, 417.9 feet; thence South 00°37' East, 424.9 feet to the POINT OF BEGINNING; EXCEPT the following described tract of land shall remain as A-1 zoning:

Commencing at the South ¼ corner of Section 31, Township 80 North, Range 25 West of the 5<sup>th</sup> P.M., Polk County, Iowa; thence North 90°00'00" East 418.6 feet; thence North 00°00'00" East 33.0 feet; thence North 00°37' West, 424.9 feet to the POINT OF BEGINNING; thence North 00°37' West, 400.02 feet; thence South 89°59'15" East, 426.51 feet; thence North 89°58' East, 538.46 feet; thence South 00°25'15" East, 400.00 feet; thence South 89°58' West, 545.70 feet; thence North 89° 59'15" West, 417.9 feet to the POINT OF BEGINNING. —

Said tract of land contains 93.10 acres more or less.

6. The following described property located in Grimes, Polk County, Iowa, zoning classification is changed from R-1 to C-2:

Lot 2, Block 10 in Channon's Second North Addition to Grimes and the East West Alley abutting Lots 2,3, and 4 in Block 10, Channon's North Addition, Grimes, Polk County, Iowa.

7. The following described property located in Grimes, Polk County, Iowa, zoning classification is changed from A-1 to R-2:

The West 184 feet of the South 246 feet of that part of the Southwest Quarter of the Northwest Quarter of Section 5, Township 79 North, Range 25 West of the 5<sup>th</sup> P.M., Polk County, Grimes, Iowa.

8. The following described property located in Grimes, Polk County, Iowa, zoning classification is changed from R-3 to C-2:

The North ½ of the Southeast ¼ of Section 5, Township 79 North, Range 25 West of the Fifth P.M., Grimes, Polk County, Iowa, which abuts Highway 141.

9. The following parcel shall be changed from R-2 to C-2: 408 First Street, Grimes, Polk County, Iowa, more particularly described as follows: Lots Two (2), Three (3), Four (4), Five (5) in Block One (1) and the 16-foot North/South alley lying East of and adjacent to Lot 2, all in the Town of Grimes, now included and forming a part of the City of Grimes, Polk County, Iowa.

EDITOR'S NOTE

The following ordinances have been adopted amending the Official Zoning Map pursuant to Section 165.05 of this chapter and have not been included as a part of this Code of Ordinances but have been specifically saved from repeal and are in full force and effect:

ZONING MAP AMENDMENTS

<u>ORDINANCE NO.</u>	<u>DATE ADOPTED</u>
236	6/9/87
244	9/13/88
247	9/13/88
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251	1/24/89
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320	6/22/92
348	6/28/93
350	11/9/93
357	2/8/94
361	6/14/94
362	6/14/94
405	7/22/97
425	5/25/99
426	5/25/99
436	4/25/00
439	6/27/00
440	1/23/01
441	2/27/01
450	1/17/02
451	02/12/02
452	02/12/02
454	07/09/02
461	04/22/03
462	07/08/03
464	08/12/03

465	08/26/03
467	00/00/03
468	10/14/03
469	03/18/04
470	12/25/03
480	03/18/04
486	05/13/04
489	08/12/04
491	07/29/04
494	08/12/04
496	10/07/04
513	03/22/05
514	03/22/05
517	06/23/05
518	08/04/05
526	10/13/05
529	12/08/05
531	12/08/05
539	02/28/06
536	01/10/06
537	02/14/06
534	01/10/06
541	06/24/06
543	06/13/06
544	08/08/06
545	11/28/06
546	12/12/06
547	04/24/07
550	01/09/07
553	06/12/07
556	09/28/07
557	09/25/07
558	11/01/07
560	10/25/07
559	01/22/08
569	11/25/08
570	01/27/09
584	12/15/09
587	03/23/10
588	03/22/11
592	07/06/11
595	02/14/12
607	08/29/12
613	05/14/13
614	05/14/13
615	05/14/13
618	06/25/13
619	09/24/13

~~623~~

~~01/14/14~~

~~624~~

~~01/14/14~~

As of May 13, 2014 all zoning changes are part of the 040914 Official Zoning Map and are adopted pursuant to Section 165.05 of this Chapter.

SECTION 3. Repealer. All ordinances or parts of ordinances in conflict with the provisions of these ordinances are hereby repealed.

SECTION 4. Severability Clause. If any section, provision or part of this ordinance shall be adjudged invalid or unconstitutional, such adjudication shall not affect the validity of the ordinance as a whole or any section, provision or part thereof not adjudged invalid or unconstitutional.

SECTION 5: Effective Date. This ordinance shall be in effect after its final passage, approval and publication as provided by law.

Passed by the City Council on this th day of and approved on this day of , 2014.

\_\_\_\_\_  
Thomas M. Armstrong, Mayor

\_\_\_\_\_  
Rochelle Williams, City Clerk



101 NE Harvey Street, Grimes, Iowa 50111 515.986.3036 Fax 515.986.3846

April 23, 2014

David Bentz, P.E.  
Bishop Engineering  
3501 104<sup>th</sup> Street  
Des Moines, Iowa 50322

Toyota of Des Moines – Employee Parking Lot -- Site Plan  
1651 SE 37<sup>th</sup> Street  
FOX Ref No: 8630-06M.242

The City of Grimes and FOX Engineering has completed the second review of the Toyota of Des Moines Employee Parking Lot Site Plan, dated April 23, 2014 and offer the following comments:

**Sheet C7.1 - SWPPP**

1. FOX has yet to review the provided SWPPP document. Comments (if necessary) will be submitted under a separate cover.
2. Please submit a City of Grimes Grading/Certification for Development form.

**Lighting Plan**

3. Please provide a lighting plan. Please provide cut-sheets for the poles & fixtures and verify that no light will spill to adjacent properties.

**Stormwater Management Plan**

4. FOX has yet to receive the second submittal of the SWMP. Comments will be submitted under separate cover when this document is reviewed.

**Post Construction Stormwater Agreement**

Please submit a post construction stormwater agreement for this development. The agreement should identify all existing and proposed stormwater facilities that require inspections as per our ordinance.

SITE PLAN SUBMITTAL SCHEDULE:

PLANNING & ZONING: April 29, 2014 at 5:30 PM at Grimes City Hall

COUNCIL MEETING: May 13, 2015 at 5:30 PM at Grimes City Hall

If you have any questions or concerns, please contact Joe McAreavy. The City reserves the right to modify or add to these comments.

Sincerely,

*Joe McAreavy*

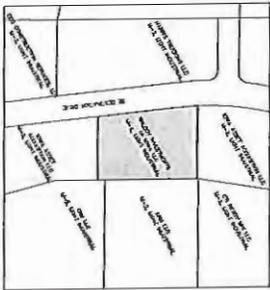
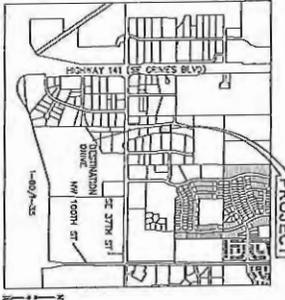
Joe McAreavy, Public Works Director

# SITE PLAN FOR:

# COMMERCIAL & HOME SERVICES

## GRIMES, IOWA

### VICINITY MAP



### INDEX OF SHEETS

NO.	DESCRIPTION
1	COVER SHEET
2	DIMENSION PLAN
3	GRADING PLAN
4	UTILITY PLAN
5	LANDSCAPE PLAN

### GENERAL NOTES

1. THE OWNER OF THIS PROPERTY WILL MAINTAIN THE CHANGES ALONG THE EXISTING PROPERTY BOUNDARY.
2. CURBWISE CONTAINER WILL BE INTERNAL TO BUILDING.

### CITY OF GRIMES

#### STANDARD NOTES FOR SITE PLANS

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CURRENT VERSION OF THE IOWA STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS, AS APPLICABLE, AND THE CITY OF GRIMES SUPPLEMENTAL SPECIFICATIONS.
2. A PRECONSTRUCTION MEETING IS REQUIRED PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONDUCT THIS MEETING WITH THE CITY ENGINEER AND THE CITY OF GRIMES REPRESENTATIVE. THE MEETING SHALL BE HELD WITHIN TEN (10) DAYS OF THE START OF CONSTRUCTION.
3. ALL PROJECTS SHALL BE OPEN TO THE PUBLIC AND SHALL BE OPENED PRIOR TO THE START OF CONSTRUCTION.
4. THE DESIGNER AND/OR CONSULTANT SHALL BE RESPONSIBLE TO PROVIDE THE CITY OF GRIMES WITH RECORD DRAWINGS OF ALL IMPROVEMENTS AS PER CITY STANDARD PROCEDURES.
5. ALL WORK IS TO BE COMPLETED BY THE DEPARTMENT AND SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
6. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF GRIMES STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS.

### GENERAL LEGEND

PROPOSED	EXISTING
PROJECT BOUNDARY	SANITARY MANHOLE
LOT LINE	WATER VALVE BOX
CONTRIBUTOR LINE	THE HYDRANT
RIGHT OF WAY	WATER MAIN STOP
PERMANENT EASEMENT	STORM SEWER MANHOLE
TEMPORARY EASEMENT	STORM SEWER DOUBLE MANHOLE
TYPE SW-501 STORM MANHOLE	FLARED END SECTION
TYPE SW-502 STORM MANHOLE	ROOF DRAIN / DOWNPOUT
TYPE SW-503 STORM MANHOLE	CONCRETE TREE
TYPE SW-504 STORM MANHOLE	CONCRETE CURB
TYPE SW-505 STORM MANHOLE	CONCRETE SHOULDER
TYPE SW-601 STORM MANHOLE	CONCRETE SHOULDER
TYPE SW-602 STORM MANHOLE	ELECTRIC POWER POLE
TYPE SW-603 SANITARY MANHOLE	EXIST. ANCHOR
STORM/SANITARY CLEANOUT	ANCHOR BOLT / TRANSFORMER
WATER VALVE	UTILITY POLE W/ LIGHT
THE HYDRANT ASSEMBLY	ELECTRIC BOX
DETECTABLE WARNING PANEL	ELECTRIC TRANSFORMER
STORM SEWER STRUCTURE NO.	ELECTRIC MANHOLE OR VAULT
SANITARY SEWER STRUCTURE NO.	RAILROAD SIGNAL
SANITARY SEWER PER. NO.	TELEPHONE JUNCTION BOX
SANITARY SEWER WITH SIZE	TELEPHONE MANHOLE/VAULT
SANITARY SEWER	TELEPHONE POLE
WATER MAIN WITH SIZE	CAST IRON JUNCTION BOX
CAST IRON (TYP. DOTTED)	CAST IRON MANHOLE/VAULT
2" DIA. ENCASE	MANHOLE
	POLE
	UNDERGROUND TV CABLE
	POLE
	UNDERGROUND TELEPHONE
	OVERHEAD TELEPHONE
	UNDERGROUND ELECTRIC
	ROAD TILE
	SMOOTH SEWER W/ 2" DIA.
	SMOOTH SEWER W/ 3" DIA.
	SMOOTH SEWER W/ 4" DIA.
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### UTILITY WARNING

THE USER OF THIS PLAN SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR NOTIFYING THE UTILITIES COMPANIES OF ALL WORK TO BE DONE. THE USER SHALL BE RESPONSIBLE FOR PROTECTING ALL UTILITIES FROM DAMAGE. THE USER SHALL BE RESPONSIBLE FOR NOTIFYING THE UTILITIES COMPANIES OF ANY DAMAGE TO UTILITIES. THE USER SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE TO UTILITIES. THE USER SHALL BE RESPONSIBLE FOR NOTIFYING THE UTILITIES COMPANIES OF ANY DAMAGE TO UTILITIES. THE USER SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE TO UTILITIES.

**OWNER**  
THE INVESTMENT, LLC  
1400 14TH ST SW  
GRIMES, IA 50501

**DEVELOPER**  
THE INVESTMENT, LLC  
1400 14TH ST SW  
GRIMES, IA 50501

**ENGINEER**  
DAVID J. GRIMES, INC.  
1400 14TH ST SW  
GRIMES, IA 50501

**SURVEYOR**  
DAVID J. GRIMES, INC.  
1400 14TH ST SW  
GRIMES, IA 50501

**PROPERTY DESCRIPTION**  
LOT 3, CONVEYANCE BY GRIMES, INC. TO THE INVESTMENT, LLC, DATED 10/15/2010, CITY OF GRIMES, POLK COUNTY, IOWA AND CONTAINS THEREIN IS SUBJECT TO ANY AND ALL EASEMENTS OF RECORD.

**ZONING**  
U-2 URBAN INDUSTRIAL DISTRICT

**BULK REGULATIONS**  
SEE CITY ORDINANCE 1400 14TH ST SW, GRIMES, IA 50501

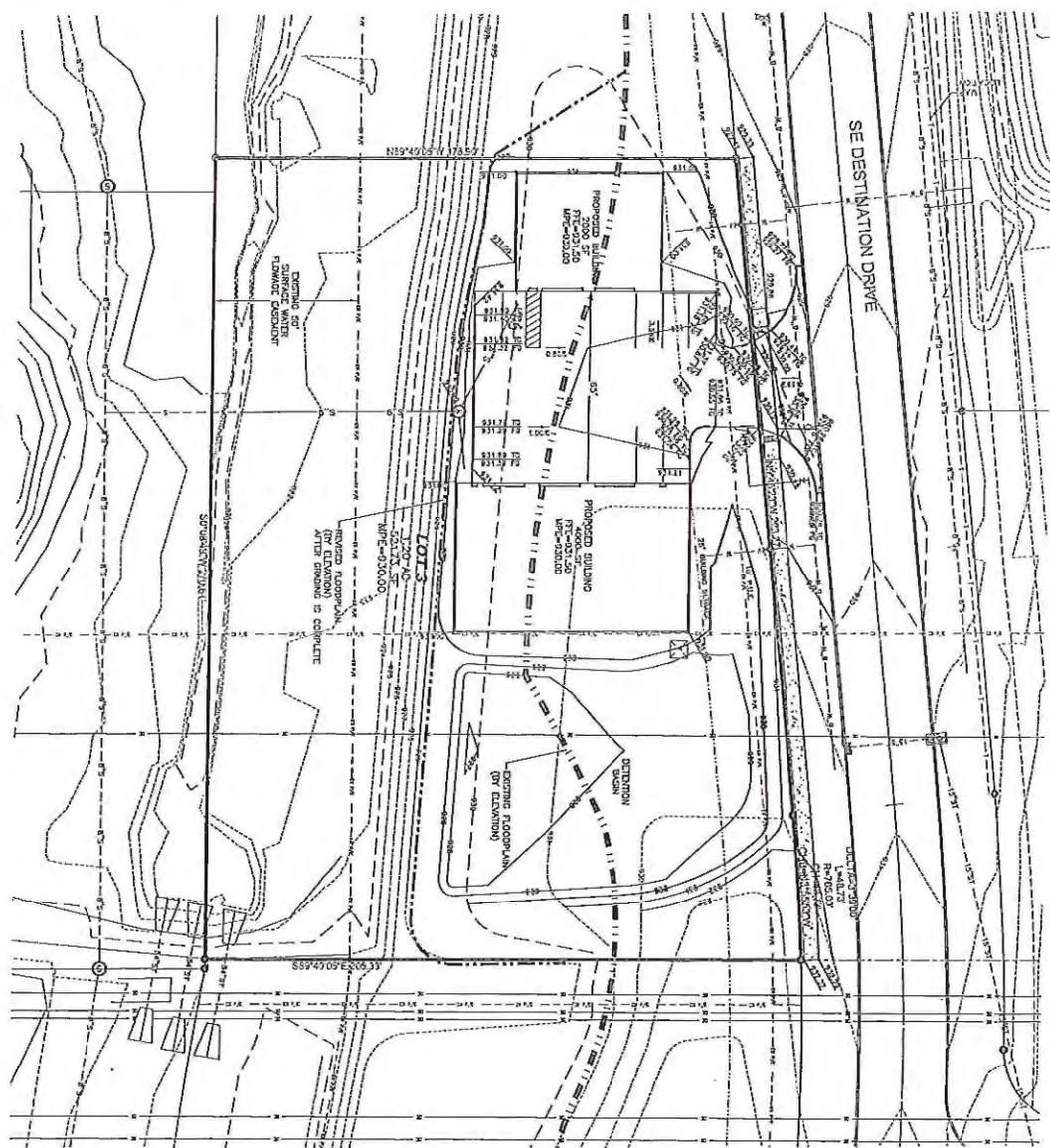
**PROJECT SITE ADDRESS**  
1400 14TH ST SW  
GRIMES, IA 50501

**DATE OF SURVEY**  
DECEMBER 2012

**DEVELOPMENT SUMMARY**

ITEM	QUANTITY	REMARKS
1. ASPHALT DRIVE	1,000 SF	1,000 SF
2. ASPHALT DRIVE	1,000 SF	1,000 SF
3. ASPHALT DRIVE	1,000 SF	1,000 SF
4. ASPHALT DRIVE	1,000 SF	1,000 SF
5. ASPHALT DRIVE	1,000 SF	1,000 SF
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25. ASPHALT DRIVE	1,000 SF	1,000 SF
26. ASPHALT DRIVE	1,000 SF	1,000 SF
27. ASPHALT DRIVE	1,000 SF	



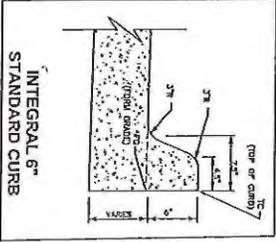


**GRADING NOTES**

1. REFER TO ANY GRADING A COPY OF THE RECORD PLANS SHALL BE PROVIDED TO THE CITY OF GRAMES BOUND DIVISION.
2. CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF GRAMES ORDINANCES AND ANY APPLICABLE STATE AND FEDERAL REGULATIONS.
3. DETENTION BASIN SHALL BE IN ACCORDANCE WITH THE VARIATION DESIGN OF THE ILLINOIS STATE DEPARTMENT OF TRANSPORTATION AND ALL CITY ORDINANCES.
4. DETENTION BASIN SHALL BE PROTECTED BY A 3' HIGH CONCRETE CURB.
5. ALL CURB ELEVATIONS SHALL BE 1.5' ABOVE FINISHED GRADE UNLESS OTHERWISE NOTED.
6. DETENTION BASIN SHALL BE PROTECTED BY A 3' HIGH CONCRETE CURB.
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14. DETENTION BASIN SHALL BE PROTECTED BY A 3' HIGH CONCRETE CURB.
15. DETENTION BASIN SHALL BE PROTECTED BY A 3' HIGH CONCRETE CURB.

**DETENTION BASIN NOTES**

1. THE FOLLOWING REQUIREMENTS SHALL BE APPLIED TO THE CONSTRUCTION AND MAINTENANCE OF THE DETENTION BASIN TO REMAIN IN ACCORDANCE WITH THE CITY OF GRAMES ORDINANCES AND ALL APPLICABLE STATE AND FEDERAL REGULATIONS.
2. THE DETENTION BASIN SHALL BE CONSTRUCTED WITH A MINIMUM OF 18" OF GRAVEL FLOORPLAN.
3. THE DETENTION BASIN SHALL BE CONSTRUCTED WITH A MINIMUM OF 18" OF GRAVEL FLOORPLAN.
4. THE DETENTION BASIN SHALL BE CONSTRUCTED WITH A MINIMUM OF 18" OF GRAVEL FLOORPLAN.
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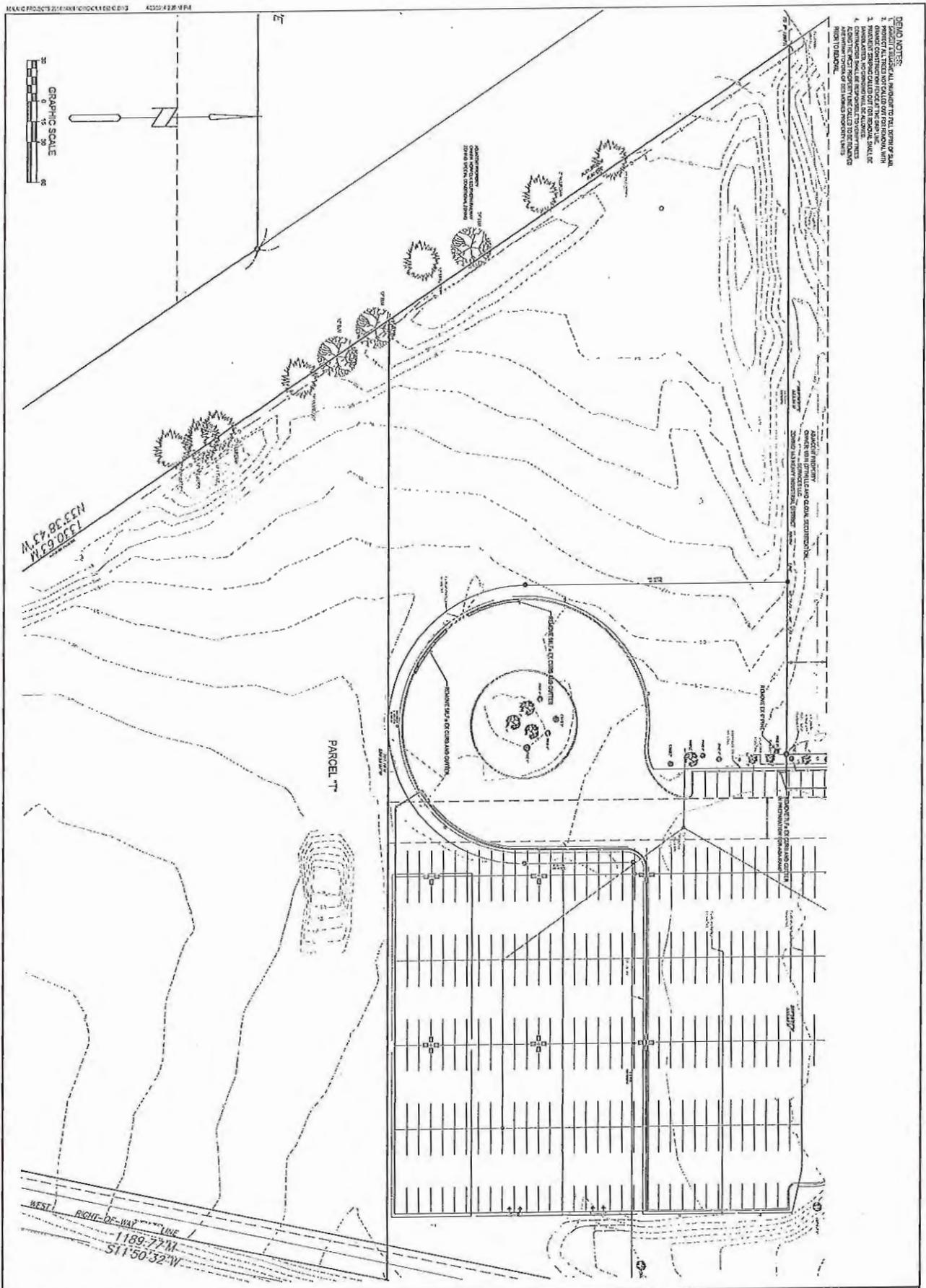




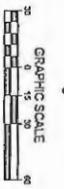




# PRELIMINARY- NOT FOR CONSTRUCTION



- FIELD NOTES:**
1. PROPERTY LINES NOT CALLED OUT FOR RECORD WITH THIS PLAN.
  2. PROPERTY LINES NOT CALLED OUT FOR RECORD WITH THIS PLAN.
  3. PROPERTY LINES NOT CALLED OUT FOR RECORD WITH THIS PLAN.
  4. PROPERTY LINES NOT CALLED OUT FOR RECORD WITH THIS PLAN.



**TOYOTA OF DES MOINES  
 EMPLOYEE PARKING LOT**  
**DEMO PLAN**

**Bishop Engineering**  
*"Finishing Your Successful Development"*  
 3501 104th Street  
 Des Moines, Iowa 50322-8832  
 Phone: (515) 281-6627 Fax: (515) 281-6627  
 Civil Engineering & Land Surveying Established 1979

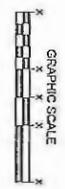




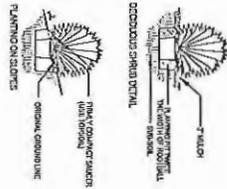
# PRELIMINARY- NOT FOR CONSTRUCTION

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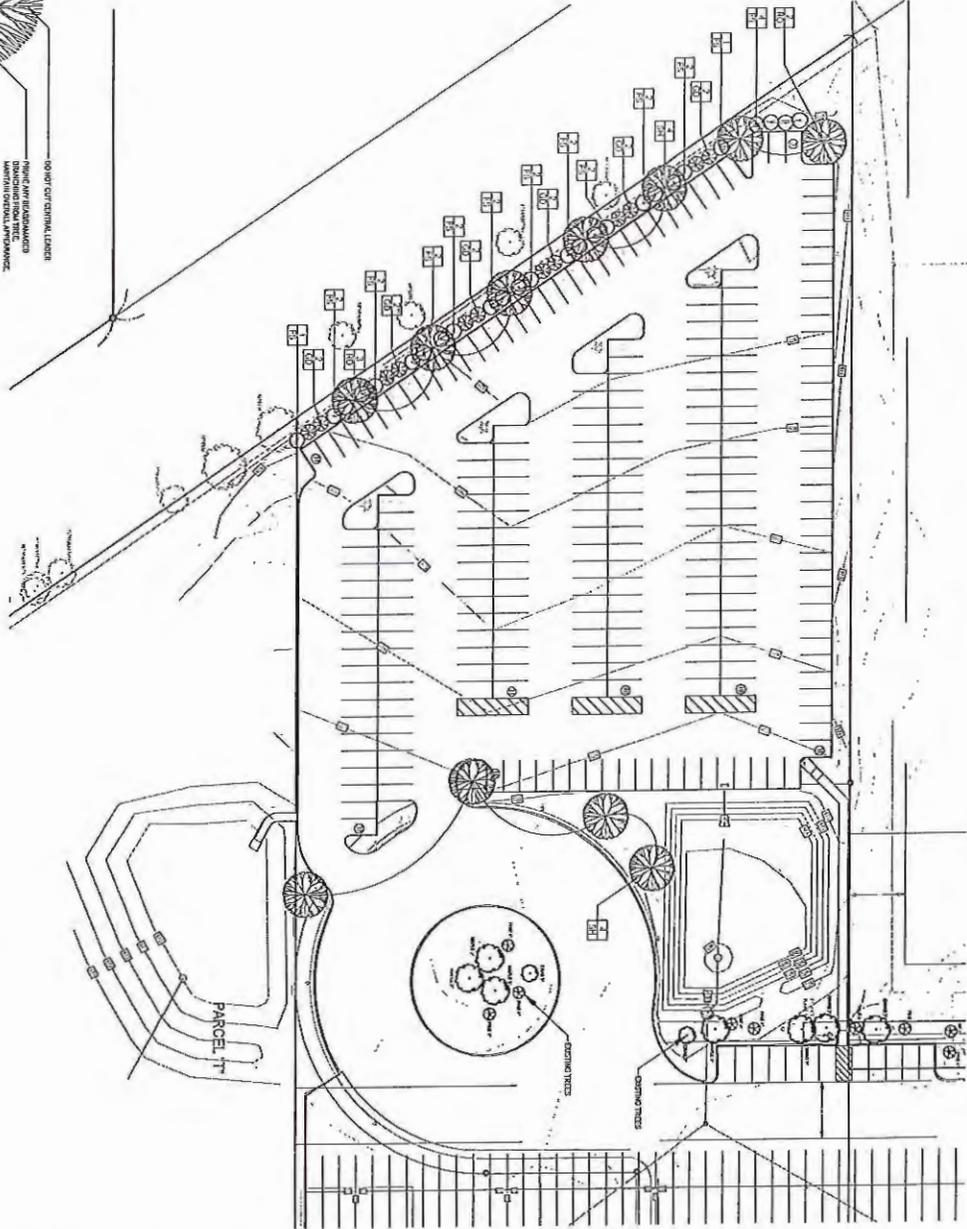
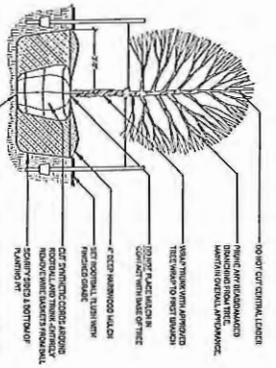
- LANDSCAPE NOTES:**
1. ALL DECIDUOUS AND SHRUB PLANTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE CREMA STANDARD SPECIFICATIONS, LATEST EDITION OR THEREAFTER.
  2. SIZE ALL DECIDUOUS AND SHRUBS FOR THE CONTRACT DATE, AND TO MATURE PROPORTION.
  3. PLANT DECIDUOUS AND SHRUBS TO BE PLANTED IN THE CONTRACT YEAR, THE SHADING SHALL BE THAT OF A CONTRACT YEAR.
  4. ALL PLANT MATERIAL SHALL BE PROVIDED BY THE LANDSCAPE ARCHITECT UNLESS OTHERWISE NOTED.
  5. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR ALL PLANTINGS FROM THE CITY OF DES MOINES.
  6. FIT THE CONTRACTOR'S PROPOSAL TO EACH OF THE SPECIFICATIONS AND CODES OF ALL APPLICABLE AGENCIES.
  7. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR ALL PLANTINGS FROM THE CITY OF DES MOINES.
  8. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR ALL PLANTINGS FROM THE CITY OF DES MOINES.
  9. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR ALL PLANTINGS FROM THE CITY OF DES MOINES.
  10. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR ALL PLANTINGS FROM THE CITY OF DES MOINES.



○ SHRUB PLANTING (TYP)  
SCALE: NOT TO SCALE



○ DECIDUOUS TREE PLANTING (TYP)  
SCALE: NOT TO SCALE



**PLANTING SCHEDULE**

QTY	SIZE	PLANTING DATE	PLANTING METHOD	PLANTING LOCATION	PLANTING NOTES
1	1" DBH	2014	CONTRACT YEAR	CONTRACT YEAR	CONTRACT YEAR
2	2" DBH	2014	CONTRACT YEAR	CONTRACT YEAR	CONTRACT YEAR
3	3" DBH	2014	CONTRACT YEAR	CONTRACT YEAR	CONTRACT YEAR

**TOYOTA OF DES MOINES  
EMPLOYEE PARKING LOT**

**LANDSCAPE PLAN**

**Bishop Engineering**  
"Planting Your Successful Development"

3501 104th Street  
Des Moines, Iowa 50322-3028  
Phone (515) 281-6667 Fax (515) 281-6618

Civil Engineering & Land Surveying Established 1979

PROJECT NUMBER: 140081

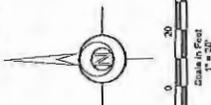
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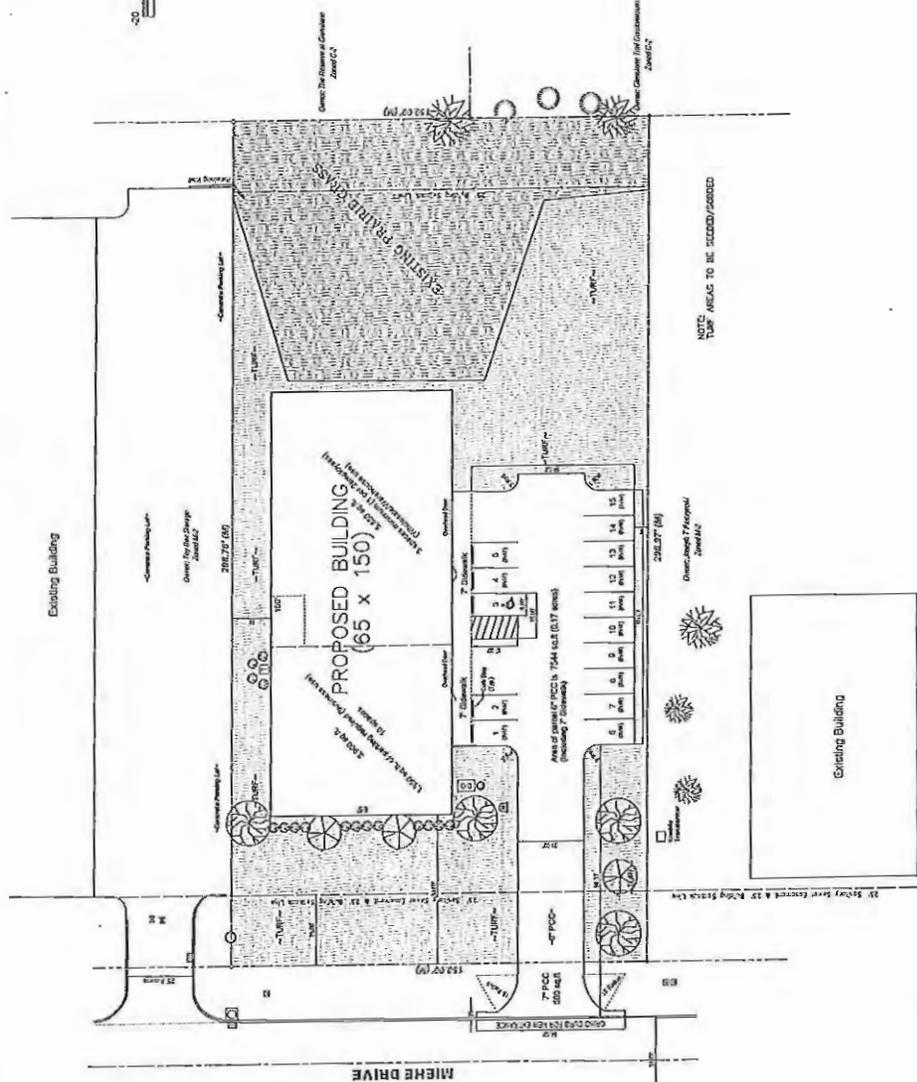




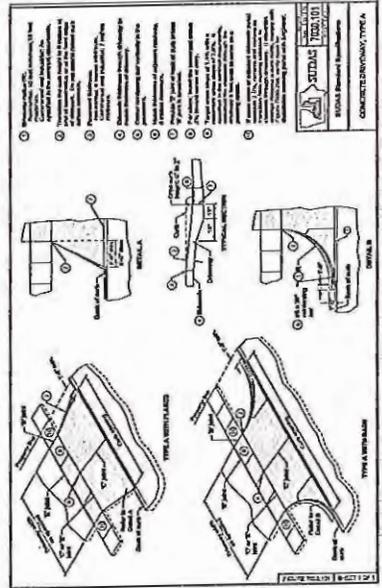




- PROPOSED SPECIES TREES:**
- 1 (TYPICAL) (SUITABLE TREE)
  - 2 (TYPICAL) (SUITABLE TREE)
  - 3 (TYPICAL) (SUITABLE TREE)
  - 4 (TYPICAL) (SUITABLE TREE)
  - 5 (TYPICAL) (SUITABLE TREE)
- PROPOSED SPECIES:**
- 1 (TYPICAL) (SUITABLE TREE)
  - 2 (TYPICAL) (SUITABLE TREE)
  - 3 (TYPICAL) (SUITABLE TREE)
  - 4 (TYPICAL) (SUITABLE TREE)
  - 5 (TYPICAL) (SUITABLE TREE)



NOTE: TURN AREAS TO BE SEEDING/GRASSED



**SITE PLAN**  
**3455 SE Miere Drive**  
**Grimes, Iowa**

Scale: 1/4" = 1'-0"  
 Date: 04-23-2014  
 Project: 14-017

**LEGEND:**

**STANDARD SYMBOLS:**

- IRON ROD OR PIPE FOUND
- CALCULATED CORNER
- POWER POLE
- FINISHED FLOOR
- MATCH EXISTING GRADE

**MORE OR LESS:**

- FENCE LINE
- UTILITY LINE
- GAS
- WATER
- SEWER
- STORM SEWER
- UNDERGROUND ELEC. / TEL.
- CABLE TELEVISION

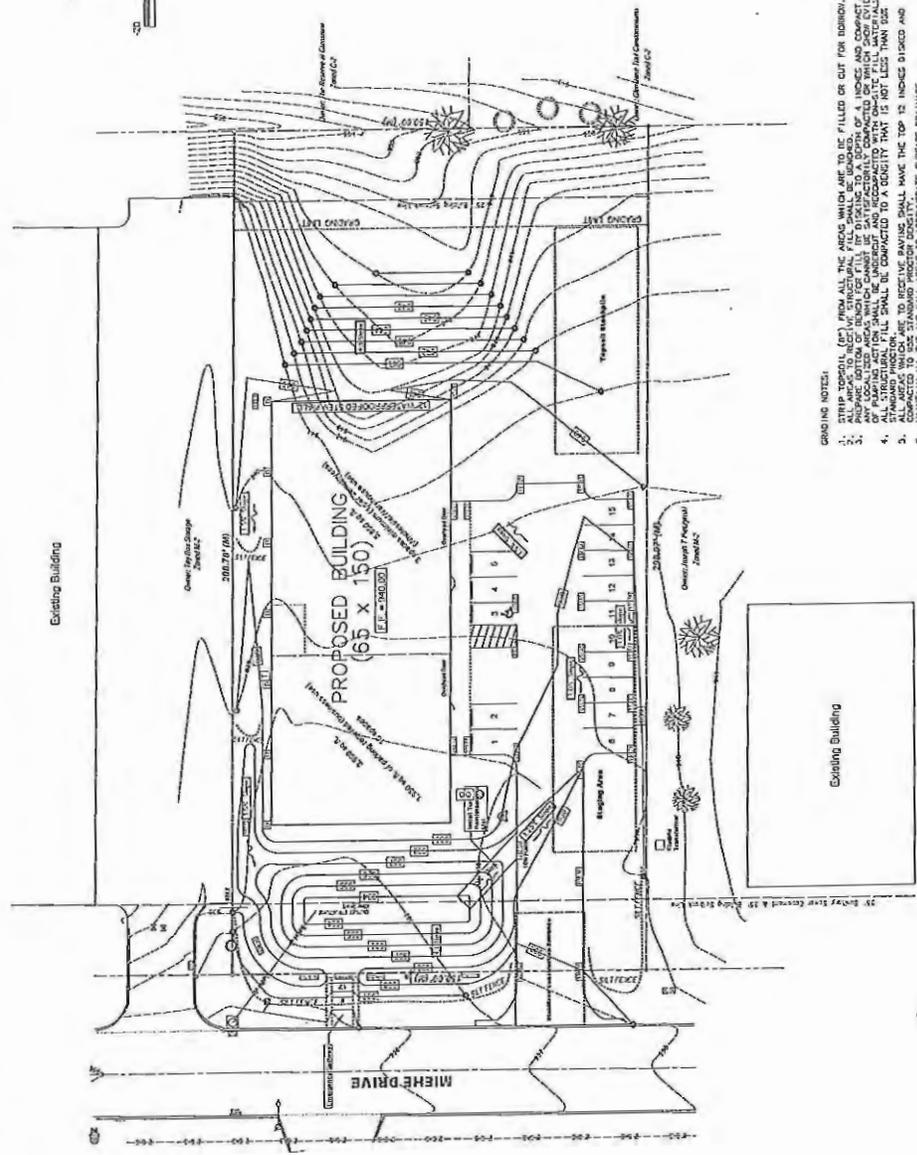
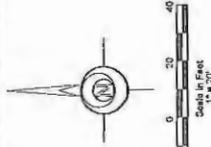
**PORTLAND CEMENT CONCRETE:**

- UTILITY LINE OR PIPE
- GAS
- WATER
- SEWER
- STORM SEWER
- UNDERGROUND ELEC. / TEL.
- CABLE TELEVISION

**EXISTING UTILITIES NOTE:** THE LOCATION OF ALL UTILITIES SHOWN ON THIS PLAN IS BASED ON RECORD DRAWINGS AND FIELD SURVEY DATA. THE CLIENT IS RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE ENGINEER HAS CONDUCTED VISUAL INSPECTIONS AND SURVEYS TO VERIFY THE LOCATION OF UTILITIES SHOWN ON THIS PLAN. THE ENGINEER HAS NOT CONDUCTED TESTS TO VERIFY THE DEPTH OF UTILITIES SHOWN ON THIS PLAN. THE ENGINEER HAS NOT CONDUCTED TESTS TO VERIFY THE LOCATION OF UTILITIES SHOWN ON THIS PLAN. THE ENGINEER HAS NOT CONDUCTED TESTS TO VERIFY THE DEPTH OF UTILITIES SHOWN ON THIS PLAN.

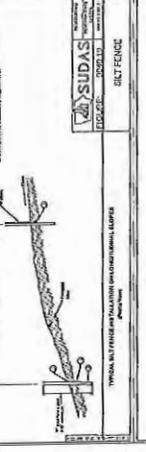
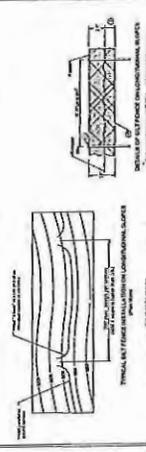
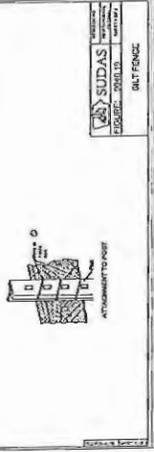
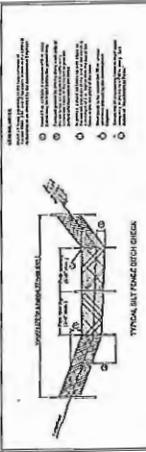
**A. LEO P. ELDS ENGINEERING COMPANY**  
 CONSULTING | FINISH | SURVEYING

1023 1st Ave, Des Moines, IA 50319, P.O. Box 1000, Des Moines, IA 50317 (515) 281-1111 (Fax: 515) 281-1112



**GRADING NOTES:**

1. STRIP TOPSOIL (2") FROM ALL THE AREAS WHICH ARE TO BE FILLED OR CUT FOR ROADWAY.
2. FINISH GRADE SHALL BE MAINTAINED TO A MINIMUM OF 1% DRAINAGE TO A DITCH OR A DRAINAGE MANHOLE.
3. ALL AREAS WHICH ARE TO RECEIVE DRAINAGE SHALL HAVE THE TOP 12 INCHES DISCED AND MAINTAINED ALL OUT AND ALL AREAS TO ACCOMMODATE SURFACE DRAINAGE.
4. FINISH GRADE ON ALL TOP-PAVED AREAS SHALL BE WITHIN 0.20' OF CUT AND PAVED AREA SHALL BE MAINTAINED TO A MINIMUM OF 1% DRAINAGE TO A DITCH OR A DRAINAGE MANHOLE.
5. THE CONTRACTOR SHALL PROTECT ALL UTILITIES AND STRUCTURES. ANY DAMAGE SHALL BE REPAIRED TO ORIGINAL CONDITION OR BETTER.
6. MAXIMUM ALLOWABLE GRADE ON ALL PROPOSED SLOPES IS 3:1.
7. ALL SLOPES SHALL BE SEEDED AND MULCHED TO PREVENT EROSION.
8. THE CONTRACTOR SHALL NOT DOWNSLOPE FROM THE EXISTING FINISH GRADE TO A STRUCTURAL FILL.
9. ALL REPAIRS SHALL BE TO ORIGINAL CONDITION OR BETTER.
10. ALL REPAIRS SHALL BE TO ORIGINAL CONDITION OR BETTER.
11. ALL REPAIRS SHALL BE TO ORIGINAL CONDITION OR BETTER.
12. ALL REPAIRS SHALL BE TO ORIGINAL CONDITION OR BETTER.
13. ALL REPAIRS SHALL BE TO ORIGINAL CONDITION OR BETTER.
14. ALL REPAIRS SHALL BE TO ORIGINAL CONDITION OR BETTER.



<b>SUDAS</b> STABILIZED CONSTRUCTION GRANULAR	
EDITION: 06/06/09 SHEET NO: 14-017	PROJECT NO: 04-03-2014 DATE: 04-03-2014

**SITE PLAN**  
 3455 SE Mifflin Drive  
 Grimes, Iowa

PORTLAND CEMENT CONCRETE WATER GAS SANITARY SEWER STORM SEWER OVERHEAD ELEC. TEL. CABLE TELEVISION	P.C.C. W GAS ST S O T C
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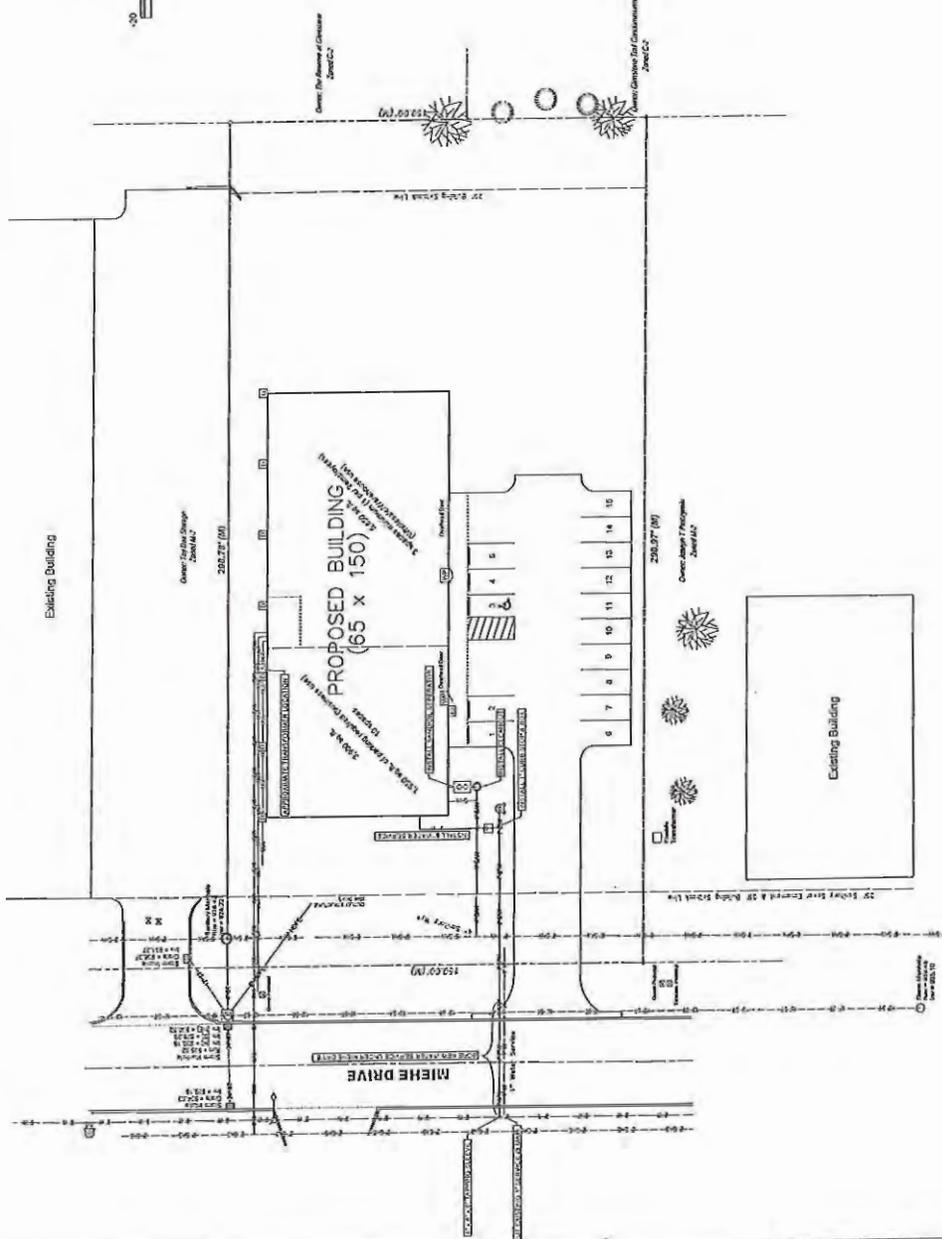
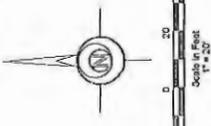
MORE OR LESS FINE HYDRANT SANITARY SEWER MANHOLE STORM SEWER MANHOLE VALVE NOT TO SCALE DOWNPOUT	4+ 0 1 2 3 4 5 6 7 8 9 10 11 12 13 14 15
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STANDARD SYMBOLS: IRON ROD OR PIPE FOUND CALCULATED CORNER KNIFE BOX LIGHT POLE FINISHED FLOOR MATCH EXISTING GRADE	[Symbol] [Symbol] [Symbol] [Symbol] [Symbol] [Symbol]
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**LEGEND:**

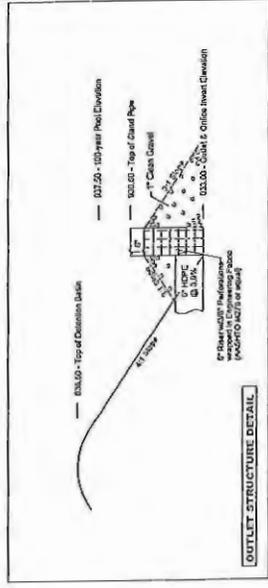
STANDARD SYMBOLS:  
 IRON ROD OR PIPE FOUND  
 CALCULATED CORNER  
 KNIFE BOX  
 LIGHT POLE  
 FINISHED FLOOR  
 MATCH EXISTING GRADE

**A. LEO ELDS ENGINEERING COMPANY**  
 CONSULTING ENGINEERS & ARCHITECTS  
 233 South Street, Des Moines, IA 50319, P.O. Box 4124, Des Moines, IA 50316, Tel: (515) 281-1100, Fax: (515) 281-1101



**UTILITY NOTES**

1. CONTRACTOR SHALL COORDINATE WITH BLACK HILLS CORPORATION FOR THE SPLIT POINT AND WATER AND SEWER CONNECTIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR THE SPLIT POINT AND WATER AND SEWER CONNECTIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR THE SPLIT POINT AND WATER AND SEWER CONNECTIONS.
2. CONTRACTOR SHALL PROVIDE A COMPLETE AND FUNCTIONING WATER DISTRIBUTION SYSTEM WITHIN THE SPLIT POINT AND WATER AND SEWER CONNECTIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR THE SPLIT POINT AND WATER AND SEWER CONNECTIONS.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELATED CONDUITS AND FITTINGS. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELATED CONDUITS AND FITTINGS.
4. CONTRACTOR SHALL COORDINATE WITH LOCAL UTILITY COMPANIES FOR ALL UTILITIES TO BE INSTALLED. CONTRACTOR SHALL BE RESPONSIBLE FOR THE SPLIT POINT AND WATER AND SEWER CONNECTIONS.
5. THE CONTRACTOR SHALL PROTECT ALL UTILITIES AND STRUCTURES; ANY DAMAGE SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
6. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTACT UTILITY COMPANIES FOR ALL UTILITIES TO BE INSTALLED. CONTRACTOR SHALL BE RESPONSIBLE FOR THE SPLIT POINT AND WATER AND SEWER CONNECTIONS.
7. CONTRACTOR SHALL VERIFY ADEQUATE FLOW FOR ALL UTILITIES TO BE INSTALLED. CONTRACTOR SHALL BE RESPONSIBLE FOR THE SPLIT POINT AND WATER AND SEWER CONNECTIONS.
8. CONTRACTOR SHALL BE RESPONSIBLE FOR THE SPLIT POINT AND WATER AND SEWER CONNECTIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR THE SPLIT POINT AND WATER AND SEWER CONNECTIONS.



**SITE PLAN**  
3455 SE Miehre Drive  
Grimes, Iowa

Scale: 1" = 20'

DATE: 04-20-2014

PROJECT NO: 14-0377

UTILITY 2/20

**LEGEND:**

**STANDARD SYMBOLS:**

- IRON ROD OR PIPE FOUND
- CALCULATED CORNER
- NIXOX BOX
- LOWE POLE
- FINISHED FLOOR
- MATCH EXISTING GRADE

**P.C.C.:**

- W: WATER
- GAS
- STORM SEWER
- SEWER
- TELEPHONE
- TELEVISION
- OTHER

**MORE OR LESS:**

- PRE-CAST
- MANHOLE
- VALVE
- ELEVATION (E.A.)
- DOWNPOUT

**PORTLAND CEMENT CONCRETE**

**WATER**

**GAS**

**STORM SEWER**

**SEWER**

**TELEPHONE**

**TELEVISION**

**OTHER**

**EXPLANATIONS:**

CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL GOVERNMENT AND UTILITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR THE SPLIT POINT AND WATER AND SEWER CONNECTIONS.

ALL UTILITIES TO BE INSTALLED SHALL BE INSTALLED IN ACCORDANCE WITH THE IOWA CODES AND REGULATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR THE SPLIT POINT AND WATER AND SEWER CONNECTIONS.

FOR A LIST OF THESE SYMBOLS USED IN THIS PLAN, REFER TO THE IOWA CODES AND REGULATIONS.

**P**

**A. LEO ELD'S ENGINEERING COMPANY**

ESTABLISHED 1978

3221 South Road, Des Moines, IA 50319 • FAX: 515-281-1111 • 515-281-1112 • 515-281-1113



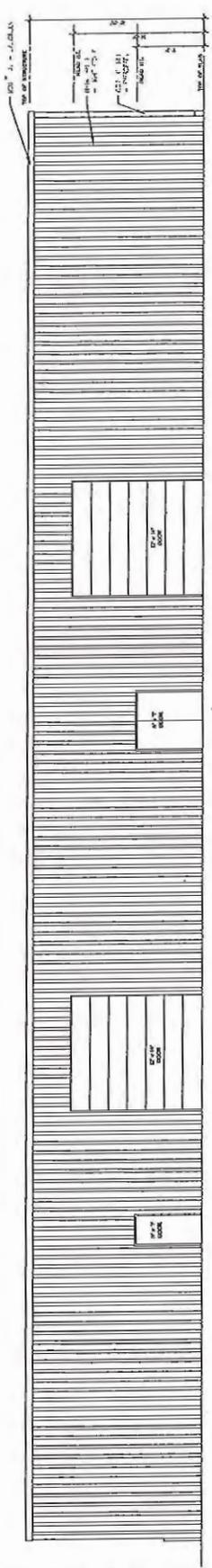
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DATE:	11/11/11
BY:	JLM
PROJECT:	
NO.:	
REVISED:	

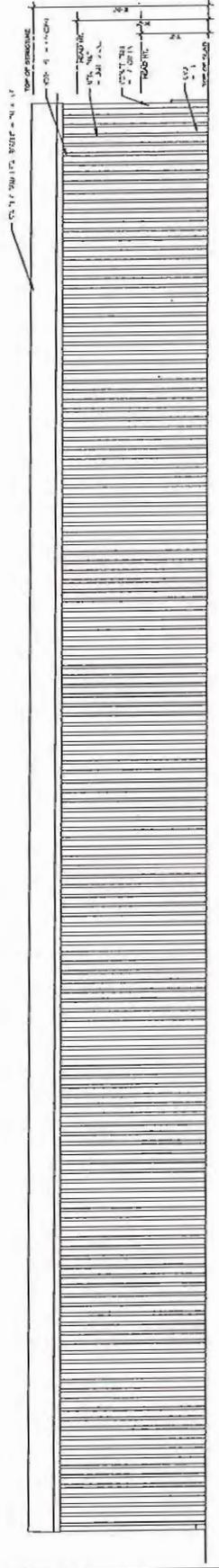
MUNN WAREHOUSE (JMJ CONST.)  
 13455 BE NIEHS DR.  
 GRINA, LA 50111

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 605 N. ASHLEY BLVD #102  
 AUSTIN, TX 78701  
 PHONE: 512.445.5856  
 FAX: 512.445.5858  
 www.imprintarchitect.com

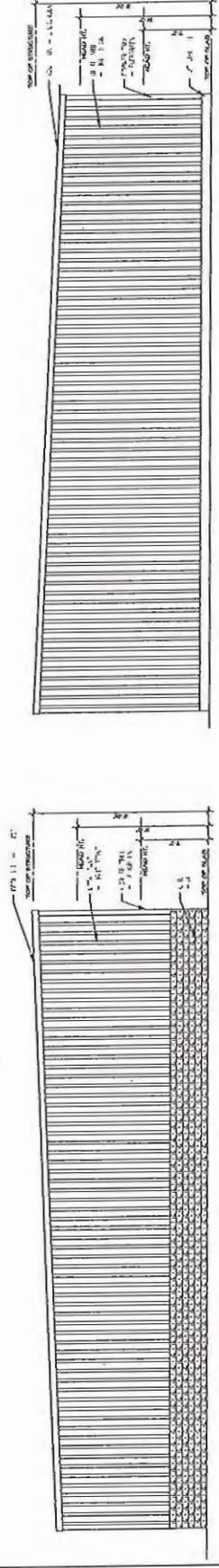
14-124



1 SOUTH ELEVATION SCALE 3/8" = 1'-0"



2 NORTH ELEVATION SCALE 3/8" = 1'-0"



1 WEST ELEVATION SCALE 3/8" = 1'-0"

1 EAST ELEVATION SCALE 3/8" = 1'-0"



*101 NE Harvey Street, Grimes, Iowa 50111 515.986.3036 Fax 515.986.3846*

April 24, 2014

Voldemars L. Pelds  
A. Leo Pelds Engineering Company  
2323 Dixon Street  
Des Moines, IA 50316

**3455 SE Miehe Drive – Site Plan**  
Western Plains Business Park - Plat 3 – Lot 6  
3455 SE Miehe Drive

The City of Grimes and FOX Engineering has completed the 3rd review of the 3455 SE Miehe Drive Site Plan, received by email on April 24, 2014 and offer the following comments:

**Site Plan – Grading Plan – Sheet 3**

1. There is concern about the erosion that may be created by the roof drains at the north end of the building. Please provide a detail of how these roof drains will be outletted to the swale (splash guards?).
2. There is concern that the drainage swale along the north side of the building will be difficult to maintain. FOX recommends TRM or sod to help stabilize and define this area.

**Site Plan – Utility Plan – Sheet 4**

3. Please show the domestic water service connection into the building as well as showing a Post indicator valve.

**Architectural/Elevation Plans**

4. Please bring building samples to the P&Z meeting.

**Stormwater Pollution Prevention Plan**

5. The Developer has stated that the contractor will provide the City of Grimes Grading/Certification for Development form prior to commencement of grading operations.

**SITE PLAN SUBMITTAL SCHEDULE:**

**PLANNING & ZONING:** April 29, 2014 at 5:30 at the Grimes City Hall

**COUNCIL MEETING:** May 13, 2014 at 5:30 at the Grimes City Hall

If you have any questions or concerns, please contact Joe McAreavy. The City reserves the right to modify or add to these comments.

Sincerely,

A handwritten signature in cursive script that reads "Joe McAreavy".

Joe McAreavy, Public Works Director

Copy to: *Kelley Brown, City of Grimes*  
*John Gade, FOX Engineering*



101 NE Harvey Street, Grimes, Iowa 50111 515.986.3036 Fax 515.986.3846

April 23, 2014

Erin Ollendike, P.E.  
Civil Design Advantage  
3405 SE Crossroads Drive  
Suite G  
Grimes, IA 50111

Glenstone Meadows – Site Plan & Preliminary Plat  
3605 Glenstone Drive

FOX Engineering and City Staff has completed the second review for Glenstone Meadows dated April 22, 2014.  
Please address the following comments:

**Site Plan – General**

1. Please provide a .dwg file showing the streets and lots for addressing.
2. The Developer will submit covenants for the development with the final plat.

**Site Plan – Details – Sheet 3**

3. Please move the curb stop to the water service on the service detail.
4. The following are comments regarding the Townhome typical sections:
  - a. Please label the lot lines.
  - b. Please provide dimensions of the lots
  - c. No landscaping is shown for the units. The city desires to have landscaping for the individual units. Please revise.
  - d. The decks for the 6-plex townhomes are shown outside of the lot lines. Is this a mistake? Decks for individual units should not be in the common area.
  - e. Please dimension the distances between driveways and distances from lot line to edge of unit.
5. Please provide spot elevations and grade information for curb ramps with enough detail to verify compliance with ADA guidelines.

**Site Plan – Dimension Plan – Sheet 4**

6. Please do not remove the existing pavement for SE 37<sup>th</sup> Street as shown. To connect to SE 37<sup>th</sup>, please move the returns 5-ft north, and provide 5:1 tapers to connect to the paving.

7. Please confirm whether a flowage easement should be placed at the southern and northern lines of this development to convey stormwater flow within the common areas.

**Site Plan – Grading Plan – Sheet 5**

8. Please extend the Street 6 flared end sections an additional 5-ft to get them beyond the end of access paving (probably more than 25-ft to get beyond edge of flares per dimension plan comment above). Also, please modify grading so that grades are steeper (3:1) near the FES and flatter near the back of curb/flare paving.

**Site Plan – Plan & Profile – Sheet 12**

9. Please provide street alignment radius information.

**Site Plan – Landscape Plan – Sheet 13**

10. Please provide landscaping along the east property line (similar to the north side).
11. There is a tree located in the concrete flume near the end of Street 2. Please move.

**Lighting Plan**

12. Developer has stated that each unit will have photocells mounted on the townhome unit.

**Post Construction Requirements:**

13. Developer has stated that a Post-Con document will be submitted at a later date.

**Elevation Plan**

14. It is highly recommended that you bring detailed building materials and color schemes with you to P & Z.

**Storm Water Pollution Prevention Plan:**

15. Please provide a SWPPP and Grimes Development Permit for review prior to construction.

**Storm Water Management Plan:**

16. FOX has yet to review the stormwater management plan. Comments will be sent under separate cover.

**Please provide a response letter addressing all comments from this review letter and/or state what was modified to address comments.**

**SITE PLAN REVIEW SCHEDULE:**

PLANNING & ZONING:	April 29, 2014 at 5:30 at the Grimes City Hall
COUNCIL MEETING:	May 13, 2014 at 5:30 at the Grimes City Hall

If you have any questions or concerns, please contact Joe McAreavy. The City reserves the right to modify or add to these comments.

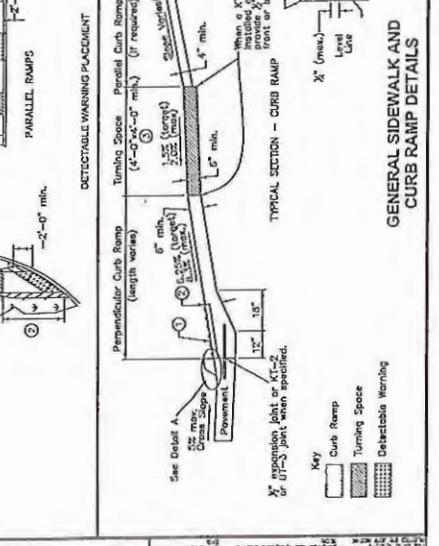
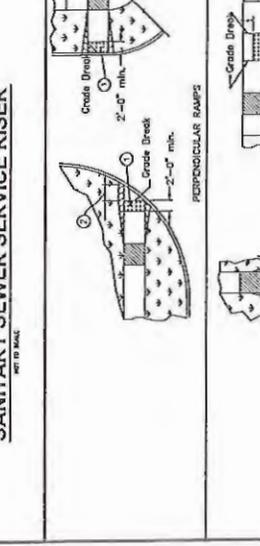
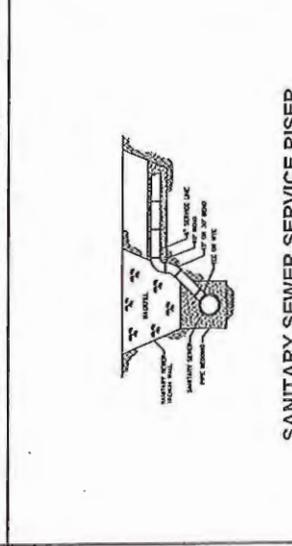
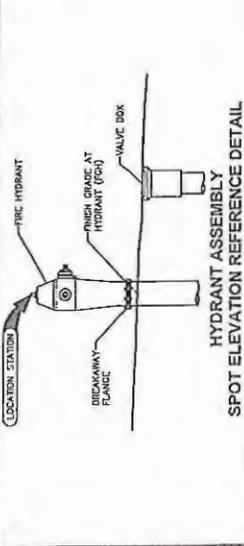
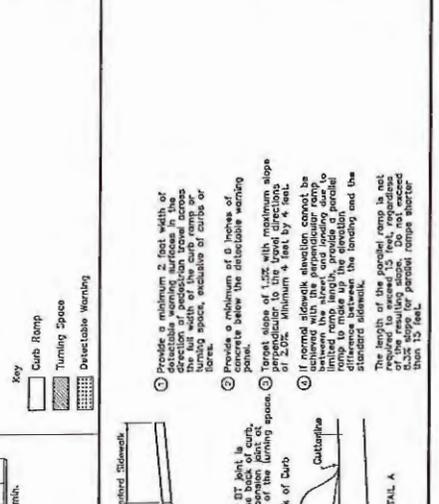
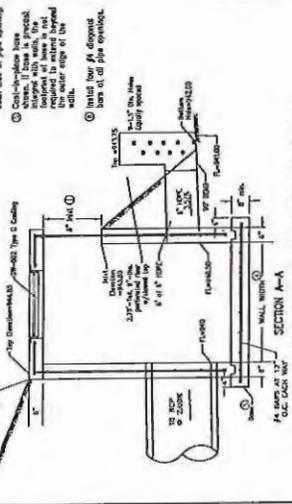
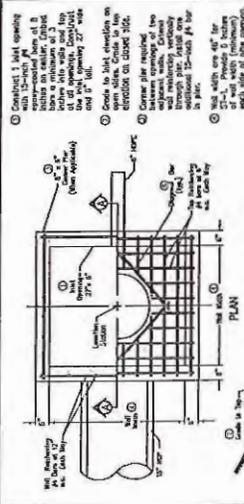
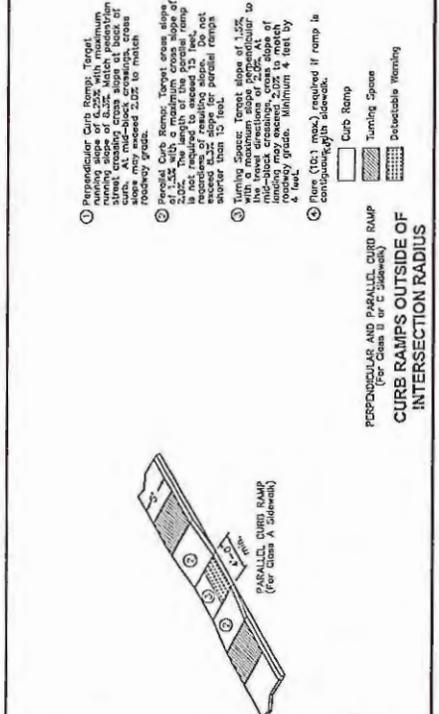
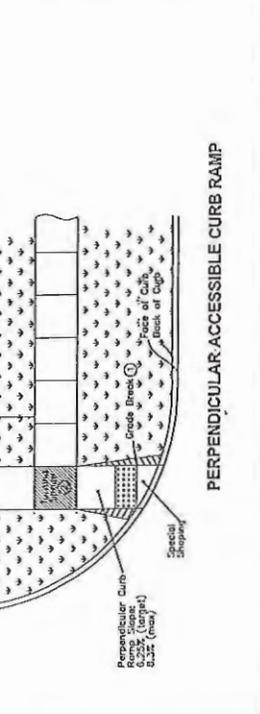
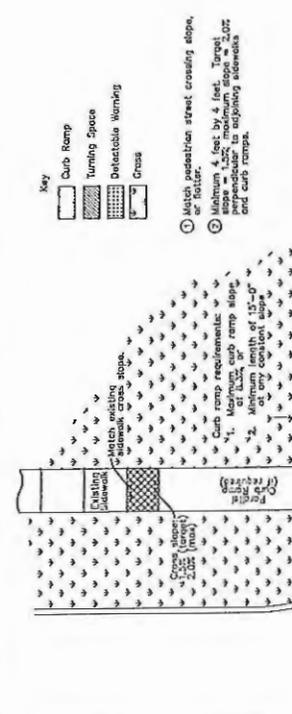
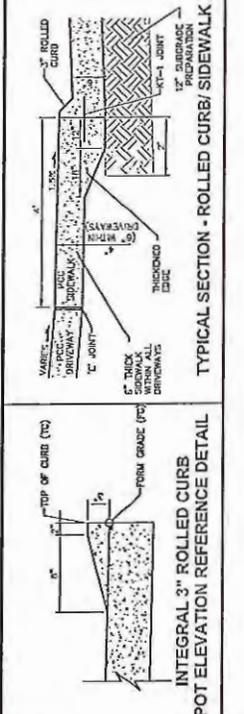
Sincerely,



Joe McAreavy, Public Works Director

Copy to: Kelley Brown, City of Grimes













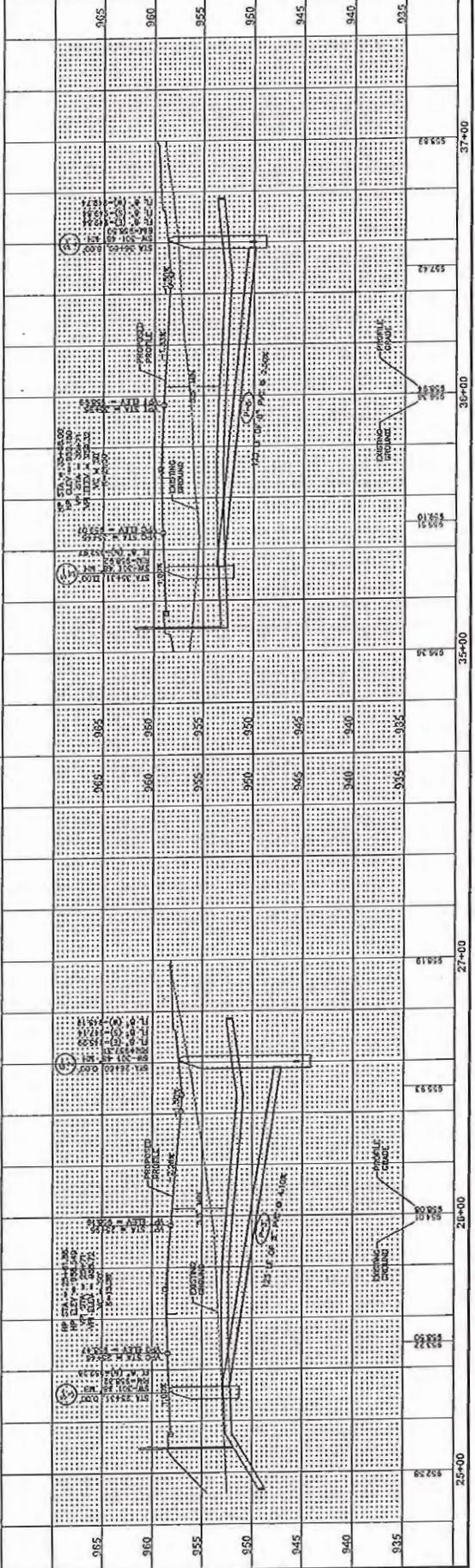
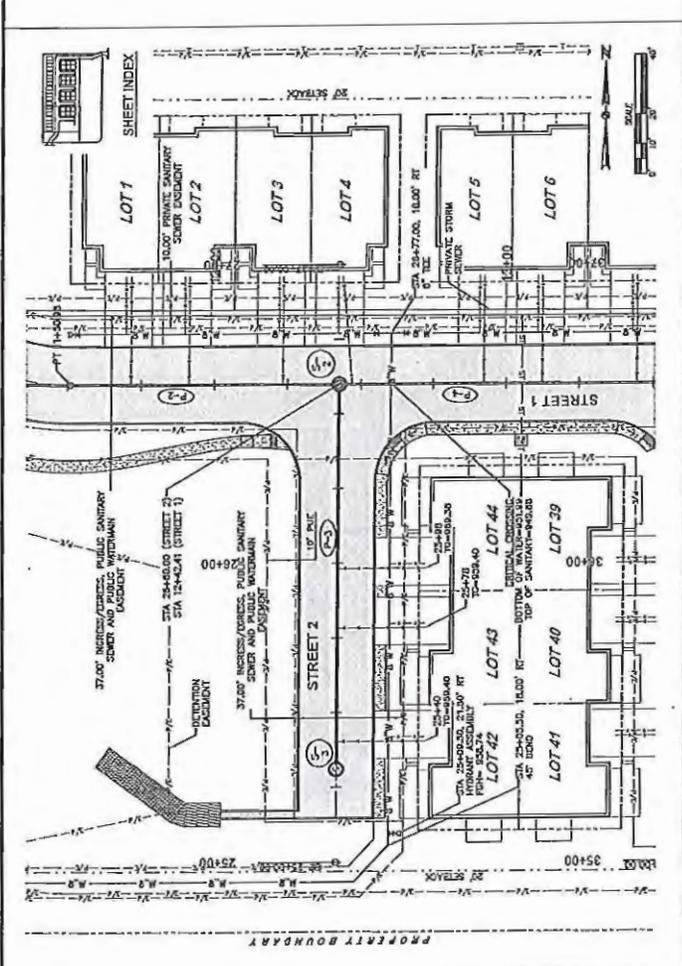
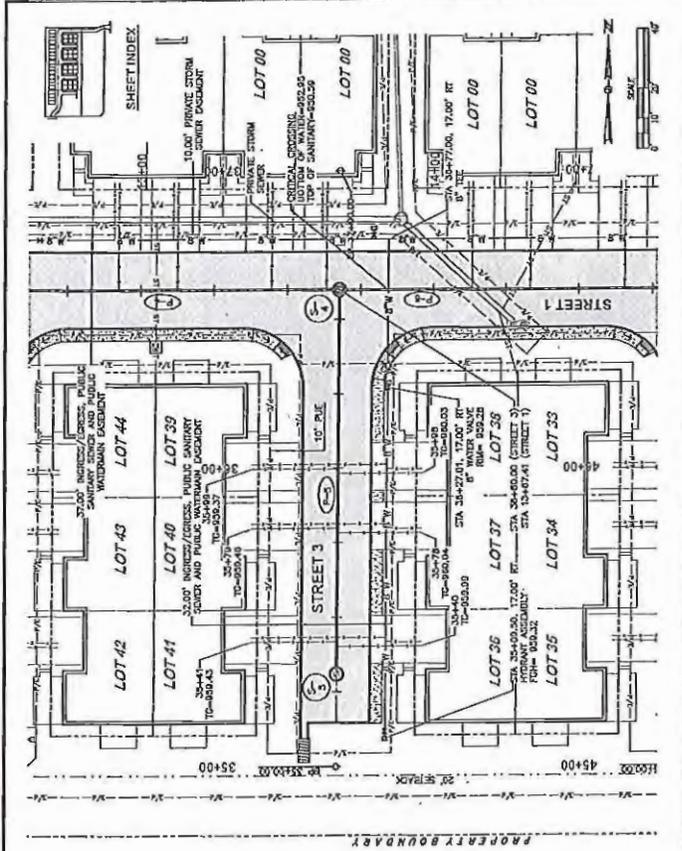






PLAN AND PROFILE  
 GLENSTONE MEADOWS

10/14  
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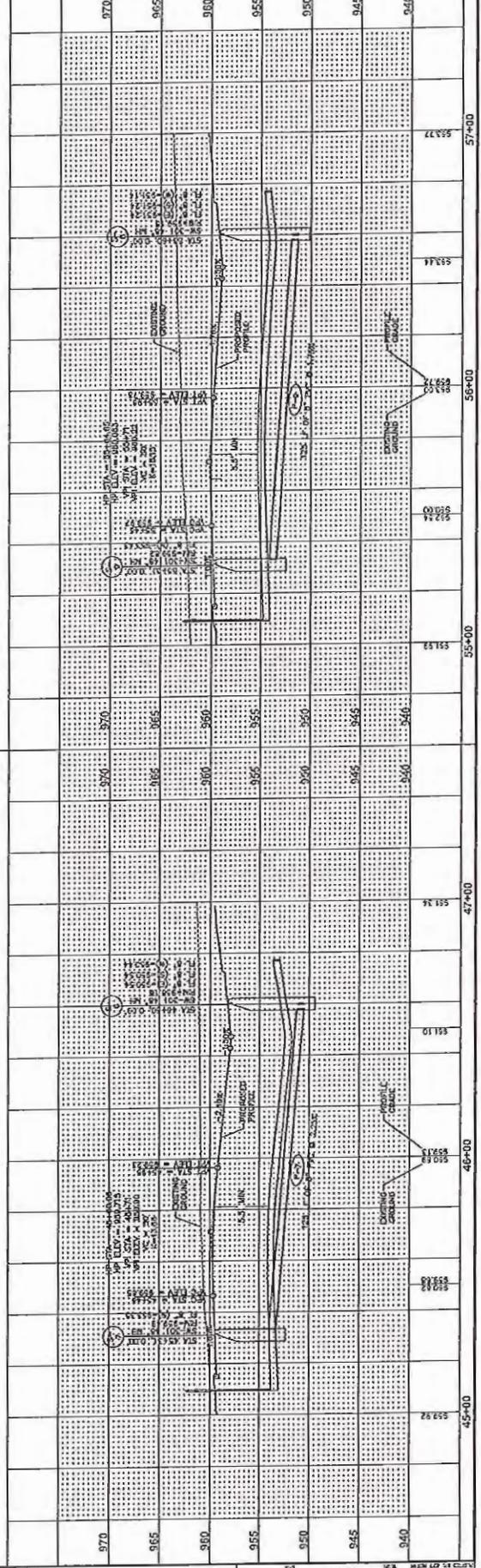
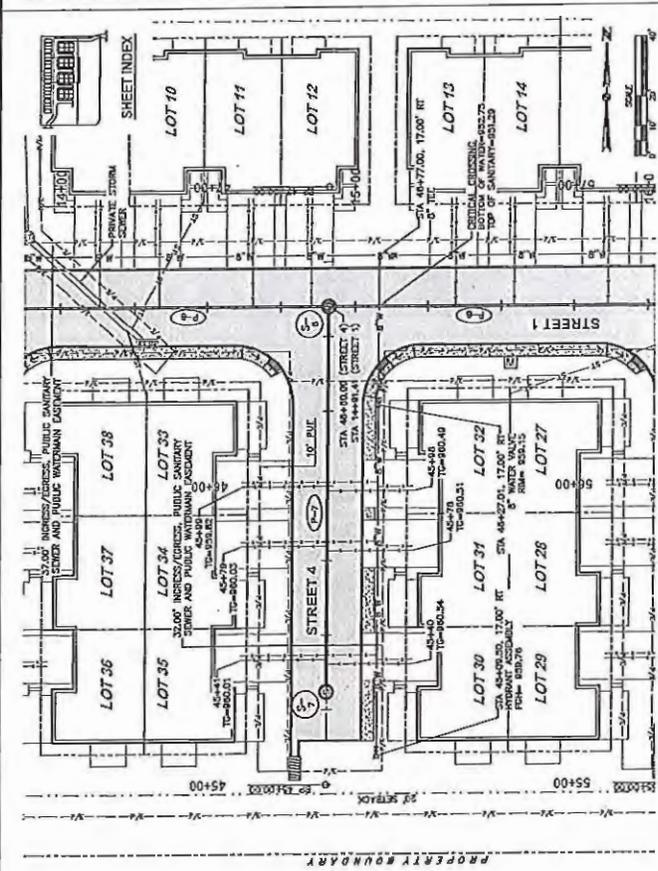
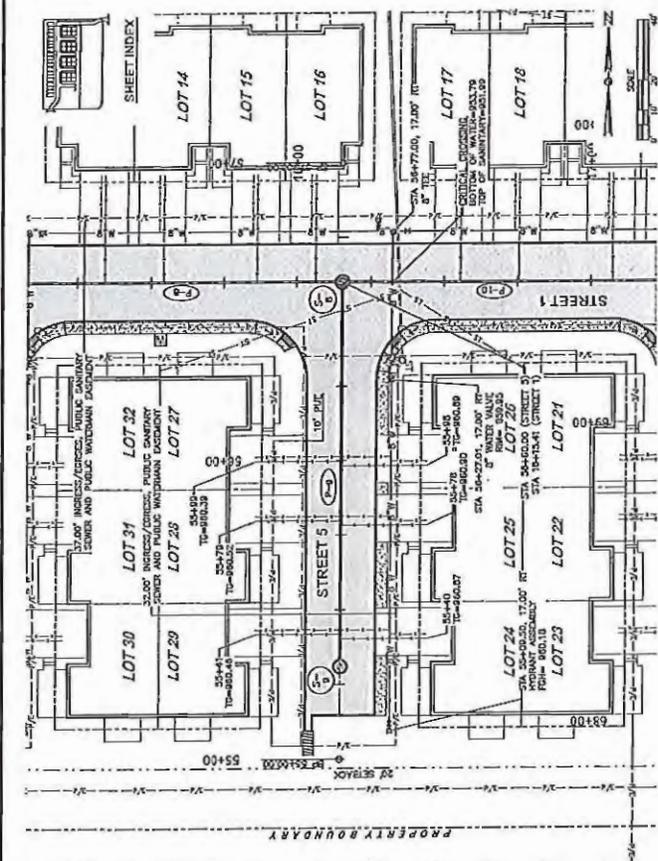
**GLENSTONE MEADOWS**  
**PLAN AND PROFILE**

11/14  
 14.03.10K



3405 S.E. CROSSROADS DRIVE, SUITE G  
 GLENDES, IOWA 50111  
 PHONE: (515) 369-4100 FAX: (515) 369-4410  
 ENGINEER: EKO  
 E.I. JIN

DATE	REVISIONS
02/20/11	SECOND SUBMITTAL
04/15/11	FINAL SUBMITTAL



DATE: 02/20/11  
 DRAWN BY: JIN  
 CHECKED BY: EKO  
 PROJECT: GLENSTONE MEADOWS  
 SHEET: 11/14

# GLENSTONE MEADOWS

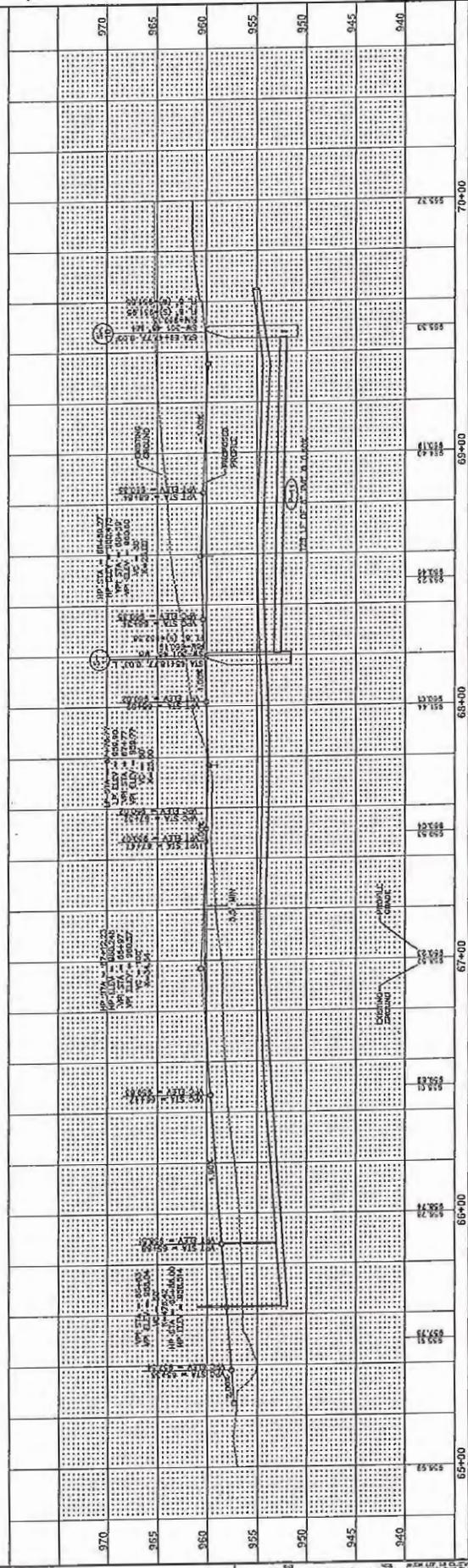
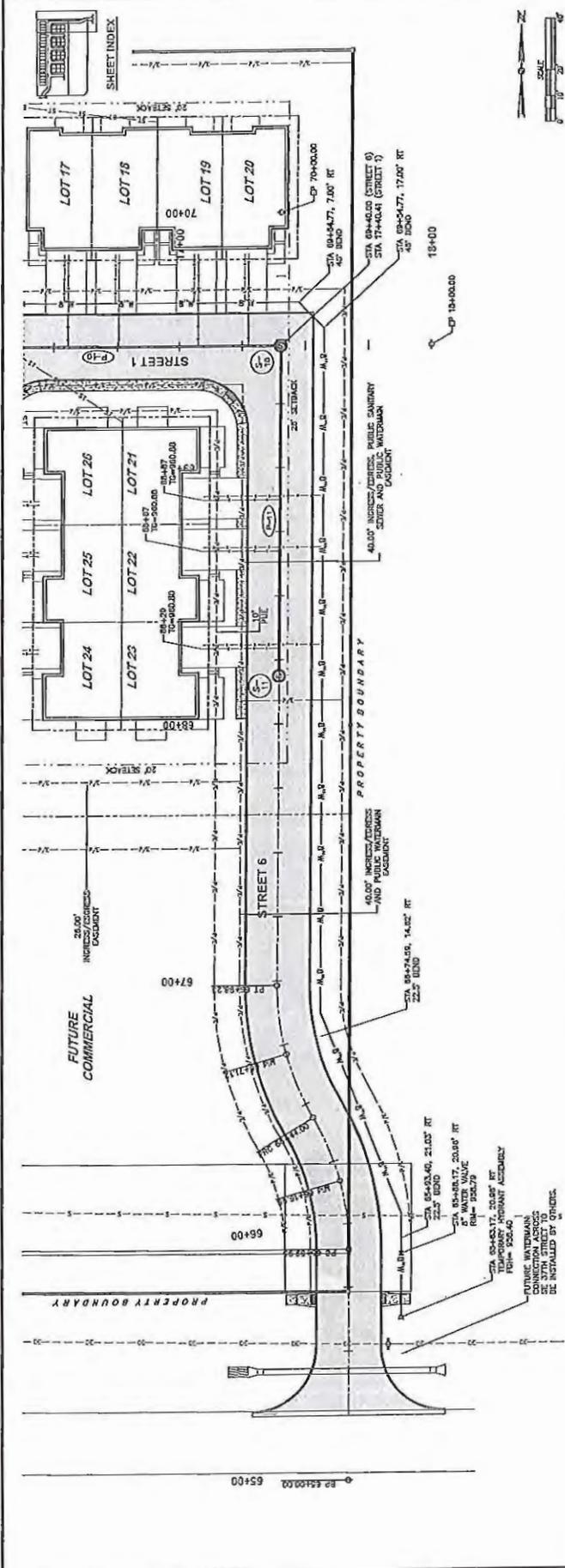
## PLAN AND PROFILE

1214  
MAY 10, 2014

CIVIL DESIGN ADVANTAGE  
GRAVES, IOWA

3405 E. CROSSROADS DRIVE, SUITE G  
GRAVES, IOWA 50111  
PHONE: (515) 369-4400 FAX: (515) 369-4410

ENGINEER: EKO  
EL: JLN  
RECORDS: R/S/MTL  
DATE: 05/22/14



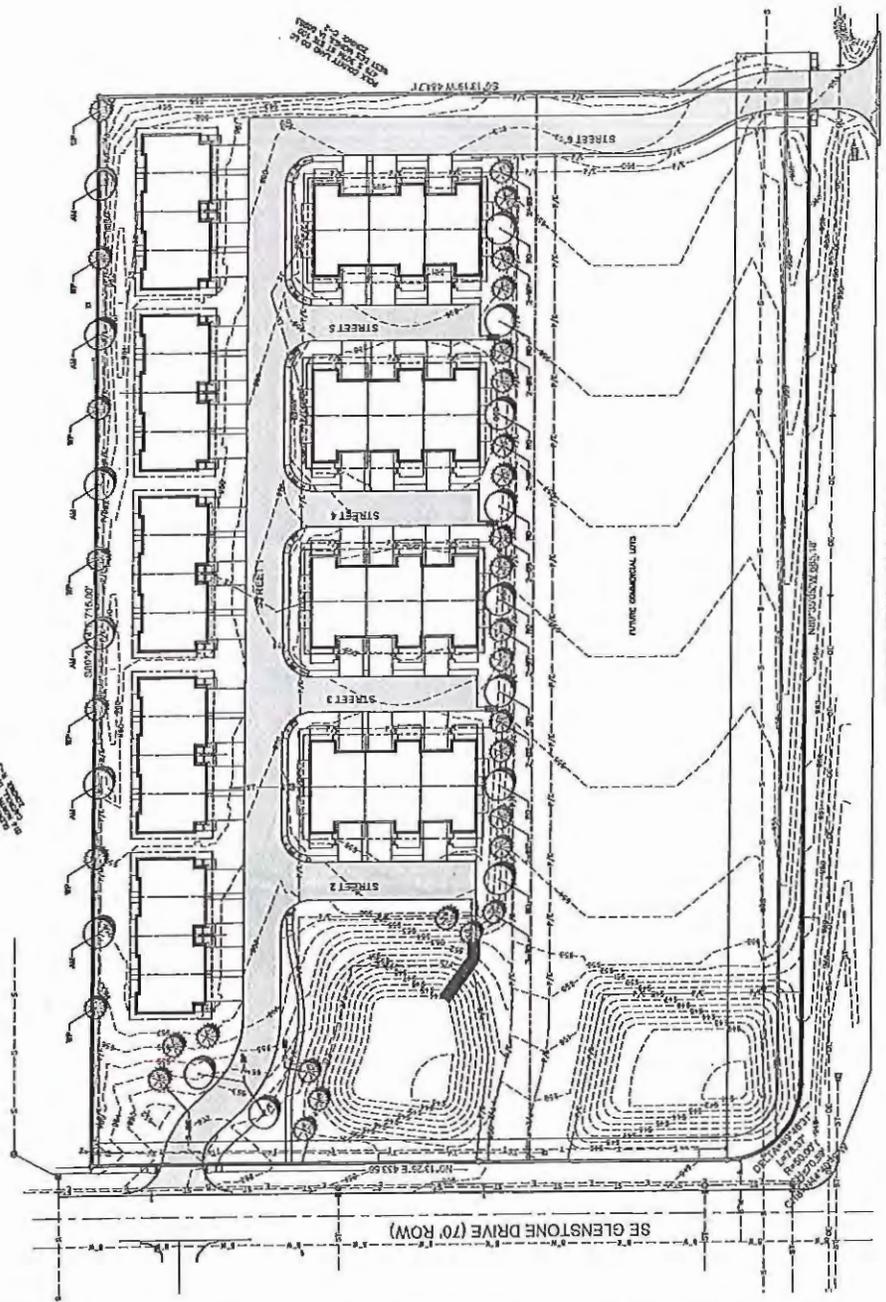
DATE: 05/22/14  
DRAWN BY: JLN  
CHECKED BY: EKO

LANDSCAPE NOTES

1. LOCATE ALL UTILITIES BEFORE ANY PLANNING BEGINS.
2. THE MOST RECENT EDITION OF THE SOIL STANDARD SPECIFICATIONS AND THE PROJECT MANUAL SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.
3. THE TYPE, SIZE, AND QUALITY OF PLANT MATERIAL SHALL CONFORM TO THE MOST RECENT EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK AND SPECIES.
4. ALL PLANT MATERIAL SHALL BE HEALTHY SPECIMENS WITHOUT DEFOLIATION, DISEASE, INJURY, OR DAMAGE TO THE PLANT.
5. ALL PLANT MATERIAL SHALL BE PLANTED AS DIRECTED BY OWNER.
6. BACKFILL TO TOP OF CURB (UNLESS 1.75" FOR 500, IF RECD).
7. PLANTING AND BEFORE MALCHING IN ALL PLANTING BEDS FOR MANUFACTURER'S RECOMMENDATIONS.
8. AND IN ALL PLANTING BEDS TO A MINIMUM DEPTH OF 3".
9. ALL PLANTING SHALL BE SPACED TO THE CENTER OF THE PLANTING BED.
10. PREVAIL IF ANY COMPLETE ASSESSOR INFORMATION ONLY, THE DRAWING SHALL BE PICKED UP BY THE CONTRACTOR AT THE END OF EACH WORK DAY.
11. CONTRACTOR SHALL WARRANT ALL PLANT MATERIALS FOR A PERIOD OF ONE YEAR.
12. CONTRACTOR SHALL PROVIDE IRRIGATION DESIGN TO OWNER, IF REQUESTED, FOR APPROVAL.

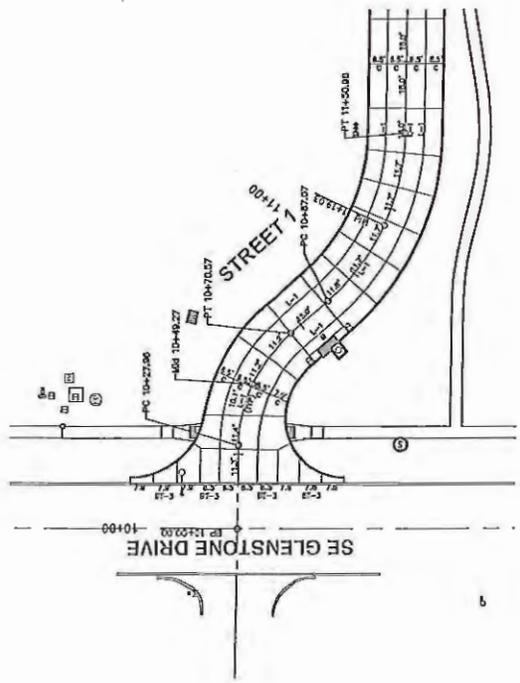
PLANT SCHEDULE

PLANT	QUANTITY	PLANT	QUANTITY
1. 4" CALIBER BURNING BUSH	100	11. 4" CALIBER HYDRANGEA	100
2. 4" CALIBER HYDRANGEA	100	12. 4" CALIBER LILAC	100
3. 4" CALIBER LILAC	100	13. 4" CALIBER SPICE BUSH	100
4. 4" CALIBER SPICE BUSH	100	14. 4" CALIBER VIBURNUM	100
5. 4" CALIBER VIBURNUM	100	15. 4" CALIBER YUCCA	100
6. 4" CALIBER YUCCA	100	16. 4" CALIBER ZEBRA PANDA	100
7. 4" CALIBER ZEBRA PANDA	100	17. 4" CALIBER BURNING BUSH	100
8. 4" CALIBER BURNING BUSH	100	18. 4" CALIBER HYDRANGEA	100
9. 4" CALIBER HYDRANGEA	100	19. 4" CALIBER LILAC	100
10. 4" CALIBER LILAC	100	20. 4" CALIBER SPICE BUSH	100

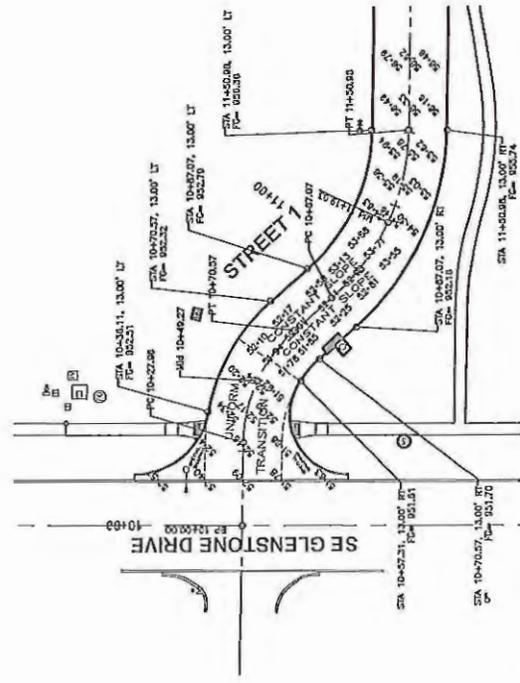


SE 37TH STREET (60' ROW)

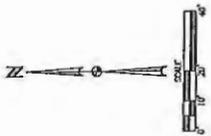
SE GLENSTONE DRIVE (70' ROW)



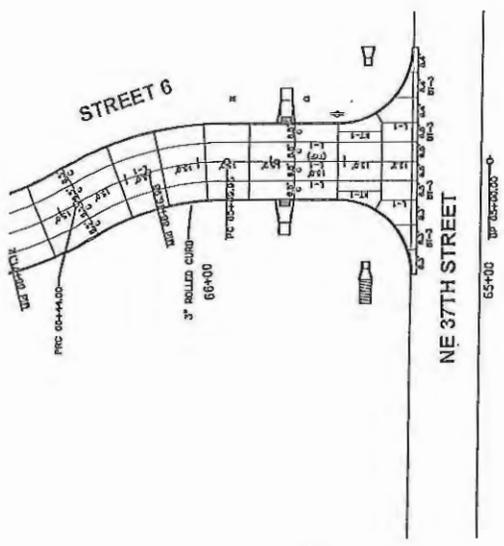
JOINTING LAYOUT



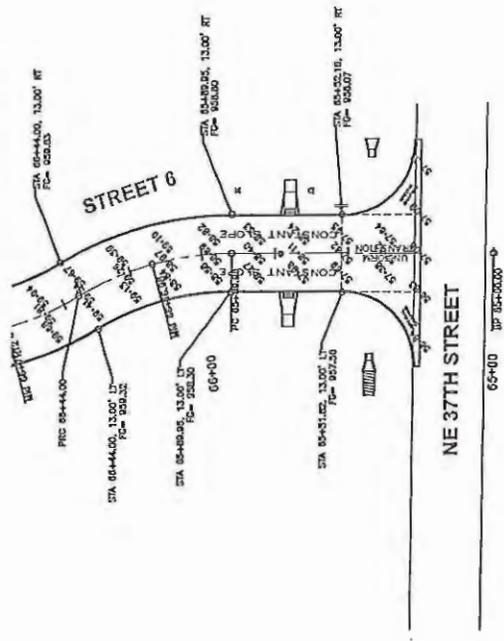
GEOMETRICS AND STAKING LAYOUT



- NOTES:
1. ELEVATIONS SHOWN ARE TOP OF SLAB AND/OR FORM
  2. SMALL HANDICAP RAMP AT LOCATIONS SHOWN.
  3. REFER TO FINISH ELEVATION FOR GRAVE IN TAKE WORKOUT FOR PCC PAVEMENT DETAILS.



JOINTING LAYOUT



GEOMETRICS AND STAKING LAYOUT



April 24, 2014

**David Bentz**  
Bishop Engineering  
3501 104<sup>th</sup> Street  
Des Moines, Iowa 50322

**Heritage Concept Master Plan - Guidelines for Design**  
*FOX Ref No: 8630-04D.202*

FOX Engineering and City Staff has completed the third review for the Heritage at Grimes - Guidelines for Design as submitted via email on April 22, 2014.

The propose Planned Unit Development (PUD) rezone consists of approximately 400 acres. The underlying zoning in the PUD is in general conformance with the Grimes Land Use Plan, thus no revision to the Land Use Plan is required. The purpose of the PUD is to provide a certain amount of flexibility, but maintain a common theme throughout the development (see pages 3 & 4 in the Guidelines for Design for theme explanations for each type of development area). The PUD does not greatly deviate from the Grimes Code of Ordinances. In most cases the PUD proposes stricter zoning standards. The following is the Staff summary of the differences between the PUD and the Grimes Code:

1. Page 6 - Heritage Bulk Requirements:
  - a. **Single Family - Type I** is similar to Grimes R2-70, except:
    - i. Sideyard setbacks for 2-3 stories is 7/14-ft versus 10/20-ft.
    - ii. Min. Percent Greenspace is 0% versus 40%. *Discussion is necessary about requiring a certain percent more than 0%.*
  - b. **Single Family - Type II** is similar to Grimes R2-60 except:
    - i. Sideyard setbacks for 2-3 stories is 7/14-ft versus 7/15-ft.
    - ii. Min. Percent Greenspace is 0% versus 40%. *Discussion is necessary about requiring a certain percent more than 0%.*
  - c. **Multi Fam. Res. (Med)** is similar to Grimes R3-MED except:
    - i. Min. Percent Greenspace is 30% versus 40%.
  - d. **Multi Fam. Res. (High)** is similar to Grimes R3-MED except:
    - i. Min. Percent Greenspace is 30% versus 40%.
  - e. **Commercial** is similar to Grimes C-1 except:
    - i. Residential uses are allowed in commercial districts without a special use permit.
    - ii. Min. lot area is 1 acre versus no minimum required in Grimes Ordinance.
    - iii. Front yard setback is 0-ft which matches C-1. However, C-2 requires 25-ft.
    - iv. Sideyard setback is 0-ft adjacent to any R district. C-1 requires 10-ft. *Discussion is necessary if the PUD should provide buffer setback adjacent ta residential.*
    - v. Rear yard setback requires a 35-ft buffer from S.F. residential versus 25-ft in Grimes Ordinance.
    - vi. Note that frontage along HWY 141 requires a 20-ft setback. Grimes HWY 141 ordinance requires 100-ft.
    - vii. Note that frontage along Beaverbrooke Blvd requires a 20-ft setback.
    - viii. Min. Greenspace is 25% versus 0%.
  - f. **Town Center** is similar to Grimes C-1 except:
    - i. Front yard setback is 15' with a max of 15'.
    - ii. Min. Greenspace is 20% versus 0%.

- 
2. Page 7 & 8- Single Family Residential:
    - a. **Principal Permitted Uses**, same as R-1, except the PUD does not allow agricultural uses (nurseries, greenhouse, livestock..)
    - b. **Accessory Uses**, same as R-1, except "taking of boarders or leasing of rooms" is not allowed.
  
  3. Page 9 - Building Type & Area, the following items are required in the PUD, but there are no such requirements in the Grimes Code of Ordinances:
    - a. Minimum building square footage is required.
    - b. No structures (premanufactured home) can be moved onto any lot.
    - c. Specific building materials for homes are required.
    - d. Sheds shall match the architecture of the residence.
    - e. A two-car attached garage is required.
  
  4. Page 9 - Architectural Control:
    - a. The PUD requires all residential buildings, accessory buildings, and site plans to be approved by the Heritage Review Committee (HRC). The City of Grimes will not approve any permits until authorization from the HRC.
    - b. Boats, campers, or other recreational vehicles may only be parked in a garage.
    - c. PUD establishes specific paving requirements for driveways and patios.
  
  5. Page 10 - Landscaping & Sight Lines:
    - a. The proposed PUD does not require a minimum amount of trees on each single family residence. *Discussion is necessary if minimum trees should be required.*
    - b. The proposed PUD does not state if trees will be allowed in the parking (back of curb to sidewalk). *Discussion is necessary to determine if this will be allowed.*
    - c. The proposed PUD does not require a minimum foundation planting plan. *Discussion is necessary if the HRC should require a foundation planting plan.*
    - d. The proposed PUD requires all lots to be sodded.
  
  6. Page 11 - Swimming Pools:
    - a. The PUD does not allow above ground pools over 24-inches in depth. The PUD does allow in ground pools.
  
  7. Page 12 - Signs:
    - a. The PUD has stricter residential signing requirements than the Grimes Code.
  
  8. Page 13 - Mandatory Completion Date:
    - a. The PUD requires specific completion dates for construction.
  
  9. Page 13 - Fences:
    - a. The PUD has specific fencing requirements for their development that will be reviewed by both the HRC and the City of Grimes for compliance. The PUD requires a certain type of fence for certain zoning designations in the development.
  
  10. Page 15- Multi Family Residential:
    - a. **Principal Permitted Uses**, same as R-3, except the PUD does not allow "Boarding & rooming houses".
    - b. **Accessory Uses**, same as R-3.

11. Page 15 - Commercial:

- a. The commercial properties shall be developed as per the HWY 141 overlay district and the City of Grimes Code with exceptions of the PUD bulk requirements, PUD landscape requirements, and PUD building materials. The PUD building theme is Craftsman and Prairie Style (see pages 21-27 for commercial architectural requirements). The primary building materials shall consist of a combination of brick, textured concrete block, architectural wall panels, architectural steel panels, or nature stone. A minimum of 75% of all sides shall consist of these materials.

12. Page 16 - Town Center:

- a. The town center is intended to be the activity hub of the Heritage Development with neighborhood commercial and a large central park "Heritage Common Park". The commercial buildings will be pushed towards the ROW line (0-ft setbacks) with on-street parking similar to a traditional Main Street concept.

13. Page 17 - Beaverbrooke Blvd:

- a. Beaverbrooke Blvd is proposed to be a 5-lane facility with a raised landscaped median. The PUD is proposing 22-ft lanes versus 26-ft standard lane width. The reduced lane width will help slow traffic and reduce accidents. The ROW will be reduced. The reduced roadway width will reduce the initial and long term maintenance costs for the roadway. The City of Ankeny recently completed a similar roadway section on Magazine (1st Street to State Street). It is anticipated that the posted speed limit will be 35 mph.

14. Page 18 - Roundabout:

- a. The PUD is proposing Grimes first roundabout in the community. There could be 2 roundabouts along Beaverbrooke Blvd along with a traffic circle in the residential district.

15. Page 19-22 - Street Design Guidelines:

- a. NE Gateway Drive - The PUD proposes a 3-lane roadway (center turn lane) with a landscape buffer along the west side. There will be a trail and sidewalk along this roadway (Grimes Standard). *Discussion is necessary about the proposed 10-ft PUE along the east side of Gateway Drive. This would require the commercial properties to be setback 10-ft from the ROW versus 0-ft as specified in the bulk requirements. Should the 10-ft PUE be moved to the west side of the ROW?*
- b. Figure 4.7 shows the proposed roadway widths in the development:
  - i. The "RED" streets are proposed as 50-ft ROW with 26-ft streets and a 5-ft sidewalk only on one side of the roadway (similar to Meadowlark). The City Standard is 60-ft ROW with 29-ft streets with a 4-ft sidewalk on both sides of the roadway.
  - ii. The Cul-De-Sac note should be revised as follows:
    1. "RED STREETS" 55-ft ROW & 43' Radius
    2. "GREEN STREETS" 58.5-ft ROW & 43' Radius
  - iii. Please add a street stub to the J&R Drilling property at their SW corner as previously discussed (29-ft wide).
- c. **Traffic Impact Study** - The Developer has completed a traffic impact study for this development. The Staff and the IDOT has reviewed and commented on this study. The study recommends intersection controls along Beaverbrooke Blvd, HWY 141, and N. James Street. This study will be utilized during the review of the preliminary plat portions of the development.



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**REZONING SCHEDULE:**

**PLANNING & ZONING:** April 29, 2014 at 5:30 at the Grimes City Hall

**COUNCIL MEETING:** May 13, 2014 at 5:30 at the Grimes City Hall

If you have any questions or concerns, please contact John Gade at (515) 233-0000. The City reserves the right to modify or add to these comments.

FOX ENGINEERING ASSOCIATES, INC.

*John Gade*

John Gade, P.E.

Copy to: Kelley Brown, City of Grimes



January 6, 2014

Mayor and City Council  
Grimes, Iowa  
101 N. Harvey Street  
Grimes, Iowa 50111

Honorable Mayor and Members of the City Council:

On behalf of the Owner, Beaverbrooke Development Company, I am requesting consideration of rezoning the following legally described property from

**A-1 AGRICULTURAL, R-3 MULTI FAMILY DWELLING DISTRICT, R-2 70 SINGLE AND 2 FAMILY DWELLING DISTRICT AND C-2 GENERAL & HIGHWAY SERVICE COMMERCIAL DISTRICT TO PUD-PLANNED UNIT DEVELOPMENT DISTRICT:**

PROPERTY DESCRIPTION:

BOOK 11937 PAGES 250-252

PARCEL K IN A PARCEL OF LAND IN PART OF THE SOUTH 1/2 OF SECTION 29, TOWNSHIP 80 NORTH, RANGE 25 WEST OF THE 5th P.M. AND A PART OF THE NORTH 1/2 AND A PART OF THE SOUTHEAST 1/4 OF SECTION 32, TOWNSHIP 80 NORTH, RANGE 25 WEST OF THE 5th P.M., CITY OF GRIMES, POLK COUNTY, IOWA AS DESCRIBED IN THE PLAT OF SURVEY AS RECORDED IN THE OFFICE OF THE POLK COUNTY RECORDER IN BOOK 11866 OF PAGE 944.

AND,

BOOK 15029 PAGES 129-130

BEGINNING AT A POINT AT THE SW CORNER OF THE N 1/2 OF THE NW 1/4 OF SECTION 32, TOWNSHIP 80 NORTH, RANGE 25 WEST OF THE 5th P.M., IN THE CITY OF GRIMES, POLK COUNTY, IOWA THENCE NORTH 340.4 FEET ALONG THE WEST LINE OF SAID SECTION 32; THENCE EAST 695 FEET ALONG A LINE PARALLEL TO THE SOUTH LINE OF THE N 1/2 OF THE NW 1/4 OF SAID SECTION 32; THENCE SOUTH 340.4 FEET ALONG A LINE PARALLEL TO THE WEST LINE OF THE N 1/2 OF THE NW 1/4 OF SAID SECTION 32; THENCE WEST 695 FEET ALONG THE SOUTH LINE OF THE N 1/2 OF THE NW 1/4 OF SAID SECTION 32 TO THE PLACE OF BEGINNING.

Respectfully Submitted,

Date 1-7-2014

Gene Gabus





**ORDINANCE #631**

**AN ORDINANCE AMENDING THE GRIMES OFFICIAL ZONING MAP, PURSUANT TO THE CODE OF ORDINANCES SECTION 165.05 BY CHANGING THE ZONING OF THE BELOW DESCRIBED PROPERTY KNOWN AS HERITAGE DEVELOPMENT.**

SECTION 1. Purpose. The purpose of this Ordinance is to amend the official zoning map and the comprehensive land use map by changing approximately 398.62 acres currently zoned A-1 Agricultural, R-3 Multi Family Dwelling District, R-270 Single and 2 Family Dwelling District and C-2 General and Highway Service Commercial District to PUD-Planned Unit Development District.

SECTION 2. Amendment. Pursuant to the Grimes Code of Ordinances Section 165.05 the official zoning map shall be amended as follows and this ordinance shall be noted in the Editor's Note located after Section 165.47.

LEGAL DESCRIPTION  
Heritage Development

**PROPOSED approximately 398.62 acres rezoned from A-1 Agricultural, R-3 Multi Family Dwelling District, R-2 70 Single and 2 Family Dwelling district and C-2 General and Highway Service Commercial District to PUD- Planned Unit Development District.**

**PROPERTY DESCRIPTION:**

**HERITAGE AT GRIMES**

BOOK 11937 PAGES 250-252

PARCEL K IN A PARCEL OF LAND IN PART OF THE SOUTH 1/2 OF SECTION 29, TOWNSHIP 80 NORTH, RANGE 25 WEST OF THE 5th P.M. AND A PART OF THE NORTH 1/2 AND A PART OF THE SOUTHEAST 1/4 OF SECTION 32, TOWNSHIP 80 NORTH, RANGE 25 WEST OF THE 5th P.M., CITY OF GRIMES, POLK COUNTY, IOWA AS DESCRIBED IN THE PLAT OF SURVEY AS RECORDED IN THE OFFICE OF THE POLK COUNTY RECORDER IN BOOK 11866 OF PAGE 944.

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SAID TRACT OF LAND BEING SUBJECT TO AND TOGETHER WITH ANY AND ALL EASEMENTS OF RECORD.

SAID TRACT OF LAND CONTAINS 398.62 ACRES INCLUDING 1.54 ACRES FOR PUBLIC ROADWAY EASEMENT.

These parcels are generally located north of E 1<sup>st</sup> Street and east of North James Street, west of Hwy 141. containing approximately 398.62 acres.

SAID TRACT OF LAND BEING SUBJECT TO ANY AND ALL EASEMENTS OF RECORD.

SECTION 3. Repealer. All ordinances or parts of ordinances in conflict with the provisions of these ordinances are hereby repealed.

SECTION 4. Severability Clause. If any section, provision or part of this ordinance shall be adjudged invalid or unconstitutional, such adjudication shall not affect the validity of the ordinance as a whole or any section, provision or part thereof not adjudged invalid or unconstitutional.

SECTION 5: Effective Date. This ordinance shall be in effect after its final passage, approval and publication as provided by law.

Passed by the City Council and approved by the City Council on this th day of 2014.

ATTEST:

\_\_\_\_\_  
Thomas M. Armstrong, Mayor

\_\_\_\_\_  
Rochelle Williams, City Clerk



April 23, 2014

**Att: David Bentz**  
Bishop Engineering  
3501 104th Street  
Des Moines, IA 50322

**Heritage at Grimes Plat 1 – Preliminary Plat**

*FOX Ref No: 8630-04D.211*

FOX Engineering and City Staff has completed the first review for Heritage at Grimes Plat 1 as submitted via email on April 18, 2014. Please address the following comments:

1. FOX Engineering has reviewed the proposed street network within the development in relation to the comprehensive plan and have no further comments.
2. The following comments are in regard to the proposed trail & park plans within the development in relation to the comprehensive plan:
  - a. Please terminate the proposed trail at the cul-de-sac sidewalk (do not connect it directly to the street paving).
  - b. It is our understanding that parkland dedication for the full development of Heritage at Grimes will fulfill the parkland dedication requirement for Plat 1 as well as all future Plats.
3. FOX has reviewed the plan in regard to the proposed sanitary sewer within the development in relation to the comprehensive plan and have no further comments.
4. FOX has reviewed the plan in regard to the proposed water main within the development in relation to the comprehensive plan and have no further comments.
5. The following comments are in regard to the proposed storm sewer & drainage plans within the development in relation to the comprehensive plan:
  - a. FOX has reviewed the stormwater management plan overview and have the following comments:
    - i. Grimes utilizes the Iowa Stormwater Management Manual for designing detention facilities and storm sewer. Please modify the report and references accordingly.
    - ii. Please clarify that water quality treatment is for the 1.25" storm.
    - iii. Please clarify that the detention basin will be designed to have a maximum peak discharge equal to the 5-yr existing condition event during 100-yr storm events.
    - iv. If applicable, the narrative shall clarify how the stormwater management in the subject plat will fit with the full build out of Heritage at Grimes.
6. Please note that for the construction drawings, we will require a geotechnical report. This report should give recommendations for pavement design along with subsurface pavement drainage (if necessary).

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**PRELIMINARY PLAT SCHEDULE:**

**PLANNING & ZONING:** April 29, 2014 at 5:30 at the Grimes City Hall

**COUNCIL MEETING:** May 13, 2014 at 5:30 at the Grimes City Hall

If you have any questions or concerns, please contact John Gade at (515) 233-0000. The City reserves the right to modify or add to these comments.

FOX ENGINEERING ASSOCIATES, INC.

*John Gade*

John Gade, P.E.

Copy to: Kelley Brown, City of Grimes

# Heritage

## At Grimes

Prepared For \_\_\_\_\_

*Beaverbrooke Development Co.*  
4545 Merle Hay Road  
Des Moines, IA 50310

515.270.8100 (ph)

Presented To \_\_\_\_\_

*City of Grimes*  
101 NE Harvey Street  
Grimes, IA 50111

515.986.3036 (ph)

Prepared By \_\_\_\_\_

*Bishop Engineering*  
3501 104th Street  
Urbandale, IA 50322  
515.267.0467 (ph)

*RDG Planning & Design*  
310 Grand Avenue  
Des Moines, IA 50309  
515.288.3141 (ph)

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2 - Project Overview	2
3 - Land Use and Bulk Regulations	5
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## HERITAGE AT GRIMES - GUIDELINES FOR DESIGN

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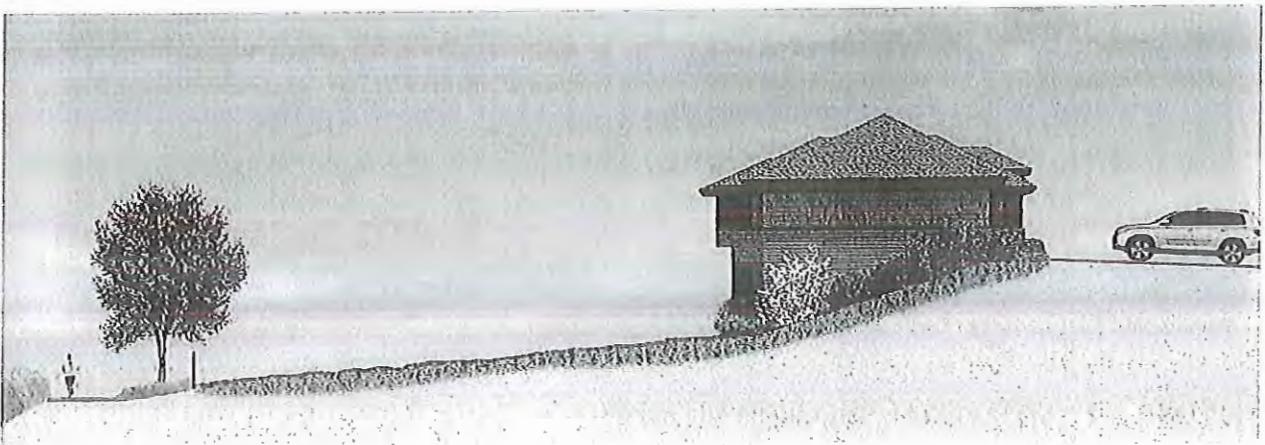
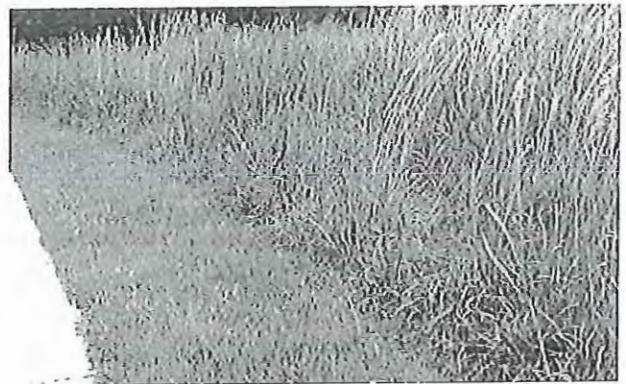
Heritage at Grimes is destined to become a centerpiece of development for the City of Grimes. Located along the west side of the Highway 141 corridor and north of 1st Street, the property is strategically placed to create a significant connection to the northern portions of the City. The continuation of Beaverbrooke Boulevard from its current end point at James Street through to Highway 141 will help alleviate traffic on 1st Street and further open up expansion of the City to the northwest.

Heritage is envisioned as a traditional housing development with a mix of single family residential, multi-family residential, and commercial at the east end of Beaverbrook Boulevard. The design proposes approximately 17 acres of land, centrally located, to accommodate a new Grimes Town Center. In addition to public park space, this area would allow space for neighborhood commercial development and the potential to house a new Grimes City Hall and Community Center.

Storm water detention and infiltration is a primary component throughout the southern half of Heritage. Instead of pushing storm water into the creek systems as quickly as possible, the design will incorporate storm water concepts that significantly slow down the water, allowing it to infiltrate into the ground. This in turn decreases the amount of runoff south of Beaverbrooke Boulevard that empties into Little Beaver Creek and reduces the potential flooding impact downstream. Detention areas are scattered throughout the development in open areas and in green space between residential properties. A centrally located pond is being proposed north of

Beaverbrooke Boulevard. The pond is intended to be large enough to handle the majority of storm water run-off from the northern portion of Heritage. Walking and bicycling trails will take advantage of these corridors and allow residents and visitors options for movement throughout Heritage.

It is proposed that all construction plans within Heritage will be reviewed by a 'Heritage Review Committee' (HRC) selected by the Developer and City Staff to assure compliance with these Standards. All plans will also be reviewed through the City of Grimes review process. Each new proposed site plan within Heritage will be fully reviewed and approved by both the HRC and City Staff for approval prior to any construction taking place. This process will insure a consistent architectural, landscape, and infrastructure theme throughout.



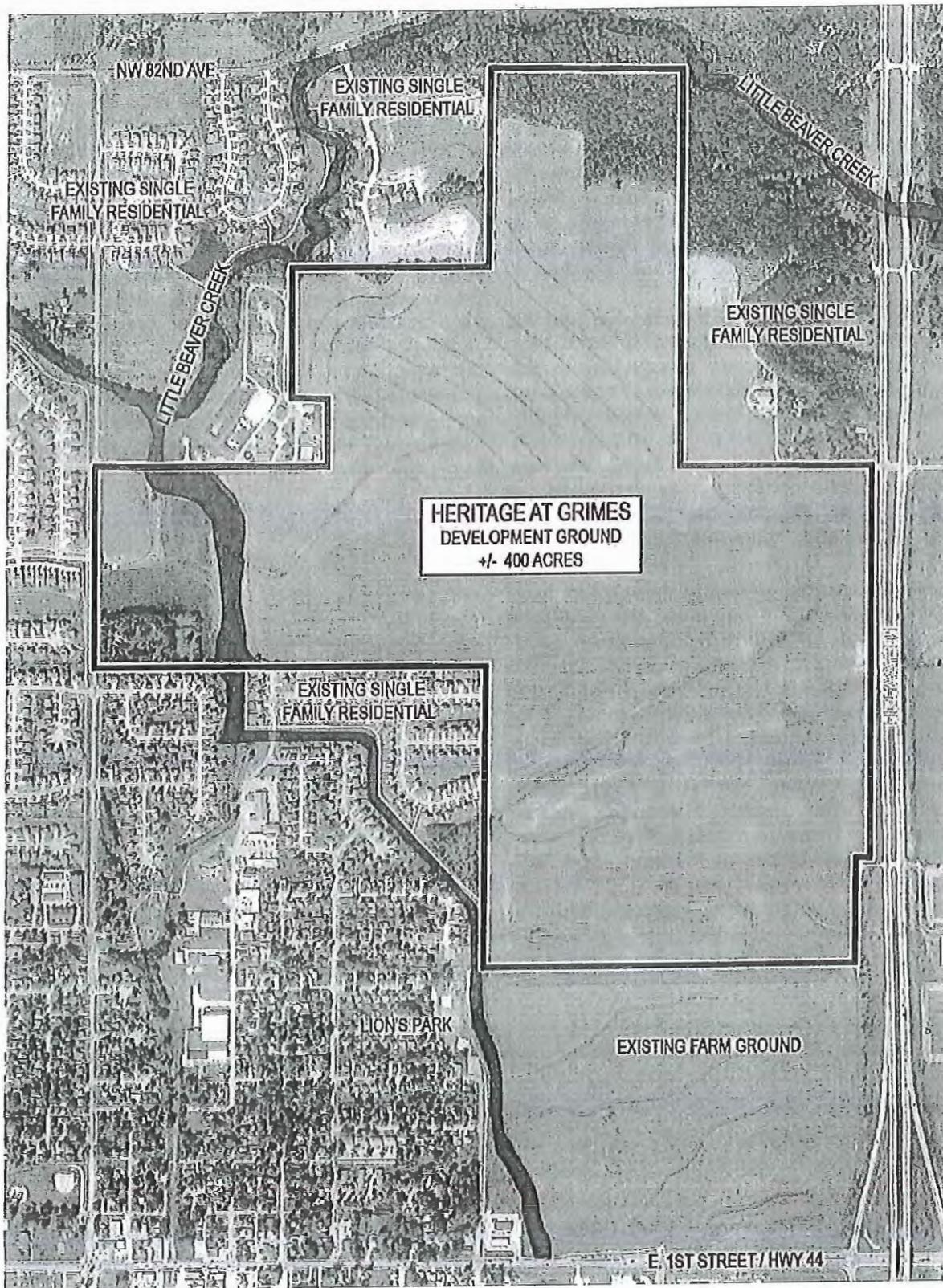


FIGURE 2.1: SITE AERIAL SHOWING VICINITY

# HERITAGE AT GRIMES - GUIDELINES FOR DESIGN

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The proposed Heritage at Grimes site, which encompasses approximately 400 acres of ground, has traditionally been held for private crop farming. The north end of the site features several acres of oak woodland and a steep drop to Little Beaver Creek. The creek itself flows south to north near the west edge of the project before eventually turning east and running along the northern boundary. Heritage is bounded on the east by Highway 141, James Street on the west and vacant ground to the north and south. In anticipation of the development, an earlier phase of construction included the installation of a major Sanitary Sewer

across the property as well as a water main along the future right of way of Beaverbrooke Boulevard.

Heritage is planned as a major new entrance to the City of Grimes. It is for this reason that this PUD is being established. The PUD document will allow a certain amount of flexibility to the construction of residential, commercial, and municipal buildings on the property while maintaining a common theme throughout. Whenever possible existing adjacent residential uses will be continued into the Heritage site and blended in with the overall scheme.

### NE Beaverbrooke Boulevard

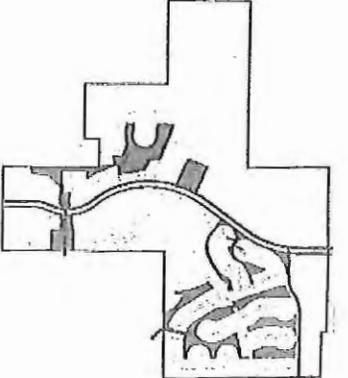
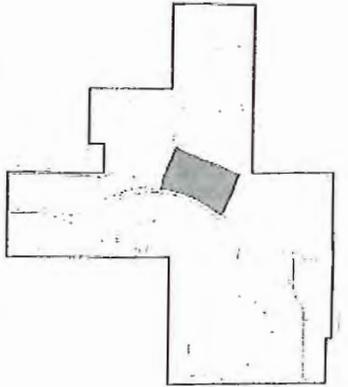
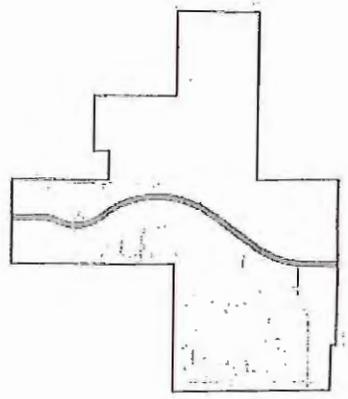
NE Beaverbrooke Boulevard is designed and intended to serve as an arterial road connecting vehicular and pedestrian traffic between Highway 141 and James Street. Once past James Street, it connects to an existing portion of NW Beaverbrooke Boulevard which carries traffic to the growing northwest quadrant of the City. Design guidelines along Beaverbrooke Boulevard are critical to the success of the project and the future development.

### Town Center

The City of Grimes is projected to continue significant growth over the coming years and it is becoming apparent that the current City Hall and related facilities will not be able to adequately meet the future needs of the residents or the staff. Property has been set aside along the north side of NE Beaverbrooke Boulevard to allow construction of neighborhood commercial as well as leaving the City of Grimes the option of construction of a new City Hall, Fire Station, and/or Community Center. This active hub in the middle of a largely residential project fits well into the idea of developing destination businesses and amenities that people can either drive to or walk to depending on their proximity. A portion of this Town Center ground will be reserved as park referred to as "Heritage Commons Park" in this document.

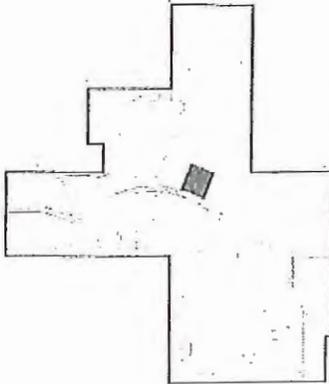
### Parks, Trails, and Open Space

While the residential component to the north will feature a more traditional layout, the southern portion will feature green spaces throughout the single family lots. These green spaces will serve two primary functions; storm water control, and recreational open space. Areas of open mown lawn will create space for residents where lot sizes are somewhat smaller. Residential property will be delineated by the required use of a decorative fence along each properties back lot line. This gives a clear visual cue to visitors what ground is public space and what is private.



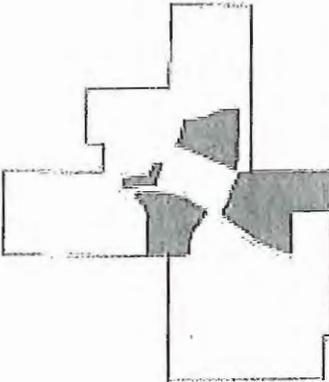
**Heritage Commons Park**

The site for the proposed Heritage Commons Park would be set aside within the Town Center portion of the project. The potential exists for numerous different programming uses and would be a strong complement to the adjacent commercial development and potential municipal buildings. Sidewalk and trail access to the park, as well as nearby on and off street parking, will make it an easy destination for Heritage residents as well as the larger Grimes population. With its central location within Heritage the park can easily function as a farmer's market or similar community gathering event. Even without a municipal component to the Town Center, the park will be a hub for activity and recreation



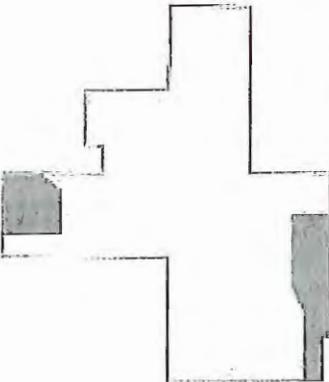
**Multi Family Housing**

There are several acres of ground set aside within Heritage which will allow for development of higher density residential communities. Ground north of the Town Center area is intended to be developed as 'brownstone' style units - attached housing with minimal lot sizes, rear loaded garage bays, and a pedestrian oriented layout. To the east of the Town Center is a large area with the potential for development as high density residential with a possible commercial component. South of the Town Center, across NE Beaverbrooke Boulevard, approximately 19 acres are set aside to be developed as a private housing association.



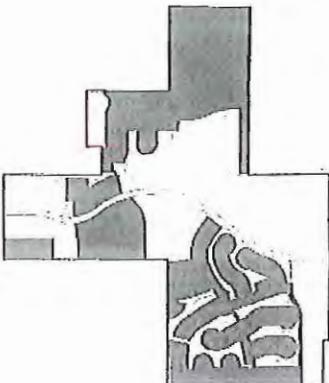
**Commercial Architecture**

Commercial Architecture throughout the site is intended to combine elements from what would be considered a 'traditional' architectural style. Durable modern materials will be used to create buildings in the style of the mid-late 1900s. Colors, materials, signage, windows/door types, and overall architectural aesthetics are all to be taken into consideration during the design process. All proposed commercial construction will also fall under the review of the HRC and City of Grimes for final approval. Materials, general form, setbacks, and lot sizes are all components to commercial development covered under this PUD.



**Residential Architecture**

Like commercial architecture, residential units will also fall under the guidelines of form and materials. Heritage is intended to reflect traditional style architecture similar to single family homes at Beaverbrooke Plats 3 and 4. Contemporary architecture is discouraged within the Heritage development. All proposed residential construction will also fall under the review of the HRC and City of Grimes for final approval. Materials, general form, setbacks, and lot sizes are all components to residential construction covered under this PUD.



# HERITAGE AT GRIMES - GUIDELINES FOR DESIGN

3

LAND USE AND BULK REGULATIONS

The basis for Land Use and Bulk Regulations will generally follow the City of Grimes Zoning Ordinance, Chapter 165 of the City Code. Deviations from the Zoning Ordinance shown in this PUD will govern throughout the Heritage at Grimes Development. Heritage at Grimes is divided into 10 different areas. Listed below and shown in Figure 3-1 are the designations for each of the different areas.

## HERITAGE ZONING SCHEMATIC

Area A _____ Commercial	Area F _____ Multi Family High Density
Area B _____ Single Family Type II	Area G _____ Town Center
Area C _____ Multi Family Medium Density	Area H _____ Multi Family Medium Density
Area D _____ Single Family Type I	Area I _____ Multi Family Medium Density
Area E _____ Commercial	Area J _____ Single Family Type I

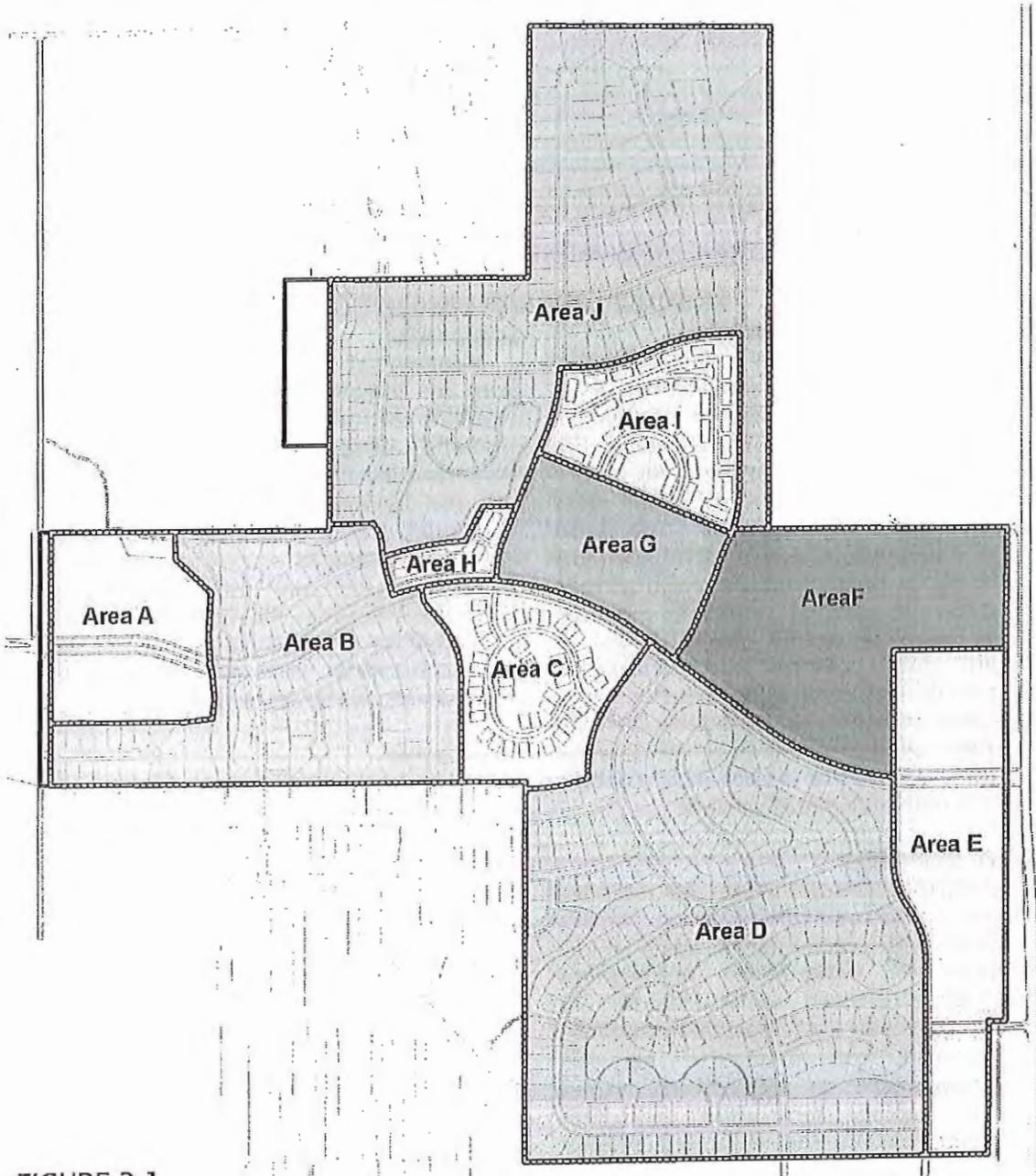


FIGURE 3.1

5

**HERITAGE BULK REGULATIONS**

Bulk regulations throughout Heritage are generally similar to the City of Grimes Bulk Regulations already set forth in Chapter 165.48. Because of the unique nature of the Heritage development, revised bulk requirements are shown in the figure below.

ZONING DISTRICT	Max. DU/AC	Max Bldg. Ht / Max No. of stories		Min. Lot Area	Min. Lot Width	Minimum Setbacks				Min. Percent Open Space Required
		Primary	Accessory			Front		Side / Sum	Rear	
						Ft.	Ft.			
SINGLE FAMILY - TYPE I	5.0	35' / 3	15' / 1	8,500 SF	70'	30'	N/A	7' / 14'	25'	N / A
SINGLE FAMILY - TYPE II	5.0	35' / 3	15' / 1	7,500 SF	60'	30'	N/A	7' / 14'	25'	N / A
MULTI FAM. RES. (MED)	10.0	40' / 3	15' / 1	500 SF	30'	0'	N/A	7' / 14' <sup>6</sup>	30'	30
MULTI FAM. RES. (HIGH)	16.0	50' / 4 <sup>2</sup>	15' / 1	500 SF	30'	0'	N/A	7' / 14' <sup>7</sup>	30'	30
COMMERCIAL <sup>1</sup>	16.0	50' / 4 <sup>2</sup>	15' / 1	1 ACRE	N / A	0' <sup>3</sup>	N/A	0'	0' <sup>4</sup>	25
TOWN CENTER	16.0	50' / 4 <sup>2</sup>	15' / 1	1 ACRE	N / A	15' <sup>5</sup>	15' <sup>5</sup>	0'	0'	20

<sup>1</sup> RESIDENTIAL USES IN COMMERCIAL DISTRICT: SAME AS REQUIRED IN MULTI FAMILY RESIDENTIAL  
<sup>2</sup> 4 STORY BUILDINGS IN ALL AREAS WILL ONLY BE ALLOWED WITH REVIEW AND APPROVAL BY CITY STAFF AND REVIEW COMMITTEE  
<sup>3</sup> FRONTAGE ALONG 141 AND BEAVERBROOKE BOULEVARD REQUIRES 20' ALL OTHERS 0'  
<sup>4</sup> REAR SETBACK FOR COMMERCIAL PROPERTIES MUST INCLUDE A 35' BUFFER WHEN ADJACENT TO SINGLE FAMILY RESIDENTIAL LOTS  
<sup>5</sup> MEASURED FROM ADJACENT BACK OF CURB EXCEPT FOR BUILDING #1 AS SHOWN IN FIGURE 3.5  
<sup>6</sup> TWO AND THREE STORY STRUCTURES REQUIRE 15'/30' SIDE/SUM SETBACK  
<sup>7</sup> TWO AND THREE STORY STRUCTURES REQUIRE 20'/40' SIDE/SUM SETBACK  
 IN ALL CASES, BUILDING HEIGHTS ARE REQUIRED TO COMPLY WITH ALL FEDERAL, STATE, AND LOCAL CODES AND REGULATIONS AT THE TIME OF CONSTRUCTION.  
 ALL SETBACKS ARE MEASURED TO STREET R.O.W. EXCEPT WHERE SPECIFICALLY NOTED OTHERWISE

FIGURE 3.2

**HERITAGE LAND USE DESCRIPTIONS**

Single Family Residential - Types I & II

Areas designated as Single Family Residential are intended for traditional stand-alone single family lots. No multi-family units or commercial uses of any kind will be allowed in these areas. The driveways of these units are to be street loaded and built with attached garages. All public walks shall be constructed with concrete – see street standards for dimensions and relative locations. Hard surfacing on private lots may also include stamped concrete, colored (integral) concrete, concrete paving units, porous paving units. All construction shall conform to Architectural Standards as set forth in this document for form, materials, and setback requirements. The two types of Single Family Residential are necessary to allow a slightly denser use in Area B by reducing minimum lot width and overall lot size.

Multi Family Residential

Multi Family Residential areas are intended to be designed and constructed as a cohesive housing theme with requirements based on the City of Grimes R-3 designation. Development drawings shall be reviewed by the HRD and City of Grimes for approval. Developments within the Multi-Family zones shall conform to standards within this document for architectural forms/materials, landscaping, storm water, and street design. Medium Density areas are located adjacent to Single Family Residential and a High Density area has been included next to the HWY 141 Commercial district.

Commercial

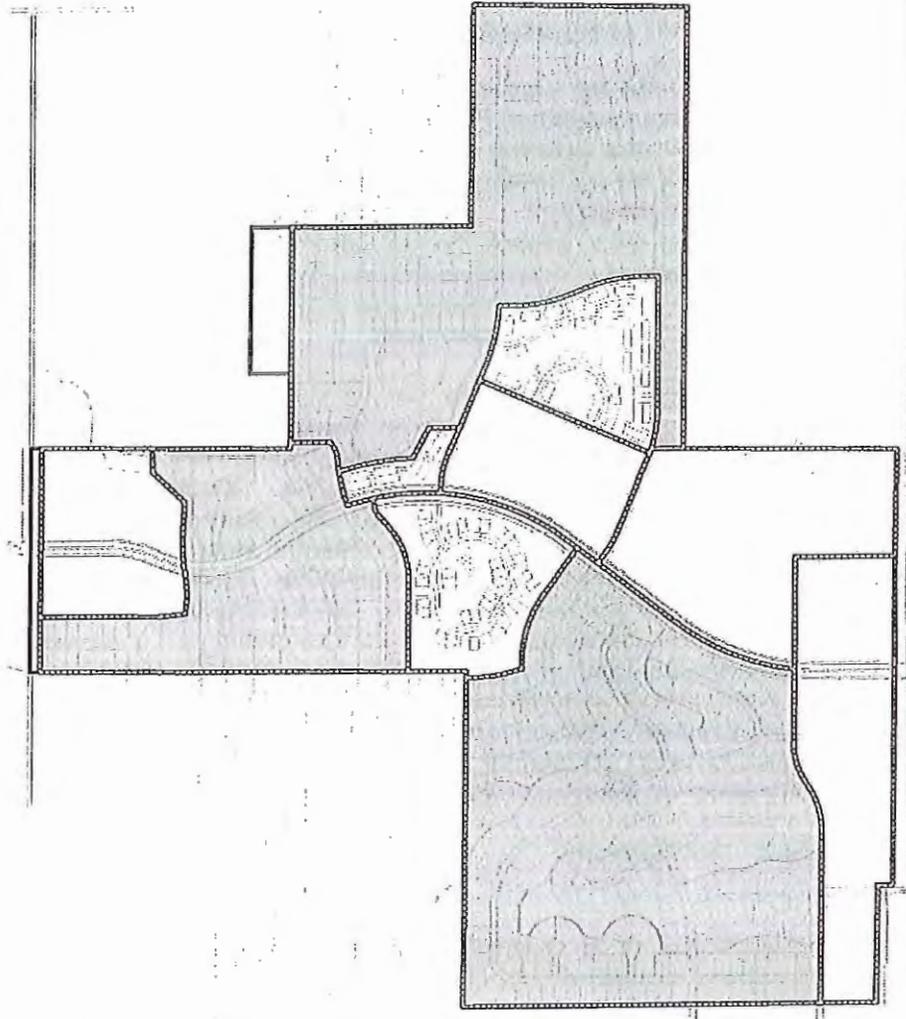
Commercial uses designated on the master plan are intended to have a high degree of flexibility for future use. Commercial uses occur primarily along arterial and collector routes (Beaverbrooke Boulevard, James Street, Highway 141, and Gateway Drive). Medium to High Density residential uses are allowed within these areas and are encouraged as buffers between regular commercial uses and lower density residential lots. Developments within the Commercial zones shall conform to standards within this document for architectural forms/materials, landscaping, storm water, and street design.

Town Center

The Inclusion of the unique Town Center zone within Heritage allows for optional incorporation of a new Grimes Municipal Campus. This area is to be pedestrian oriented and incorporate open space throughout, minimized parking in rear of buildings, angled parking on-street, and access to walking trails and the central park space where possible. Commercial uses are allowed and encouraged in this area but are to be in keeping with small neighborhood shops and restaurants. Residential units above commercial space are allowed. Building within the Town Center area shall conform to standards within this document for architectural forms/materials, landscaping, storm water and street design and will be reviewed by the City of Grimes and the HRC.

## Single Family Residential

Single family residential zoning is based on City of Grimes R2-70 zoning in Areas D & J as shown in Fig. 3.1. Area B, as shown in Fig. 3.1 is based on City of Grimes R2-60 zoning. All Single Family Residential Areas are subject to the exceptions as described in this PUD.



**1. Principal Permitted Uses** Only the uses of structures or land listed in this section are permitted in the Single Family Residential portions of Heritage at Grimes - designated as Area B, D, & J in Fig. 3.1

- A. Single family dwellings
- B. Churches, chapels, temples, and similar places of worship, provided that all principal buildings be set back a minimum of forty (40) feet from all property lines
- C. Public and parochial schools, elementary and secondary, and other educational institutions having an established current curriculum as ordinarily given in the public schools, provided that all principal buildings be set back a minimum of forty (40) feet from all property lines
- D. Family homes as permitted by and as limited by Section 414.22 of the Code of Iowa
- E. Publicly owned parks, playgrounds, golf courses, and recreation areas
- F. Private noncommercial recreational areas, including country clubs, swimming pools, tennis clubs and golf courses
- G. Cemeteries, including mausoleums

## 2. Permitted Accessory Uses

- A. Uses of land or structures customarily incidental and subordinate to one of the permitted principal uses, unless otherwise excluded
- B. Private garage or carport
- C. Home occupations as permitted in and as limited by Section 165.16 of the City of Grime Zoning Ordinance.
- D. Temporary buildings for uses incidental to construction work, which buildings shall be removed upon the completion or abandonment of the construction work
- E. Temporary use of a dwelling structure within a new subdivision as a job office and real estate office for the subject subdivision, which shall terminate upon completion or abandonment of the project
- F. One board or sign not to exceed fifty (50) square feet in area referring to the construction, lease, hire, or sale of a building, premises, or subdivision lots, which sign shall refer to property on which the sign is located, and shall be removed as soon as the premises are sold or leased or construction completed
- G. Institutional bulletin board sign
- H. Day nurseries and nursery schools
- I. Satellite receiving antenna, mounted on the ground in the rear yard or attached to the principal building facing rear yard as a height no greater than the peak of the roof, not to exceed a maximum height of fifteen (15) feet. The mounting of the antenna shall be in accordance with the City Building Code. The height of the antenna shall be measured vertically from the highest point of the antenna when positioned for operation, to the bottom of the base which supports the antenna. No antenna in the "R" District shall be greater than twelve (12) feet in diameter. Satellite receiving antenna mounted on a trailer or vehicle may be allowed in the rear yard for a period not to exceed fifteen (15) days.
- J. Solar collectors mounted on the ground in the rear yard or attached to principal building facing front, side or rear yard as a height no greater than the peak of the roof of the principal structure. The mounting of solar collectors shall be in accordance with the City Building Code. If required, solar access easement may be obtained from adjoining property owner in accordance with the State statutes.

## 3. Bulk Regulations See Figure 3.2

All proposed construction is to be reviewed by the City of Grimes as well as the Heritage Review Committee. Architectural design will be required to meet minimums for design as outlined within section 5 of this PUD document.

## 4. Definitions

- A. For the purpose of this section, the following terms shall have the following definitions, except as otherwise specifically provided:
- B. "Heritage at Grimes" shall mean and refer to the real property as shown in Figure 3.1.
- C. "Developer" shall mean and refer to the signatories hereto and their successors and assigns.
- D. "Lot" shall mean and refer to all Single Family Residential Lots as shown in Figure 3.1.
- E. "Building Plot" shall mean and refer to one or more platted lots or one platted lot and portion or portions or adjacent stated lots in Heritage Plat.
- F. "Owner" shall mean and refer to the record owner, whether one or more persons or entities, of the fee simple title to any lot or building plot which is part of Heritage at Grimes.
- G. "Outbuilding" shall mean an enclosed covered structure not directly attached to the residence to which it is appurtenant.

5. Designations of Use

As described in Chapter 3 - Land Use and Bulk Regulations of this Document.

6. Building Type and Area

- A. No habitable building or structure shall be constructed, altered, or maintained on any Single Family lots other than a detached single family home. All single family homes in a ranch or single level style shall contain a minimum of 1,450 square feet of above grade living space exclusive of attached garages, breezeways, and porches. All single-family residences that are one and one-half or two story units shall contain a minimum of 1,750 square feet of above grade living space, exclusive of attached garages, breezeways, and porches. Any non-conforming building plans submitted for H.R.C.'s approval or disapproval shall be rendered in H.R.C.'s sole subjective judgment.
- B. No habitable structure of any kind shall be moved onto any lot in Heritage at Grimes.
- C. All structures built in Heritage at Grimes shall blend in with the terrain rather than contrast with it. The use of natural materials is encouraged, i.e., stained wood, stone, brick, and warm-toned shingles, as well as soft, earth-tone colors. All exposed concrete block or concrete foundations shall be painted, brick veneered, or stone veneered. See Chapter 6 - Architecture of this document for additional information.
- D. All accessory use type buildings (sheds, etc.) shall be constructed to match the architecture of the residence on that lot. No permanent accessory structures shall be erected until plans have been first submitted and approved by the H.R.C. or its successor in interest.
- E. All residence shall have a minimum of an attached two-car garage. All driveways shall be constructed of portland cement concrete, or other hard surface materials. Each dwelling shall provide off-street parking for two cars, including space in garage.

7. Architectural Control

- A. In order to preserve the general design for the development of the whole of Heritage at Grimes as a fine residential section of Grimes, no building of any kind, nor any addition thereto, shall be erected upon any building plot in Heritage at Grimes, unless the plan, design, building materials and location thereof shall have been first approved by the H.R.C. or such person or persons or corporate entity designated by it for this purpose. Approval of a plan shall not be unreasonably withheld. In the event the H.R.C. or its designee does not respond in writing to approve or disapprove such plans, design, materials, location within 60 days from its receipt of the same, such plans, design, materials and location shall then be approved by H.R.C, after which the City of Grimes approval and permitting process may begin.
- B. Any material deviation in construction, from the approved plans on any building plot, which, in the judgment of H.R.C. is a substantial detriment to the appearance of the structures located in the surrounding area, shall be corrected to conform to the approved plans at the expense of the owner of that building plot.
- C. No boats, campers, nor other recreational vehicles may be parked and stored on a Residential Lot within Heritage at Grimes except in a garage.
- D. No mobile or trailer-type homes will be allowed in the entire development, including future phases of Heritage at Grimes. No pre-manufactured homes will be allowed in Heritage at Grimes.
- E. All paving for driveways shall extend no further than side yard building setback lines as established by zoning ordinances.
- F. Paving for patios, storage areas, and similar non-vehicular traffic uses may extend to within 1' of property line.

8. Livestock and Poultry Prohibited

Livestock and Poultry regulations within Heritage at Grimes shall conform to current City of Grimes ordinances.

9. Easements

Easements for installation and maintenance of utilities, drainage facilities, conservancy districts and walkways are reserved as shown on the proposed plat of Heritage at Grimes. The Owner or occupant of a building plot shall, at his expense, maintain, keep and preserve that portion of the easement within his property at all times in good repair and condition and shall neither erect nor permit erection of any building or structure of any kind, nor permit any growth of any kind within said easement which might interfere in any way with the use and maintenance of any of the utility services and drainage and usage of walkways located within the easements.

10. Nuisances

No noxious or offensive activity or odors shall be permitted on or to escape from any lot, nor shall anything be done thereon which is, or may become an annoyance or nuisance, either temporarily or permanently.

11. Weed and Erosion Control

Weed and Erosion Control regulations within Heritage at Grimes shall conform to current City of Grimes ordinances.

12. Landscaping and Sight Lines

- A. No hedge or shrub planting which obstructs sightlines at elevations between two (2) and ten (10) feet above the roadways shall be placed or permitted to remain on any corner lot within the triangular area formed by the street property lines and a line connecting them at points twenty-five feet (25') from the intersection of the street lines, or in the case of a rounded property corner within the triangular area formed from the intersection of the street property line with the edge of a driveway. No trees shall be permitted to remain within such distance of such intersection unless the foliage line is maintained at a sufficient height to prevent obstruction of such sightlines.
- B. At a minimum, all landscape and site plans must provide that all private residential yards be sodded with nursery quality sod, except where topography does not permit such sodding.
- C. All lots other than private residential shall be sodded upon final construction for said lot. In the event sections of lots are to be left open for future development, seeding is allowed.

13. Swimming Pool

- A. No above ground (or non-permanent) swimming pools capable of holding water at greater than a 24" depth shall be permitted.
- B. In ground pools are allowed. In addition to the City of Grimes Zoning requirements for pools, construction of such pools must also follow all applicable State and Federal guidelines for safety and installation.

14. Towers and Antennas

Any antenna designed to receive direct broadcast satellite service ("DBS") that is more than one meter in diameter is prohibited. Any antenna designed to receive video programming services via multi-point distribution services, including multi-channel multi-port distribution services ("MMDS") that is more than one meter in diameter or diagonal measurement is prohibited. Any antenna designed to receive analog television broadcast signals ("TVBS") shall be attached to the single family home. Any DBS antenna, MMDS antenna, or antenna designed to receive digital television broadcast signals ("DTV") shall be attached to the single family home. Any DBS, MMDS, DTV, or TVBS antenna shall be made of materials or painted to blend into the background on which it is mounted; provided that the antenna can receive an acceptable quality signal. No other exterior towers or antennas shall be constructed, installed, modified or permitted on the ground, on dwellings, on garages or on any permitted outbuildings.

15. Temporary Structures or Equipment

No building or structure of a temporary character and no trailer, basement, tent, shack, garage or outbuilding shall be used at any time as a residential dwelling on any building plot, either temporarily or permanently. All boats, campers and other recreational vehicles shall be parked or stored in a garage.

16. Commercial Activity Prohibited

No home occupation business or any commercial activity shall be conducted on any lot, except as permitted by the Grimes Zoning Ordinances. Notwithstanding any provisions or restrictions contained in this P.U.D. to the contrary, Developer and its agents, employees, successors and assigns may maintain and carry on such facilities and activities as may be reasonably required, convenient or incidental to the sale, development or improvement of any lot, including without limitation, the installation and operation of sales and construction trailers and offices, signs and model dwellings. The right to maintain and carry on such facilities and activities shall include specifically the right to use dwellings as model residences or as an office for the sale of lots and related activities. The location of any construction or office trailers of Developer's assignee shall be subject to Developer's approval.

### 17. Signs

No sign of any kind or description shall be placed, exposed to view or permitted to remain on any lot or any street adjacent thereto, except street markers, traffic signs, and other signs displayed by the City of Grimes or by other governmental units, and except signs which have been approved by Developer or its authorized agent not exceeding 1 square foot (144 square inches) in area upon which there shall only be exhibited the street number or name, or both, of the resident. In the event that any sign, other than those described above, shall be placed or exposed to view on any of the lots restricted hereby, the officers or agents of the Developer are hereby given the right to enter upon those lots and permitted until such development is completed. Signs not exceeding 9 square feet (1,296 square inches) in size, to show property for sale shall be permitted.

### 18. Mandatory Completion Date

Any requirement with regard to building structures, accessory use buildings, driveways, sod or any other required action with regard to improvement to the property or the land under the terms of this document or the Grimes City Code must be completed within one year from the date that the closing occurs between the Developer and the purchaser or six months from the date of the issuance of the building permit on the lot, whichever occurs first.

### 19. Fences

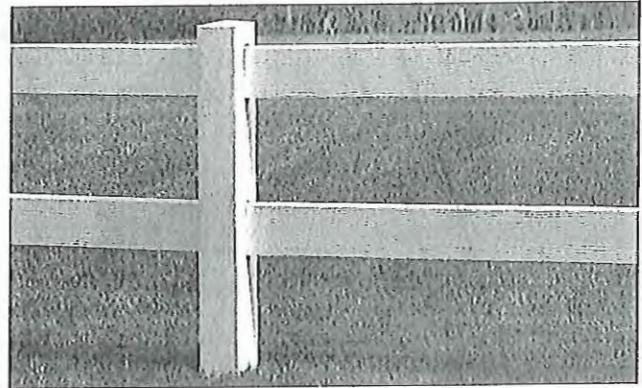
As part of the aesthetic development of Heritage at Grimes it's recognized that privacy fences throughout residential neighborhoods limit site lines, compartmentalize residential lots, and closes off the pedestrian nature of the ground. Because of this, fencing throughout this development is required to meet strict criteria as outlined in Figures 3.3 & 3.4 on the following pages.

3

FENCING

Fencing is discouraged throughout the Heritage at Grimes development. In Area D of Figure 3.1, *all* fencing is prohibited except for the required Decorative Fencing as described.

Wood privacy fences are specifically prohibited anywhere within the Heritage at Grimes project. Black vinyl coated chain link fencing is allowed in Areas B & J of Figure 3.1 within rear and side yards only. No fencing of any kind is allowed within front yard setbacks.



DECORATIVE FENCING

Decorative fencing, as shown above, is required on all residential properties where a property line is adjacent to a public outlet. A 5 foot opening centered on the property line is to be installed along the back property line when required. Fencing is also required where a side yard is adjacent to a public outlet. In this case the fence shall be continuous along the property line with no openings from the rear lot line to the front yard setback.

Figure 3.3 shows areas within Heritage which will fall under the fence requirement. This layout is subject to change in final platting and design and might alter slightly the actual lots requiring decorative fencing.

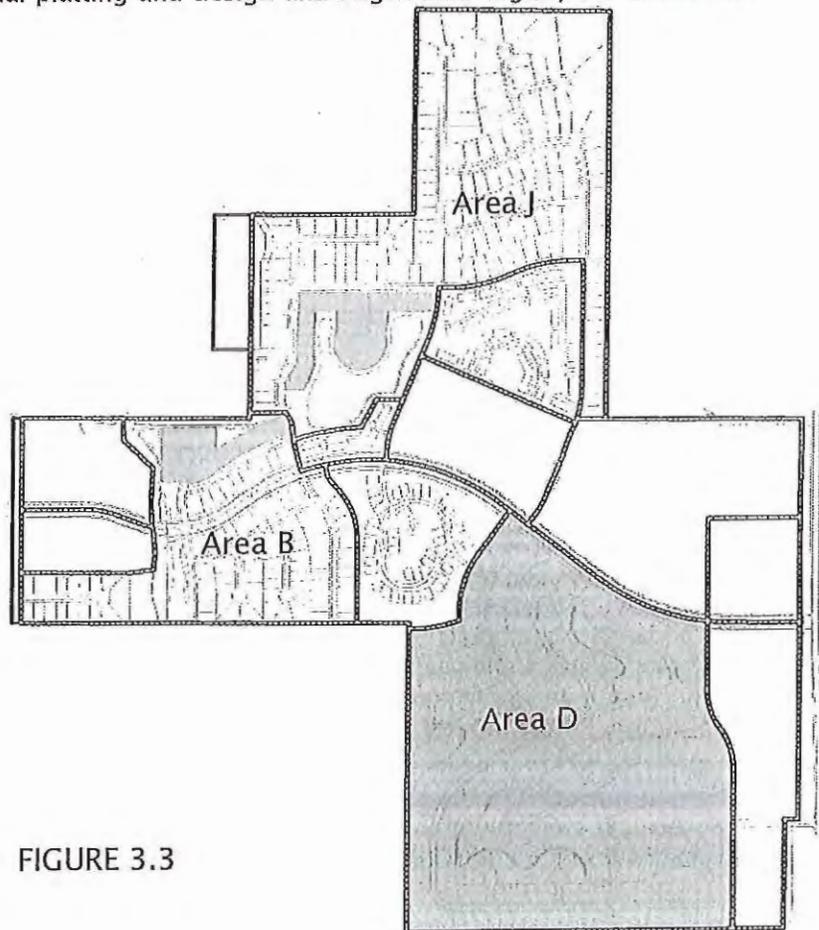


FIGURE 3.3

LAND USE AND BULK REGULATIONS

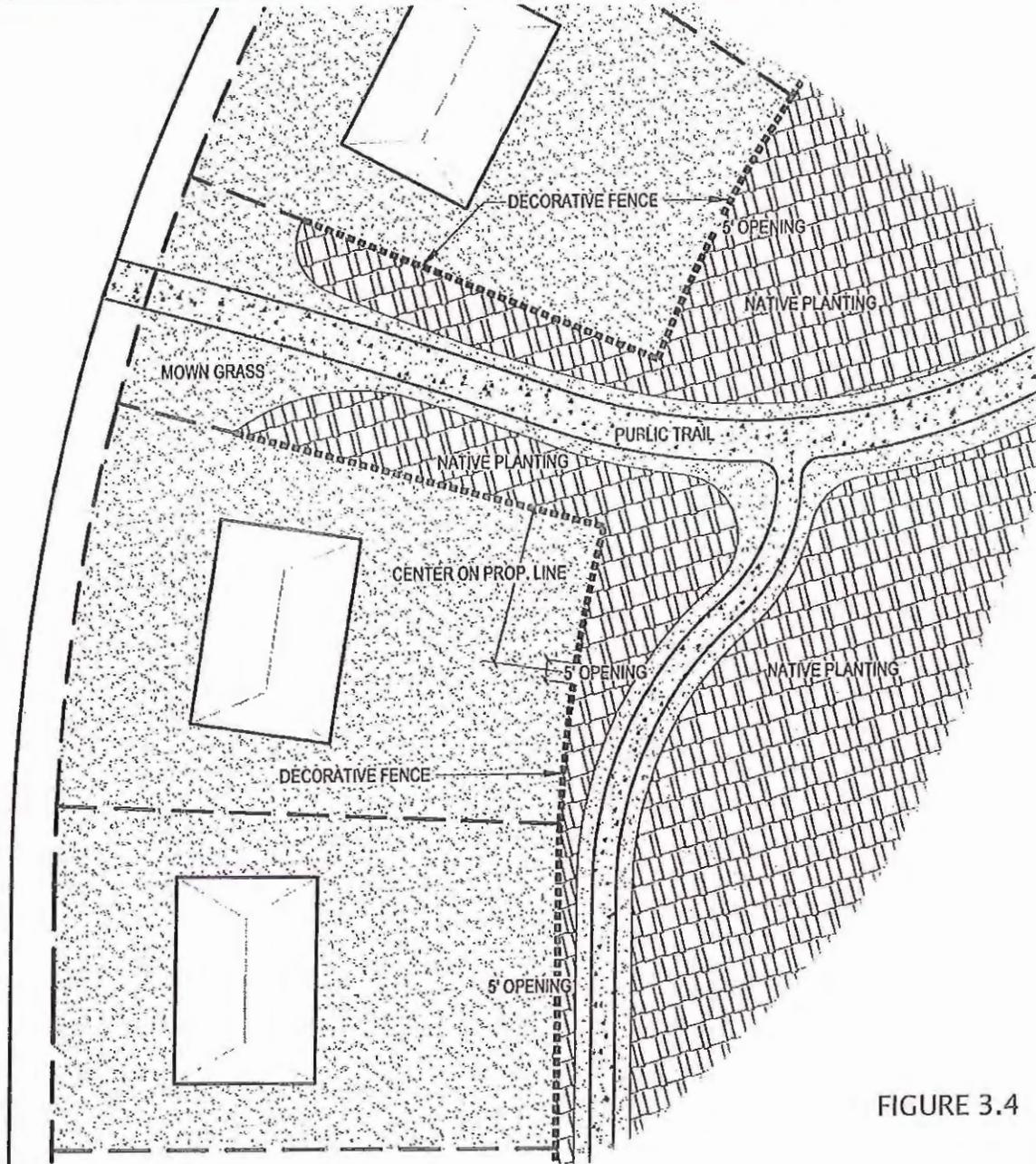


FIGURE 3.4

Only approved white vinyl fencing of the style shown is allowed. Cost for fence installation to be paid by the lot owner. The basis for design is "Westech" Vinyl Fencing System: white, with Colonial post cap, 36" overall height, 2 rail ranch style, in 8' lengths (adjusted at corners as needed). No alterations to the basic fence design are allowed including, but not limited to, adding gates, placing any addition type of fencing on the decorative fence, or additional fences inside the decorative fence. For ease of maintenance, mown turf will extend 24" beyond the residential property lines to keep native grasses from growing up around fence posts and rails.

'Invisible' style pet containment systems are allowed throughout the Heritage development as long as all components are hidden from view.

3

LAND USE AND BULK REGULATIONS

## Multi Family Residential

For all areas shown as Multi Family Residential in Figure 3.1, the basis for zoning is R-3 HIGH DISTRICT and R-3 MEDIUM DISTRICT, as described in City of Grime Ordinance Chapter 165.23(A) and 165.23(B), for the purposes of regulations. The R-3 zoning requirements are amended as follows:

165.23A (1) Principal Permitted Uses:

- A. Multiple family dwellings including row dwellings and condominium dwellings
- B. Institutions of a religious, educational, or philanthropic nature, including libraries.
- C. Colleges and universities, both public and private, including administrative buildings, classrooms, dormitories, athletic facilities, and similarly related structures, but not including commercial trade schools and business colleges.
- D. Nursing, convalescent and retirement homes.
- E. Private clubs, lidges, or veterans organizations, except those holding a wine/beer permit or liquor license

165.23A (2) Permitted Accessory Uses:  
Allowed per Ordinance

165.23A (3) Bulk Regulations: See Figure 3.2

All Multi Family Residential Development is required to meet standards set forth in 165.49 INTERNAL BULK REQUIREMENTS of the City of Grimes Zoning Ordinance.

All proposed construction is to be reviewed by the City of Grimes as well as the Heritage Review Committee. Architectural design will be required to meet minimums for design as oulined within section 5 of this PUD document.

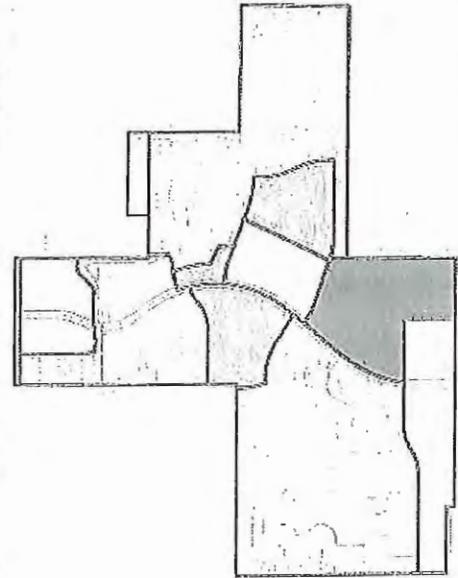
## Commercial

Basis for Zoning: City of Grimes C-1

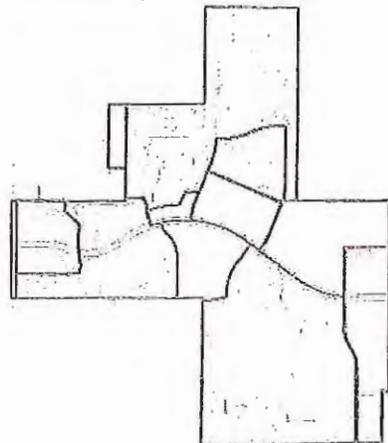
For areas shown as Commercial in Figure 3.1, the basis for zoning is C-1, as described in City of Grime Ordinance Chapter 165.26, for the purposes of regulations. The C-1 zoning requirements are amended as follows:

165.21 (3) Bulk Regulations: See Figure 3.2

Development of Areas E & F are within the Highway 141 overlay district and will, with exceptions of bulk regulations, landscape requirements, and building materials, follow the currently approved regulations for the Highway 141 Mixed Use Development Corridor District - Chapter 165A.



All proposed construction is to be reviewed by the City of Grimes as well as the Heritage Review Committee. Architectural design will be required to meet minimums for design as oulined within section 5 of this PUD document.



## Town Center

Basis for Zoning: City of Grimes C-1

The Town Center area of Heritage is intended as a unique destination within the City of Grimes. The basis for zoning is C-1, as described in City of Grime Ordinance Chapter 165.26, for the purposes of regulations. The C-1 zoning requirements are amended as follows:

165.26 (3) Bulk Regulations: See Figure 3.2

All proposed construction is to be reviewed by the City of Grimes as well as the Heritage Review Committee. Architectural design will be required to meet minimums for design as outlined within section 5 of this PUD document.

The concept plan for the Town Center is shown below in Figure 3.5. Final design/construction is expected to generally conform to this layout. Significant changes to building size/location, etc will be reviewed by the HRC and the City of Grimes to determine appropriateness in following the design intent laid out within this PUD.

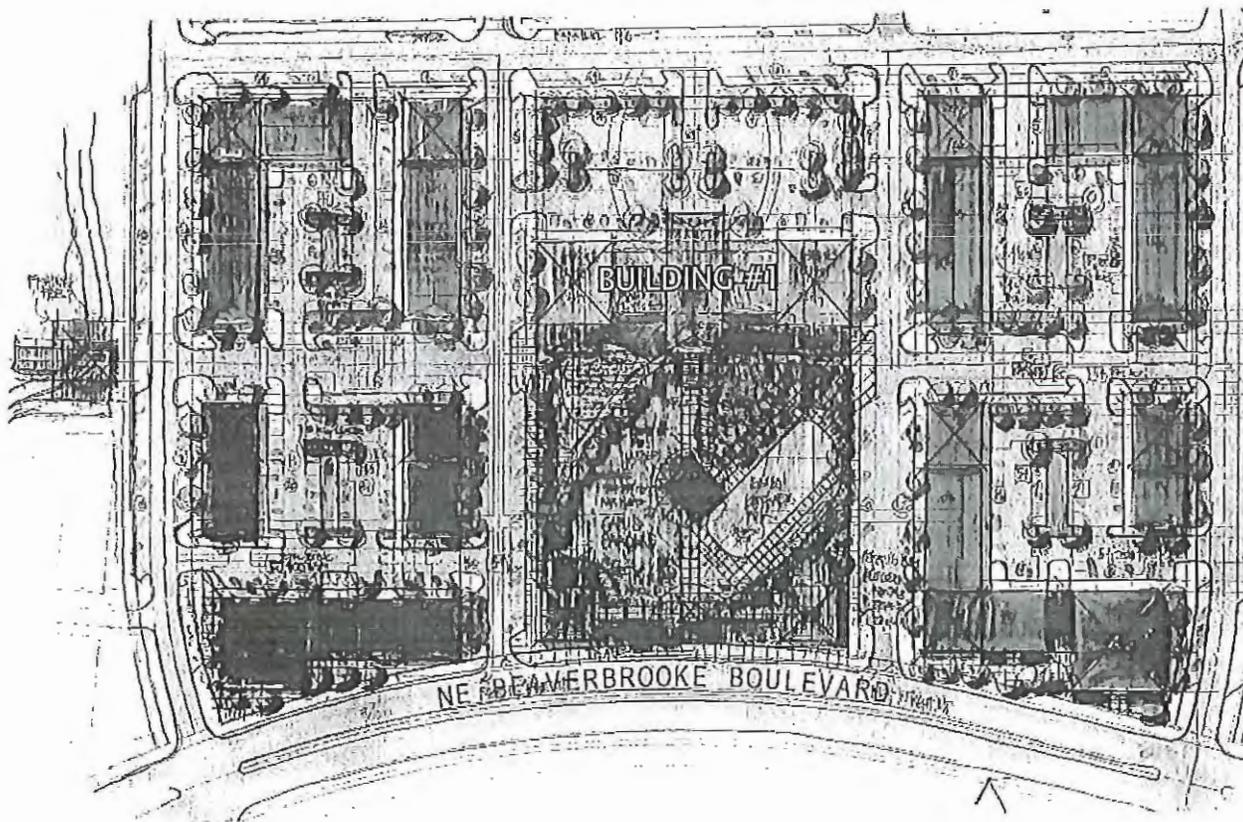
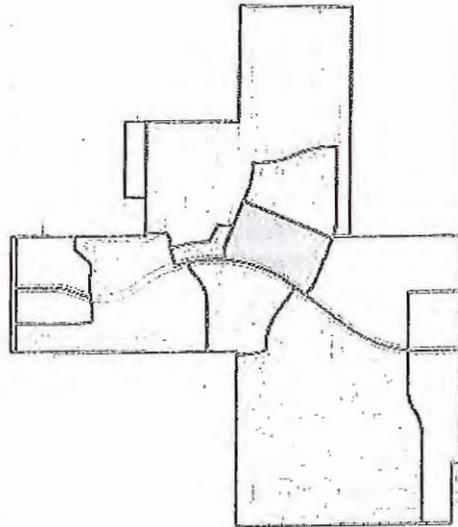


FIGURE 3.5 - TOWN CENTER SCHEMATIC CONCEPT

## Traffic Calming

Recent developments in the study and implementation of traffic calming measures have shown that certain methods are highly effective in slowing vehicle speeds and reducing accidents. By including specific aspects of traffic calming into Heritage, it is anticipated that there will be an overall reduction in the number of traffic accidents, most importantly vehicle/pedestrian accidents.

While other large metropolitan cities throughout the US have started including more traffic calming measures in their street plans, the Des Moines metro is generally lacking in specific methods. As a forward thinking development, Heritage will show real world implementation in how properly used traffic calming measures work.

Some of the overall objectives in using traffic calming devices include:

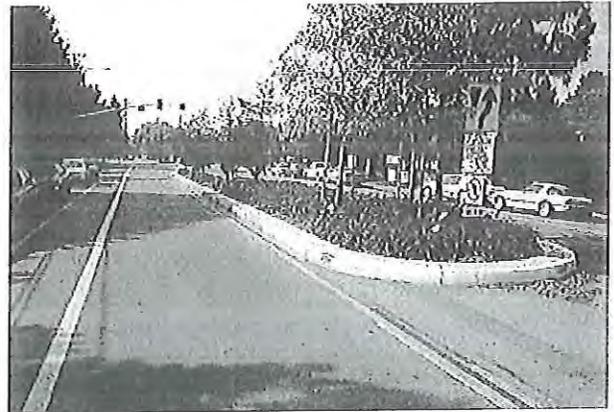
- Overall reduction in vehicle speeds
- Promoting safe and pleasant conditions for motorists, bicyclists, pedestrians, and residents
- Improving the environment and livability of neighborhood streets
- Improving real and perceived safety for nonmotorized users of the streets
- Discouraging use of residential streets by non-residents cut through vehicular traffic

### Beaverbrooke Boulevard - Reduced lane widths and raised median

Traffic calming along NE Beaverbrooke Boulevard will help in slowing overall traffic speed and reducing potential for collisions. Specifically, limiting the lane width to 22 feet in each direction will slow traffic down and force drivers to better mind their surroundings. By reducing the overall lane width, there is a corresponding increase in the amount of landscaped space along the outside of the lanes as well as the median. Pedestrian crossings at major intersections are also reduced in overall length, making a quicker trip across for pedestrians.

Along with narrower lanes, the inclusion of a 22 foot wide raised median will also work to calm traffic along NE Beaverbrooke Boulevard. This median, which would change in overall width based on turning lanes, is large enough to provide an ideal

location for tree, shrubs, sculptural elements, or other amenities. The visual cue to drivers by having these elements spaced throughout the length of the road can help lead to slower speeds and fewer accidents. It will also allow for a center island at intersections where pedestrians can be out of the traffic flow as needed.



### Local Streets - Reduced lane widths

Similarly to NE Beaverbrooke Boulevard, Local Streets designated by Red and Purple in Fig. 4.7 are reduced to 26 feet in width. Reduction of the overall paving width will force drivers to slow down in these areas. Slower speed on these roads could lead to a reduction in the number and severity of accidents.

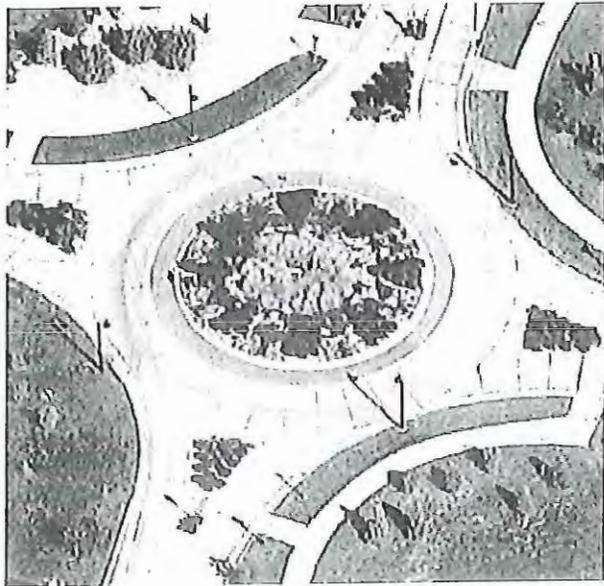
### 'Neckdowns' at intersections

'Neckdowns' refer to locations at street intersections where the overall width is reduced by a distance equal to the on-street parking width. It doesn't effect the width of the overall travel lanes, but there are several benefits in terms of traffic calming. Among other things, Neckdowns shorten the crossing distance for pedestrians, better define the parking bays, provide a haven for pedestrians preparing to cross the street, and provide space for amenities and enhancements. All of this additional pedestrian space works to provide the visual cue to drivers that they need to slow down and be more aware of what is happening. Neckdowns can occur anywhere on street parking is included in the design, or in locations where a turn only lane is designed and will not continue across an intersection.



### Roundabout

As Roundabouts increase in frequency throughout the Des Moines metro area, more drivers are becoming familiar and comfortable with navigating them. Incorporating a Roundabout in Heritage will allow the elimination of a necessary four-way stop while still accomplishing the goal of slowing traffic and making a safe intersection. Typical Roundabout design includes significant signage to properly direct both vehicles and pedestrians through the space and come with numerous benefits over standard four-way stops; streets visually narrow as they approach the Roundabout, landscaping can be incorporated into the center circle as well as islands leading up to it, it give pedestrian an obvious cross walk, it can be enhanced with sculptural elements and landscaping.



Street design throughout Heritage will follow a standard hierarchy based on estimated volume of traffic. Heritage is assumed to have one major east-west arterial road, one major north-south collector road, and the remainder classified as local roads. Typical schematic sections are shown for each type of road, however eventual full build out may dictate changes to overall right of way widths and basic layout. In any event, safety will be the overriding factor for all street designs within Heritage.

All streets and parking lots shall be designed to allow typical access for Emergency Vehicles. Review by the Fire Marshall is recommended to be included in all design phases to ensure compliance with this requirement.

**Collector (NE Gateway Drive)**

NE Gateway Drive is designated in this plan as a collector level road because of its eventual connection to 1st Street to the south. Additional collector roads may be designated based on final construction drawings and development levels both within Heritage and on the ground to the south.

Gateway Drive features Single Family Residential to the west and Commercial to the east. Because of the need to screen the residential development from commercial uses, a 40' wide landscape buffer is proposed within a public outlot adjacent to the west edge. Like the landscape buffer proposed along the south edge of NE Beaverbrooke Boulevard, this buffer zone would be maintained by the City of Grimes as part of the open space/park ground of Heritage. NE Gateway Drive is proposed to have no parking on either side. Other collector roads, depending on traffic study recommendations, might allow parking. A final determination will be made during the design phase.

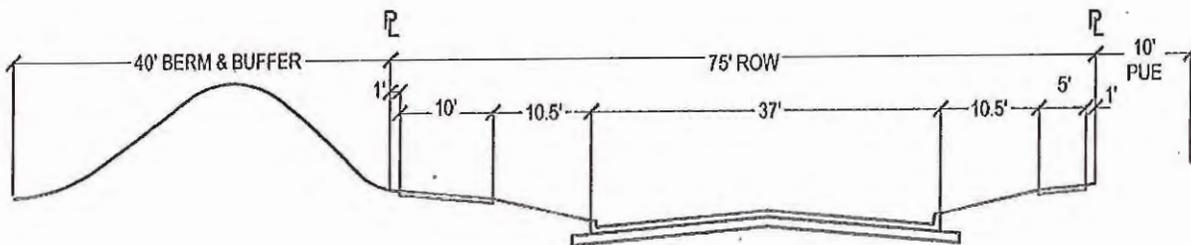
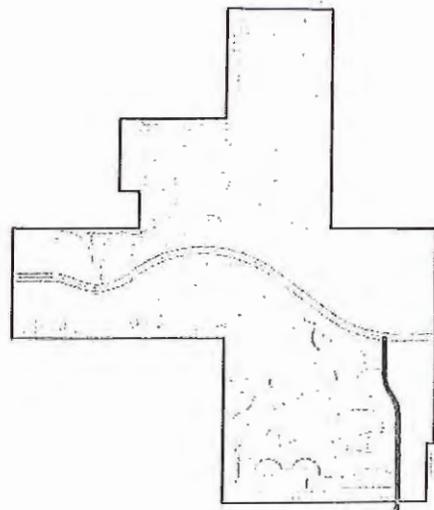
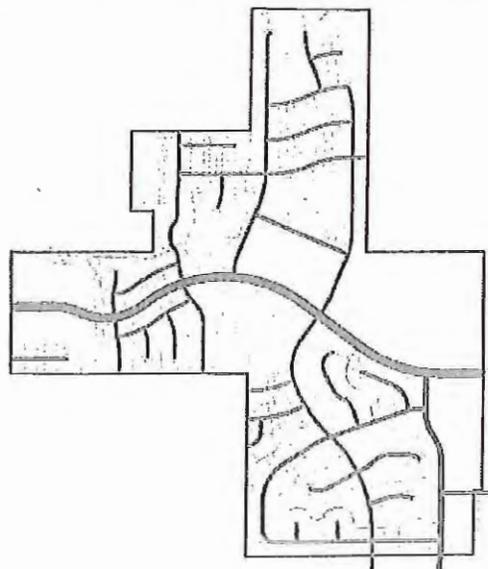
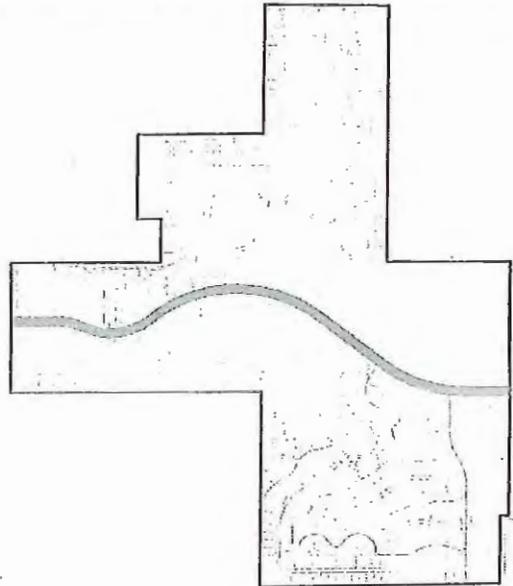


FIGURE 4.1: NE GATEWAY DRIVE (LOOKING NORTH)

**Arterial (NE Beaverbrooke Boulevard)**

Serving as the primary east/west corridor through Heritage, NE Beaverbrooke Boulevard is projected to carry the majority of vehicles through the area. Because of the high capacity for the road, speed limits and lane widths will be designed accordingly. A proposed speed limit of 35mph will carry traffic quickly and safely through the area. A final traffic study based on completed designs will determine actual speed limit for the road. Parking along NE Beaverbrooke Boulevard will not be allowed in either direction.

entrance to the commercial and municipal uses throughout. The proposed buffer zone is not included as part of the overall ROW, however it will be maintained by the City of Grimes as part of the



The conceptual cross section in Figure 4.2 shows anticipated R.O.W. widths for NE Beaverbrooke Boulevard. This width allows for the full future construction to have a divided landscape median, bike/pedestrian trail along the north side, and a pedestrian sidewalk along the south side. In sections of NE Beaverbrooke Boulevard where adjacent uses are single family residential, a 20' wide landscaped berm/buffer is proposed. This standard section will develop a strong pedestrian feel to the street and an

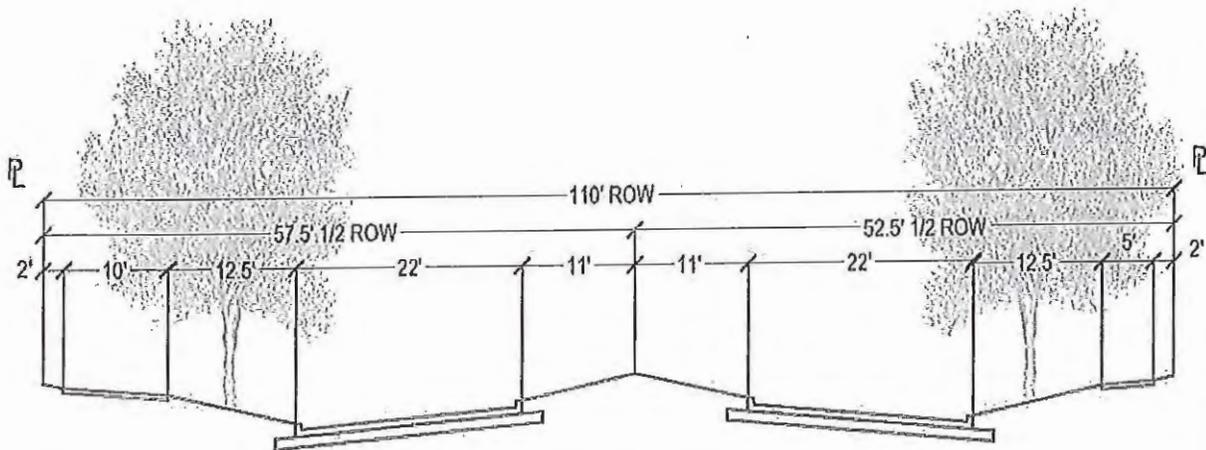


FIGURE 4.2: NE BEAVERBROOKE BOULEVARD - LOOKING EAST

**Local Roads**

For the purposes of these design guidelines, all other roads within Heritage at Grimes are assumed to be Local Roads with minimal R.O.W. Most of these roads don't have a direct connection outside the Heritage boundaries, and those that do connect only to similarly sized roads within residential developments.

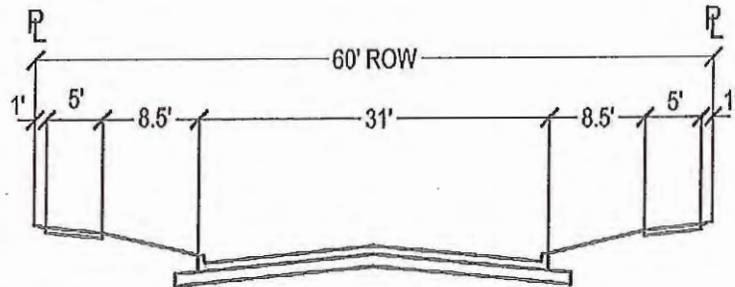


FIGURE 4.3: BLUE CENTERLINE IN FIGURE 4.7

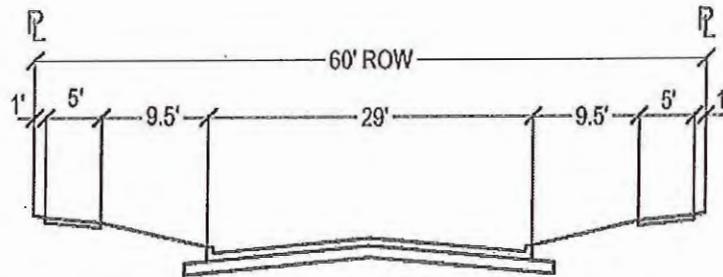


FIGURE 4.4: GREEN CENTERLINE IN FIGURE 4.7

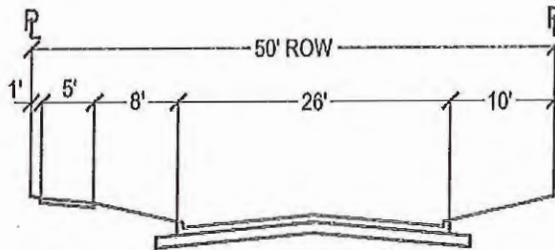


FIGURE 4.5: RED CENTERLINE IN FIGURE 4.7

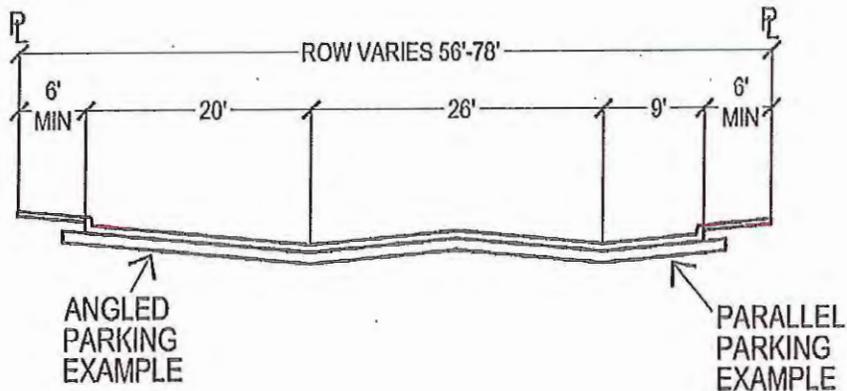
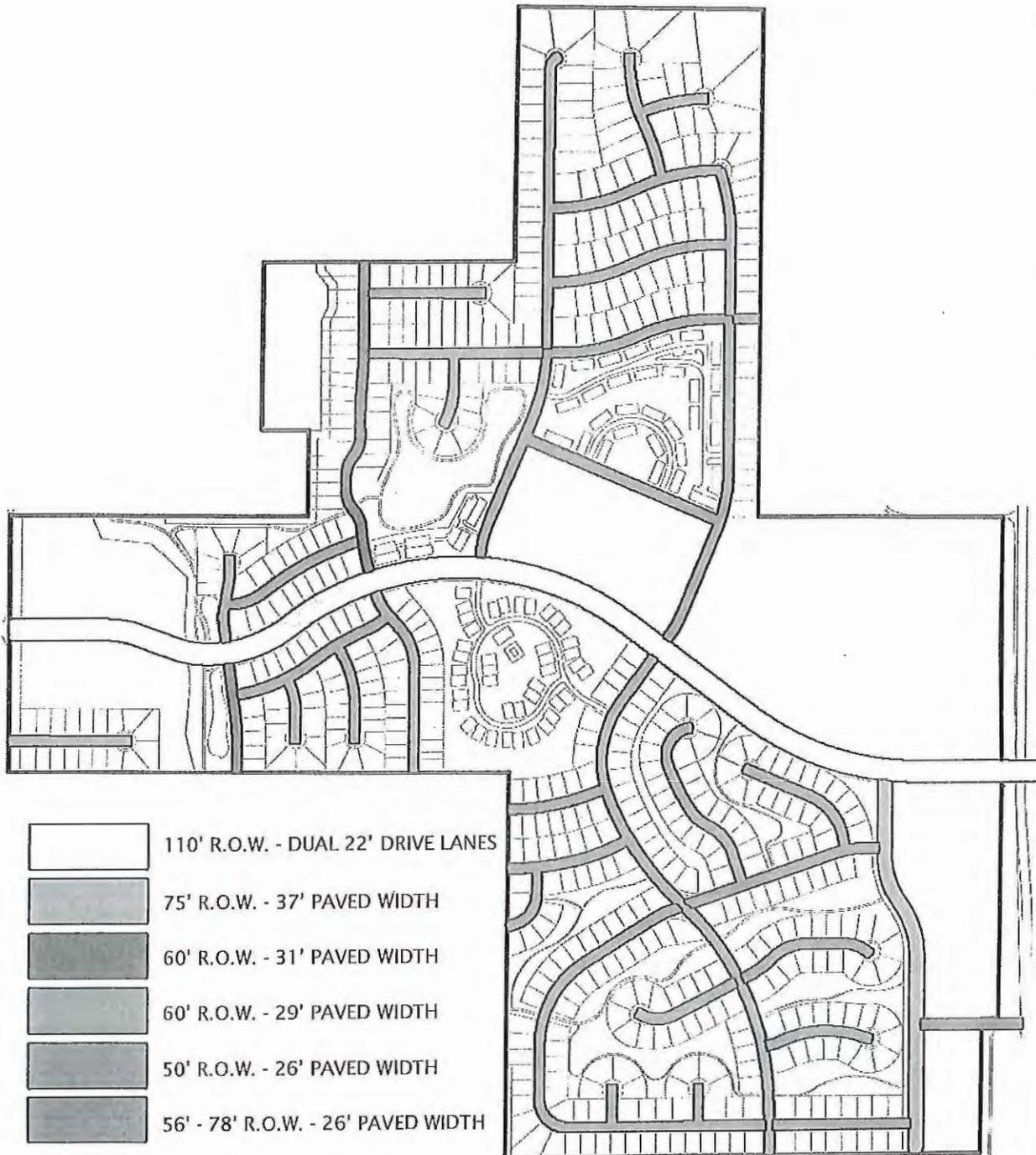


FIGURE 4.6: PURPLE CENTERLINE IN FIGURE 4.7



**INTENT**

These guidelines are meant to establish a palette of materials and design standards from which all architectural elements within Heritage at Grimes will draw. They are not intended to discourage creative solutions, rather to allow as much creativity as possible within set parameters so as to create buildings which are unique, yet similarly themed to the overall development. In this manner, Heritage will stand apart from other projects in overall form.

**CHARACTER**

Overall architectural character is intended to meet criteria for a 'Traditional' design. While this is a fairly open interpretation of style, the intent is to specifically discourage modern style of architecture characterized by minimal 'cube' structures and plain lines. It also discourages highly stylized architecture with a more Baroque or Victorian character. Instead, the overall theme for the architecture within Heritage at Grimes will invoke more of the Craftsman and some Prairie Style of design. Flat roof buildings are discouraged in favor of hip roof elements. Flat roofs can be allowed by the review committee as long as they do not make up the majority of the roof line and the rest of the building meets the desired Traditional styling.

Architectural character is intended to carry over to all aspects of building construction throughout Heritage at Grimes. This specifically includes single family residential structures as well as all commercial and multi-family buildings. To some extent, the first buildings constructed within Heritage will set the example for the rest of the development. It will be critically important through the review and approval process for the first few projects to tie down materials, details, and general site layouts.

In addition to materials and style, architectural color will be similarly reviewed and approved. Allowable colors for any of the accepted materials should be primarily earth tones, followed by neutral colors, and a small percentage of primary colors as accents. Painting natural materials such as stone and brick will not be acceptable. Colored concrete may be allowed under some circumstances and the color pigment must be integral to the concrete. No surface treatments will be allowed.

**GENERAL GUIDELINES:**

The following materials are considered acceptable for inclusion within architectural features in the Heritage at Grimes development. Additional materials not shown on this list may be submitted for approval as appropriate to the architectural character of the building.

- **Brick:** encouraged as a primary element in most architectural elements, red and dark earth tones preferred
- **Natural Stone:** limestone, 'Iowa Buff' or similar colors
- **Metals:** pre-finished panels and or weathering steel
- **EFIS:** allowed as accent or portion of wall face - must be specifically approved by H.R.C. for inclusion
- **Glass:** mirrored glass and highly reflective panels are not allowed. Clear and/or tinted glass is acceptable.
- **Shingles:** heavy asphalt shingles are allowed, dark colors and dark earth tones are preferred.
- **Standing Seam:** shingles are preferred, but standing seam roofs can be allowed by review committee, earth tones and neutral colors preferred.
- **Wood Shake and Slate:** allowed as an alternate to Shingles - similar color to shingles.
- **"Hardie- Plank":** or similar siding material primarily for residential construction.
- **Vinyl Siding:** allowed ONLY in Area B of Figure 3.1.

Primary materials for all buildings other than Single Family Residential homes shall consist of a combination of brick, textured concrete block, architectural wall panels, architectural steel panels, or natural stone. A minimum of 75% of sides of the building shall consist of these primary materials - the remaining exterior portions will be considered trim (components which if removed from the facade would not significantly alter the appearance of the building). The maximum amount of trim on a given wall area shall not exceed 25% of the wall area.



In order to gain a greater energy efficiency within the Heritage at Grimes project, passive energy saving techniques and elements such as awnings, overhangs, and other shading material are encouraged. Skylighting is encouraged where reasonable in order to lessen the need for powered lighting within buildings. Alternative roofing considerations such as light colored membranes and green (vegetative) roofs are encouraged.

In order to maintain a pedestrian quality to them, buildings should incorporate all or some of the following recommendations:

- Varying wall materials, textures, and colors to break up lengthy walls
- Incorporate projecting building elements such as overhangs and shading devices.
- Varying roof heights and shapes
- Varying parapet heights and shapes (when used)

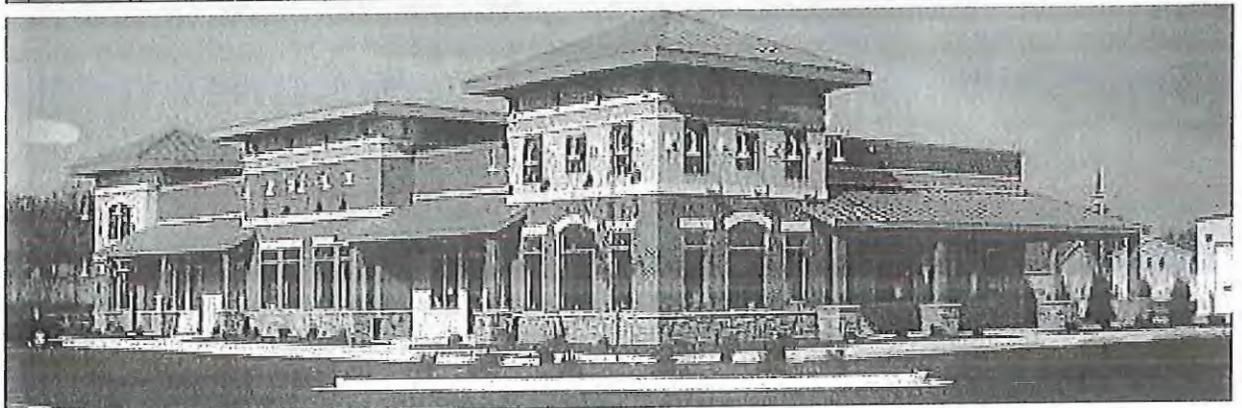
Any accessory structure, such as trash enclosures, must also be constructed of the same materials as the main building which it serves. Exterior walls should be constructed of a solid, durable block material. Access gates should be of similar design aesthetic as the main building and provide 100% screening of the interior of the enclosure. Chain link gates with screening is specifically not allowed. Wood fencing is also specifically not allowed because of potential for damage and wear. Gates should, at a minimum, feature a solid fencing material such as Trex, or similar recycled plastic material that matches the architectural detail of the building.

# HERITAGE AT GRIMES - GUIDELINES FOR DESIGN

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ARCHITECTURE



Examples of single story architecture characterized by brick facade, hip roofs, projecting accent lights, awnings, and general earth tone colors.





Two story architecture examples. Each building and/or tenant has a clearly defined entrance.

## HERITAGE AT GRIMES - GUIDELINES FOR DESIGN

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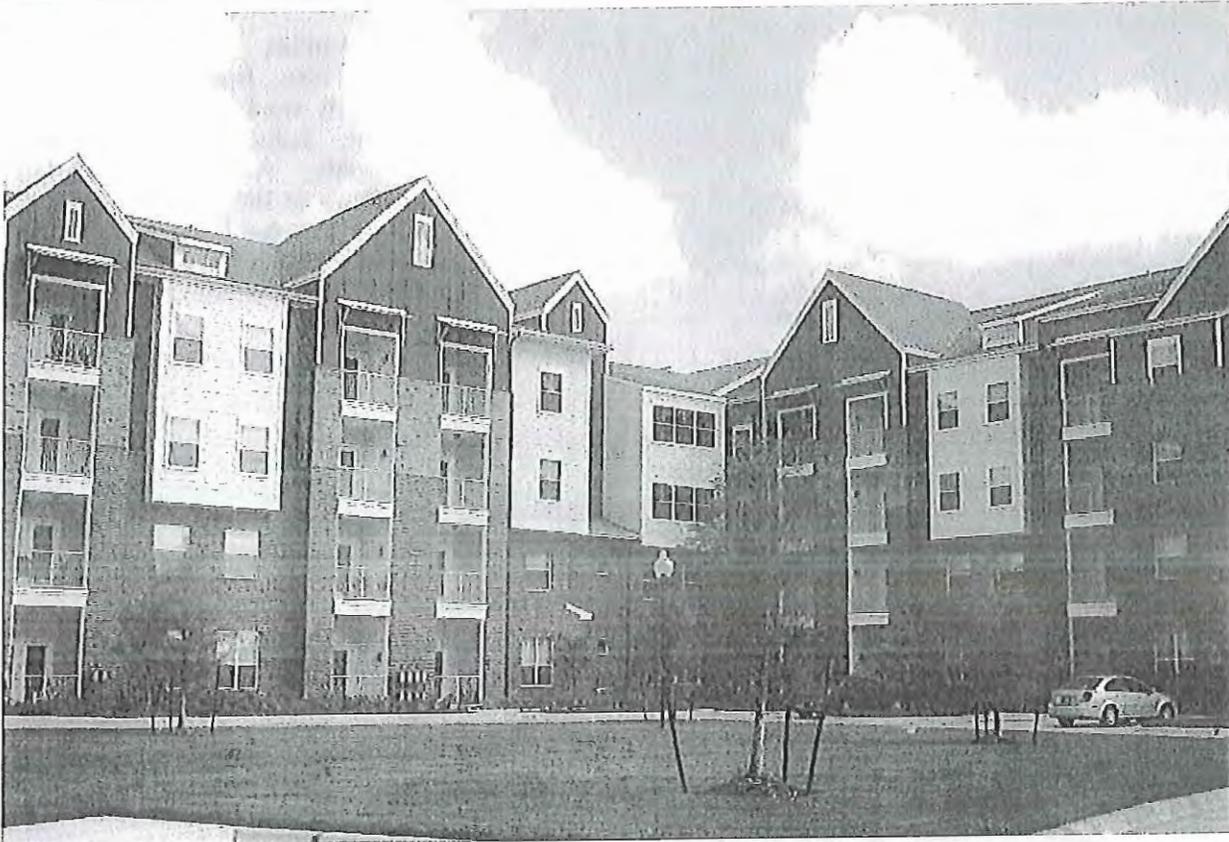
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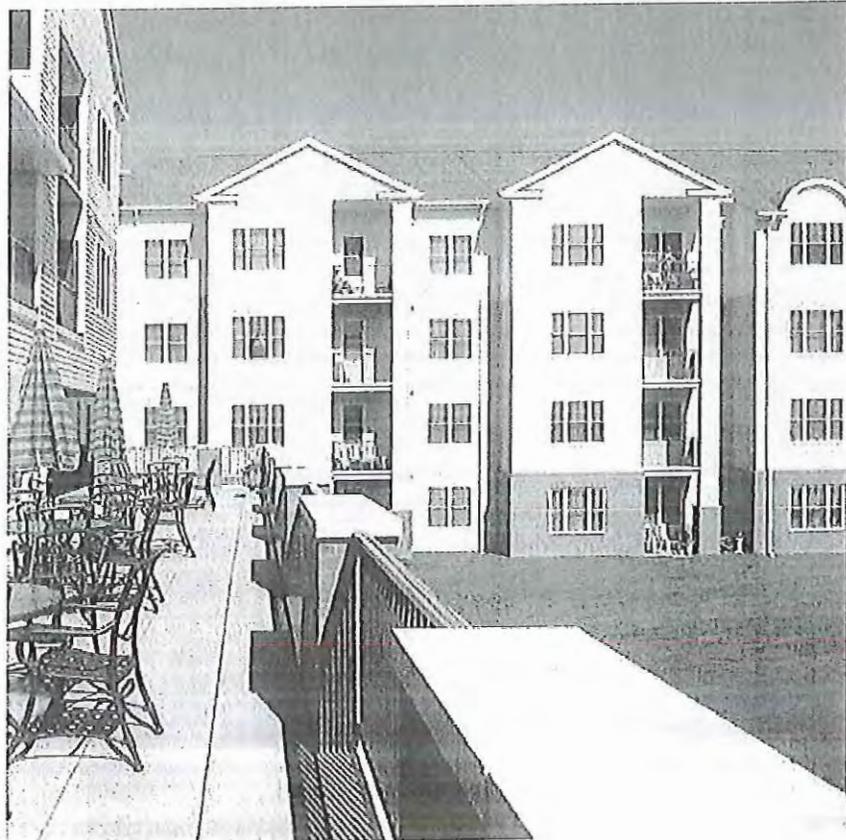


Examples of three story architecture. Note continued use of earth tone colors, matching accent colors, and durable materials. A strong pedestrian presence at the main entrance is strongly encouraged in order to better create a sense of entry and arrival at the buildings.





Example of four story residential structure. Four story buildings are allowed, but only with specific approval of the City of Grimes and the Heritage Review Committee. This sample building features a walk-out rear so only appears as three stories on as seen from the road.





Example of mixed-use commercial and multi-family units. With residential components, it is significantly more important to engage the streetscape with the building in order to create a dynamic pedestrian theme. Developments are highly encouraged to create pedestrian spaces throughout the street front that allow for small gatherings, sitting areas, shade, and a well lit sidewalk. Safety and security is vitally important and must be reflected in the final design.



Examples of single family residential homes. While the exact definition of a 'traditional' style can be somewhat loose in interpretation, here it's intended to roughly define homes with design elements including hip roofs, front porches, two car (minimum) garage stalls, and durable materials (as outlined in general guidelines). Any accessory structure must be built in the same style as the primary structure with similar materials and colors.



Storm water management throughout the development is included in common areas wherever possible. This includes a pond just west of the Town Center section and detention basins placed in green space throughout the southern portion of the project. Eventually, all storm water run-off makes its way west and empties into Little Beaver Creek. The intent of the storm water management plan is to slow runoff, allow as much infiltration as is reasonable, and minimize downstream impacts. Commercial development will be responsible for its own storm water detention before allowing it to move off site.

Best Management Practices (BMP) for slowing down the runoff throughout the site are to be

implemented. In the southern sections of Heritage, runoff will flow into green space between the residential lots. These areas will be maintained as a combination of native prairie vegetation and mown open spaces. Installation of native plants will significantly slow down runoff, will filter pollutants and soil out of the water, and will result in decreased runoff flowing into Little Beaver Creek.

No basements will be allowed on structures within the 100 year floodplain. All homes that back up to the 100 year floodplain shall have a minimum open elevation at least two feet above the 100 year flood stage.

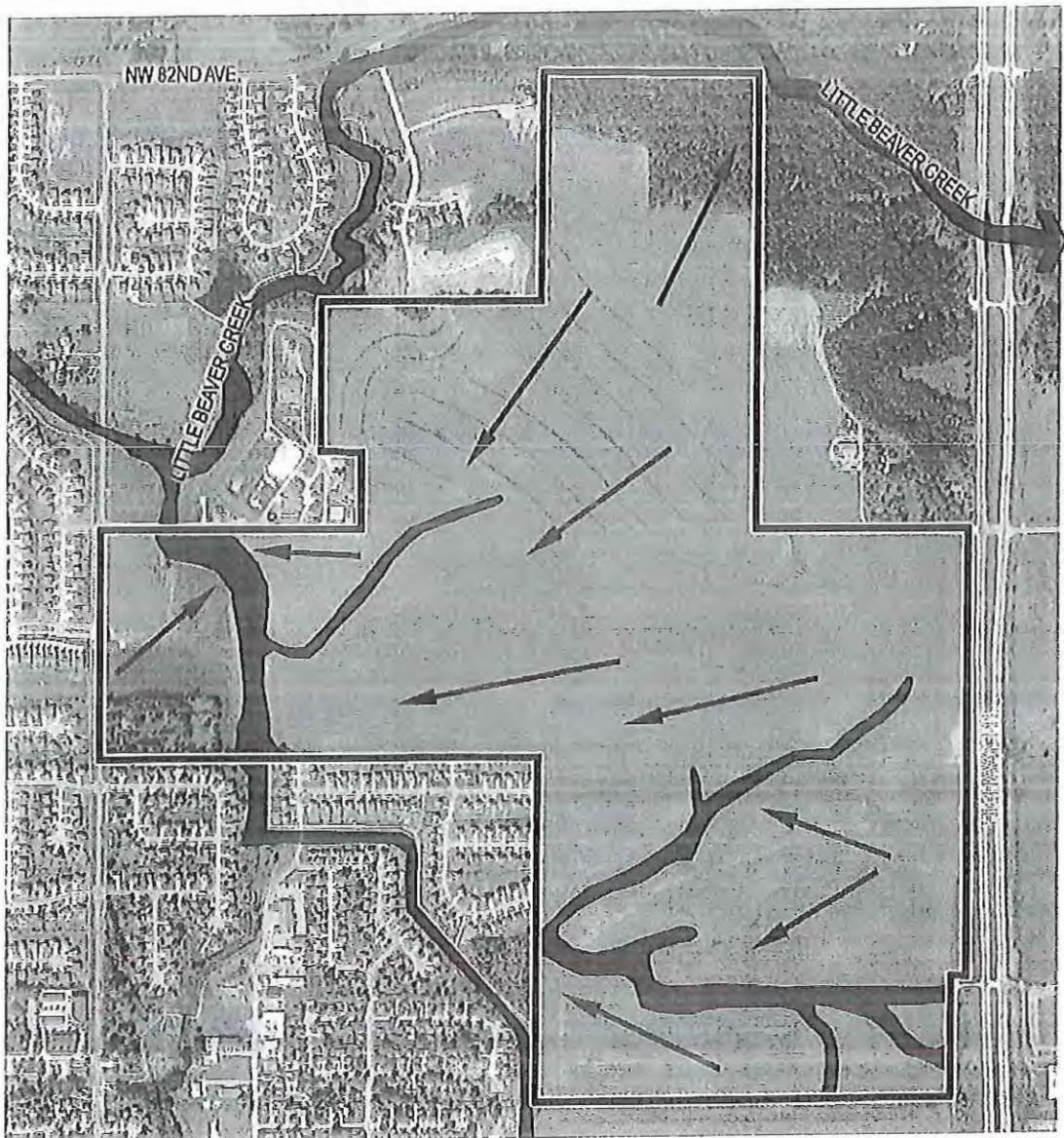


FIGURE 6-1: EXISTING SITE DRAINAGE AREAS

The pond shown to the west of the Town Center will feature a sedimentation basin. By trapping sediment in this section it greatly diminishes the amount of soil run-off that makes its way into Little Beaver Creek. As the overall development becomes more established and construction in the watershed is completed, maintenance needs in the basin will be significantly decreased.

water treatment facility. As the water moves through the detention basins, native plants will slow the water down and allow more infiltration and cleaning before the water arrives at Little Beaver Creek. Maintenance of the detention basins should be limited mostly to trimming and care for the native plants.

Outflow from the pond will travel under Park Drive and into an open detention swale along the north boundary line adjacent to the City waste

All stormwater and stormwater quality will be designed according to City of Grimes standards.

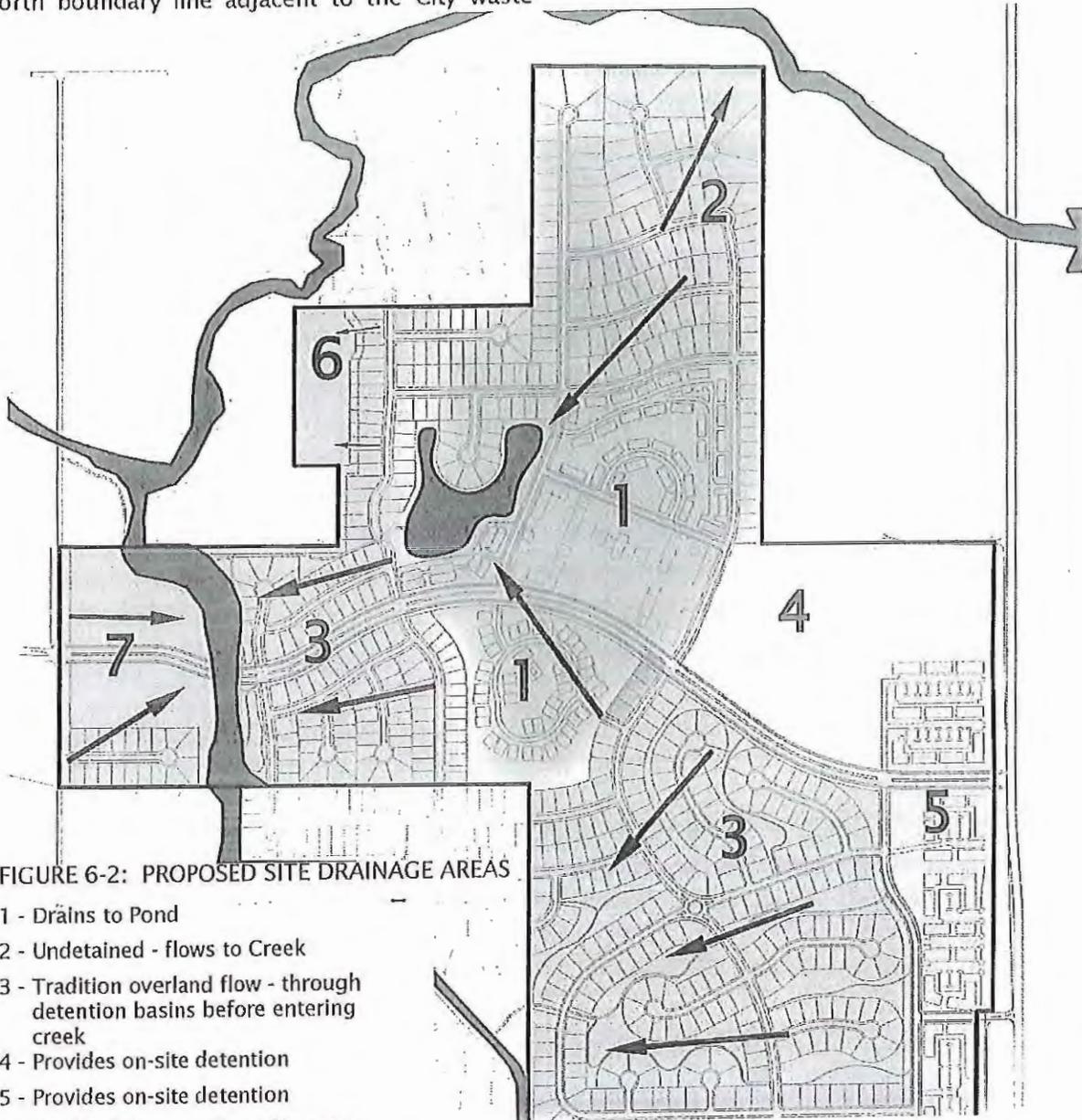


FIGURE 6-2: PROPOSED SITE DRAINAGE AREAS

- 1 - Drains to Pond
- 2 - Undetained - flows to Creek
- 3 - Tradition overland flow - through detention basins before entering creek
- 4 - Provides on-site detention
- 5 - Provides on-site detention
- 6 - Residential properties adjacent to WTP are undetained
- 7 - Detained in basins before releasing to creek

# HERITAGE AT GRIMES - GUIDELINES FOR DESIGN

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A common, defining theme throughout Heritage at Grimes will bring a greater level of cohesiveness and identity. This unique framework will not only define Heritage, but the City of Grimes as well. Artistic markers spaced along NE Beaverbrooke Boulevard will be repeated in smaller scale along other roads and at selected intersections. A clock tower is proposed to be located in Heritage Commons Park. A similar theme is to be carried throughout Heritage.

Artistic elements, more so than any other theme, can easily define an area and an identity. These elements will tie into the major entry features

located at the intersection of NW Beaverbrooke Boulevard and NW Gateway Drive as well as any smaller entry features at NW Beaverbrooke Boulevard and James Street which may be included. Materials for these elements must be durable, traditional in nature, and easily obtained. Setting a standard entry feature in Heritage is critical to developing its sense of identity and community.

Ideal materials include: Limestone (buff colored), Cor-Ten Steel, Punched Stainless Steel, Plastic Composite Wood Substitutes (Trex, etc) Colored Concrete.

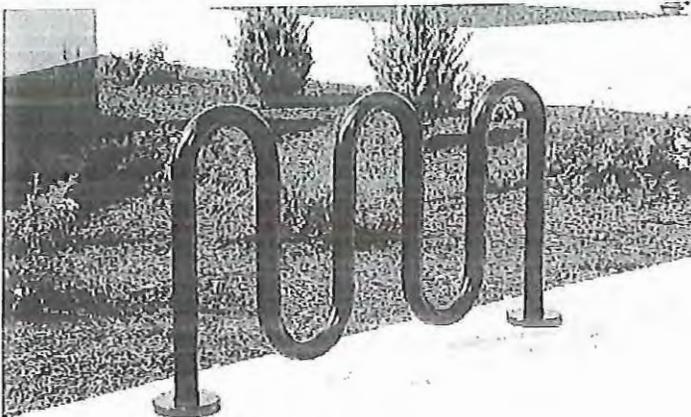
Typical Bench - DuMOR 141



Trash Receptacles - DuMOR 158



Bicycle Racks - DuMOR 125-30

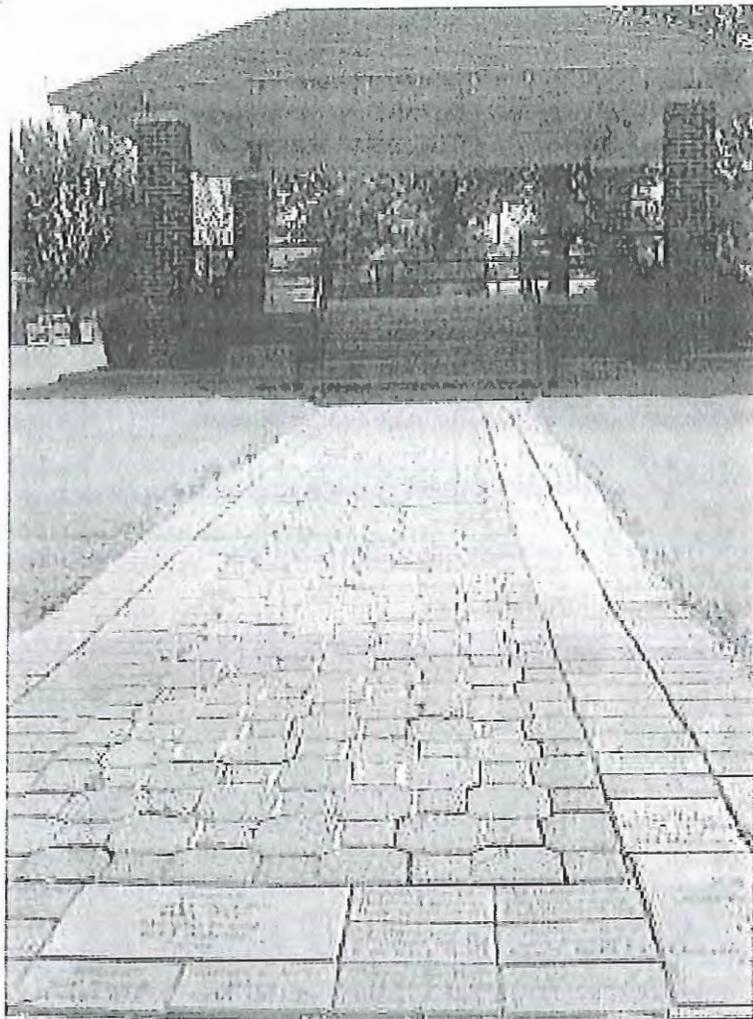


Optional Concrete Pavers



In areas meant as gathering spaces, pedestrian walkways, and entries, special attention to paving surfaces is encouraged. The use of concrete modular paving units, as opposed to typical concrete, creates a more inviting and comfortable space. Paver patterns can incorporate separate paver types within the design to reduce the appearance of the overall size of the hard surface.

Paving types are especially important to consider in the Town Center portion of the development where it's anticipated to have large number of pedestrians. Earth tone pavers paired with brick architectural elements help tie the vertical nature of the structures to the ground. Effective planting beds along paved surface edges give an even more intimate feel to a space than mown lawn and should be considered wherever feasible.



## HERITAGE AT GRIMES - GUIDELINES FOR DESIGN

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The only specifically developed park within Heritage at Grimes is Heritage Commons Park. This park is proposed to feature open lawn areas, a sculptural component (Clock Tower) and direct connections to the adjacent commercial businesses and/or municipal buildings. This park is envisioned as a place for not just the Heritage residents, but for the entire City of Grimes and can serve as a gathering place for civic events such as a farmer's market, July 4th celebrations, etc.

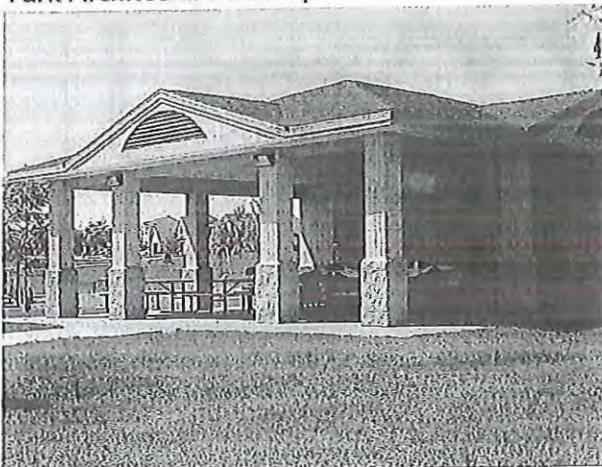
Park structures will be tied to Architectural guidelines in order to maintain the theme throughout. Natural elements such as timber, native limestone, and earth tone colors are encouraged throughout the buildings and the site. Plantings should focus on native plants and drought tolerant species. As outlined in the Landscape guidelines, reduction in maintenance costs and elimination of invasive plant species should drive the design decisions throughout the park. As a central element to Heritage at Grimes, it's imperative that the design fundamentals here set the tone for the rest of the project.

Green spaces are scattered throughout Heritage at Grimes. In the residential area they are primarily south of NE Beaverbrooke Boulevard and west of the town center area. These green spaces are a combination of open mown turf grass areas as well as storm water detention basins. They allow for residents to have larger areas for play, gathering, and outdoor activities. These spaces are considered 'pocket parks', but are not intended to be signed as typical park

ground. Delineation between the green spaces and residential properties will be through the use of decorative fencing, as required in section 3.

Connections to a larger trail system outside Heritage at Grimes as well as interconnection of the various uses in the development are critical. An existing bike trail enters Heritage at the southwest corner of the property to the north of Lions Park. A spur trail will allow riders and pedestrians access through Heritage by way of the open spaces and through to the commercial district along Highway 141. Farther north the trail again intersects Heritage at the extension of NE Main Street. The trail will continue north along the edge of the Little Beaver Creek floodway, under NE Beaverbrooke Boulevard, and eventually on north. A switchback on the north side of NE Beaverbrooke Boulevard will allow the option of traveling up to the street and continuing east or west along a similarly sized trail. Smaller trails throughout the open spaces connect to the proposed sidewalks throughout the development allowing for a wide variety of trails and experiences throughout.

Park Architecture Concept



Clock Tower Concept



Dash green lines indicate 10' wide trails.

Solid green lines indicate 6' wide trails.

All trails will have a minimum 24h" mown shoulder on each side.

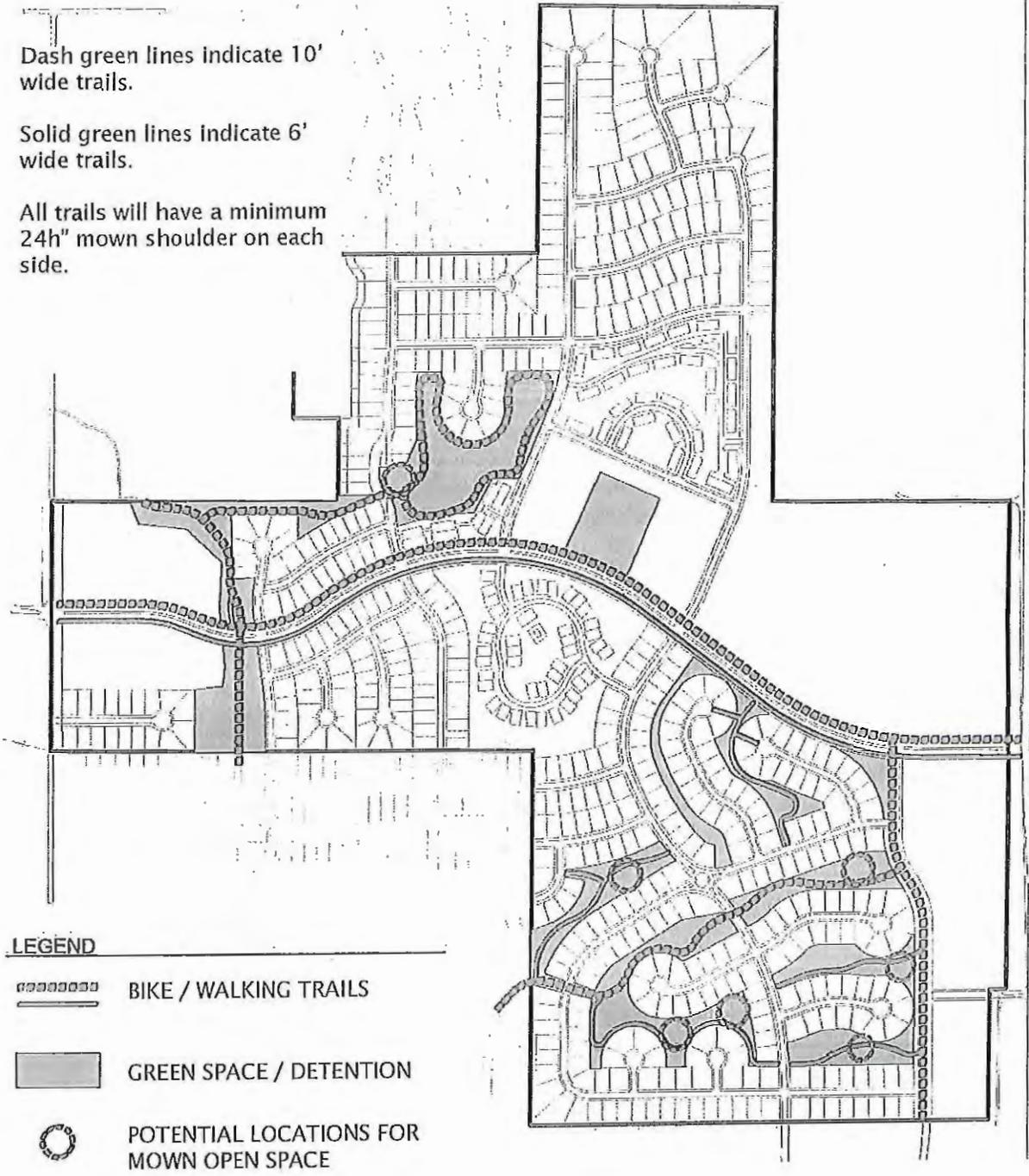


FIGURE 8.1: Showing the schematic concept for green space and mown park areas. Subject to change based on final engineering of detention requirements and layout.

Landscape standards for Heritage are intended to help in the creation of an overall theme for streets, municipal buildings, and residential / commercial development. The base recommendations are a minimum requirement and efforts should be made to increase the overall level of landscape installation throughout. Numerous areas of significant vigorous vegetation help break up large open areas and give the impression of a more pedestrian friendly environment which can help slow and direct vehicular traffic. They can also provide valuable cooling opportunities during warmer summer months and help reduce effects of winter winds by acting as natural wind breaks. The use of native, drought tolerant plant materials is encouraged throughout Heritage. High maintenance annuals and plants needing significant watering after installation are also discouraged. Proposals involving large annual planting beds will be considered with proof of an adequate long term maintenance plan

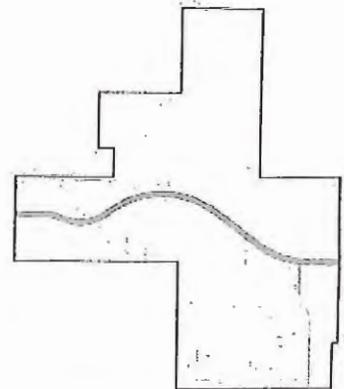
Native plants are encouraged over the use of typical nursery devired varieties. Because of their natural drought tolerance, native plantings help reduce the overall need for long term watering and maintenance. Hybridized versions of native plants are an excellent alternative when the native variety might have too much of a 'wild' look.

Diversity of plantings is also strongly encouraged instead of mass monoculture plantings. As seen with the Emerald Ash Borer and several plant diseases, it's preferred to have a large mix of plants. This way if something effects a certain species of plant it doesn't effect the entire landscape.

Irrigation systems are discouraged for shrub and perennial planting beds. Systems installed for turf areas should implement water saving features as much as possible in order to reduce overall consumption. Hybrid and native turf varieties are strongly encouraged as an alternate to typical bluegrass sod.

NE BEAVERBROOKE BOULEVARD

Landscaping along NE Beaverbrooke Boulevard shall incorporate large overstory trees throughout its length. Recommend installation of one (1) Overstory Tree every 50' (approximate - as design allows) along both sides of the road. Refer to the list of recommended tree species in Figure 9.1. Due to potential loss of tree canopy from disease and pests, it is recommended that the street tree plantings be a combination of diverse species. Plans should incorporate an alternating sequence of varying species throughout, allowing for minimal impact should one particular species die out. No more than 5 trees of one particular species are recommended in a single group. Additional Overstory trees beyond the minimum are encouraged where possible, however, no Evergreen trees are permitted anywhere within a street R.O.W.



Planting of the median should also include a diverse mix of plants. A design standard of twelve (12) shrubs for every 100 LF of roadway is required. Refer to the list of recommended species in Figure 9.1. Consideration will be given for substitution of Ornamental Grasses and Native Prairie Plants on a basis of 2 Grasses / Prairie Plants per required Shrub. In the case of sections of NE Beaverbrooke Boulevard having only 1 lane in each direction, shrubs should be positioned in beds which would allow for the eventual full build out of a 4 lane road without removal of the shrub beds. All planting must be kept a minimum of 36" from the back of curb at time of planting to allow for growth without interfering with travel lanes.

Long term maintenance of all landscaped elements is critical to the success of Heritage at Grimes. Dead plant materials installed as part of an approved plan must be replaced according to size and species. In the case of infectious plant diseases, a substitute species may be installed as approved by the H.R.C.

Landscape plants on private lots are the responsibility of the owner of said lot. Long term maintenance of plantings in R.O.W., Parks, and other Public Spaces become the responsibility of the City of Grimes after installation.

## COMMERCIAL AND HIGH DENSITY RESIDENTIAL PROPERTIES

Large scale development sites within Heritage are just as important, if not more so, than NE Beaverbrooke Boulevard in terms of landscaping. They make up the primary view into the development from Highway 141 and are the gateway through which much of the development is accessed. Required landscaping shall be based on calculations of required open space per site.

Every Commercial property within Heritage shall set aside Open Space within its boundaries as outlined in Figure 3.2 Bulk Regulations. Open

Space calculations do not include any portion of the property covered by a permanent structure, parking lot, or drive aisle. Sidewalks can be considered as part of open space so long as vehicular travel (other than emergency vehicles) is not allowed. Sites are allowed to, and encouraged to, have greater than the required open space, however landscape minimums are based only on the required Open Space

**Minimum Landscape Requirements (Open Space)**

- 2 Overstory Trees (2.5" caliper or larger) per 3,000 SF of required Open Space
- 1 Understory Tree (1.5" caliper or larger) per 3,000 SF of required Open Space
- 1 Evergreen Tree (6' height or larger) per 6,000 SF of required Open Space
- 6 Shrubs (#5 or larger) per 3,000 SF of required Open Space

**Minimum Landscape Requirements (Street Frontage Planting & Landscape Buffers)**

- Landscape Buffers shall be placed between any Commercial or High Density Residential property and adjacent Single Family Residential
  - 1 Overstory Trees (2.5" caliper or larger) per 50 LF of Street Frontage or Buffer
  - 2 Understory Trees (1.5" caliper or larger) per 50 LF of Street Frontage or Buffer
  - 5 shrubs (#5 or larger) per 50 LF of Street Frontage or Buffer

**Minimum Landscape Requirements (Parking Lot Plantings)**

Vegetation in off street parking areas aides in breaking up large open areas of pavement and helps reduce overall negative environmental impacts on the property. All off street parking areas shall be screened from view of public rights of way. Plantings shall be a minimum of 36 inches high and provide year round screening. Perennial plants and ornamental grasses may be used in addition to shrubs, but not as the primary screening element. The following requirements will apply to all off-street parking lots within Heritage:

1. Landscaped islands throughout the parking lot are required to help break up the overall expanse of pavement. Islands should be effectively placed to allow access for emergency vehicles.
2. Landscaped islands shall be placed, at a minimum, every twelve (12) stalls within a row of parking. Landscaped islands shall be equal to or larger than a standard parking stall within the lot.
3. 'Tree Diamonds' are not allowed as acceptable parking lot planting islands.
4. The minimum planting requirement for off street parking areas are as follows:
  - a. 2 Overstory trees in each landscaped island equal to 2 parking stalls.
  - b. 1 Overstory tree in each landscaped island equal to 1 parking stall.
  - c. 12 Shrubs (#5 or larger) in each landscaped island equal to 2 parking stalls.
  - d. 6 Shrubs (#5 or larger) in each landscaped island equal to 1 parking stalls.
  - e. All landscaping required in off street parking shall be in addition to any requirements for open space.

FIGURE 9.1  
RECOMMENDED PLANT SPECIES

OVERSTORY TREES

Northern Red Oak	<i>Quercus rubra</i>
White Oak	<i>Quercus alba</i>
Bur Oak	<i>Quercus macrocarpa</i>
Hackberry	<i>Celtis occidentalis</i>
Skyline Honeylocust	<i>Gleditsia triacanthos inermis</i> 'Skyline'
Marmo Maple	<i>Acer freemani</i> 'Marmo'
State Street Maple	<i>Acer miyabei</i> 'Morton'
Green Column Black Maple	<i>Acer nigrum</i> 'Greencolumn'
Tulip Tree	<i>Liriodendron tulipifera</i>
Swamp White Oak	<i>Quercus bicolor</i>
Princeton American Elm	<i>Ulmus americana</i> 'Princeton'
Pioneer Elm	<i>Ulmus americana</i> 'Pioneer'

ORNAMENTAL TREES

Autumn Brilliance Serviceberry	<i>Amelanchier grandiflora</i> 'Autumn Brilliance'
Shadblow Serviceberry	<i>Amelanchier canadensis</i>
Pagoda Dogwood	<i>Cornus alternifolia</i>
American Hophornbeam	<i>Carpinus caroliniana</i>
Winter King Hawthorn	<i>Crataegus viridis</i> 'Winter King'
Crabapple Varieties (Fruitless)	<i>Malus x.</i>
Nannyberry Viburnum	<i>Viburnum lentago</i>

EVERGREEN TREES  
(NOT ACCEPTABLE WITHIN STREET R.O.W.)

Colorado Spruce	<i>Picea pungens</i>
Black Hills Spruce	<i>Picea glauca</i> 'densata'
Norway Spruce	<i>Picea abies</i>
Eastern White Pine	<i>Pinus strobus</i>
Douglas Fir	<i>Pseudotsuga menziesii</i>
European Larch	<i>Larix decidua</i>

DECIDUOUS SHRUBS

Black Chokeberry	<i>Aronia melanocarpa</i>
Issai Beautyberry	<i>Callicarpa dichotoma</i> 'Issai'
American Hazelnut	<i>Corylus americana</i>
Hydrangea Varieties	<i>Hydrangea sp.</i>
Ninebark Varieties	<i>Physocarpus opulifolius</i>
Grow Lot Sumac	<i>Rhus aromatica</i> 'Grow low'
Fragrant Sumac	<i>Rhus aromatica</i>
Smooth Sumac	<i>Rhus glabra</i>
Knockout Rose (And Similar)	<i>Rosa</i> 'Radrazz'
Nishiki Willow	<i>Salix integra</i> 'Hakura Nishiki'
Dwarf Korean Lilac	<i>Syringa meyeri</i> 'Palabin'
Miss Kim Lilac	<i>Syringa patula</i> 'Miss Kim'
Viburnum - All Varieties	<i>Viburnum sp.</i>

FIGURE 9.1 (CONTINUED)  
RECOMMENDED PLANT SPECIES

EVERGREEN SHRUBS

Green Mountain Boxwood	<i>Buxus sempervirens</i> 'Green Mountain'
Chicagoland Green Boxwood	<i>Buxus sempervirens</i> 'Glencoe'
Juniper Varieties	<i>Juniperus</i> sp.
Yew Varieties	<i>Taxus media</i>

PERENNIALS

Designs where perennials are incorporated should focus on plants native to the state of Iowa and highly drought tolerant. Examples include Purple Coneflower, Asters, Black-Eyed Susan, etc. Use of hybridized trade plants such as Daylily, Sedums, etc. is discouraged, but can be used in limited beds. Planting plans will be reviewed as part of the site plan submittal.

GRASSES

Similar to perennials, the use of native grass species is encouraged throughout the heritage development. Examples include Little Bluestem, Prairie Dropseed, and Switchgrass. Additional trade species that would be considered acceptable include Calamagrostis and Miscanthus varieties.

SEED MIXES

Seed mixes to be installed throughout the heritage development are to be site specific native prairie plantings. Wet detention basins will be seeded with an appropriate mix of flood tolerant perennials and grasses. Open areas not intended to be mown or as detention basins will be seeded with a mix of tall grass prairie and native perennials.

Recognizing that there is a wide range of plant materials available and acceptable for use in Residential and Commercial Landscaping, the inclusion of plants not specifically listed here is allowed pending review and approval of the H.R.C. Designers are specifically encouraged, whenever possible, to utilize native plants and native derived trade plants which are capable of withstanding local environmental factors without dependency on irrigation, fertilization, and special protective measures.

## HERITAGE AT GRIMES - GUIDELINES FOR DESIGN

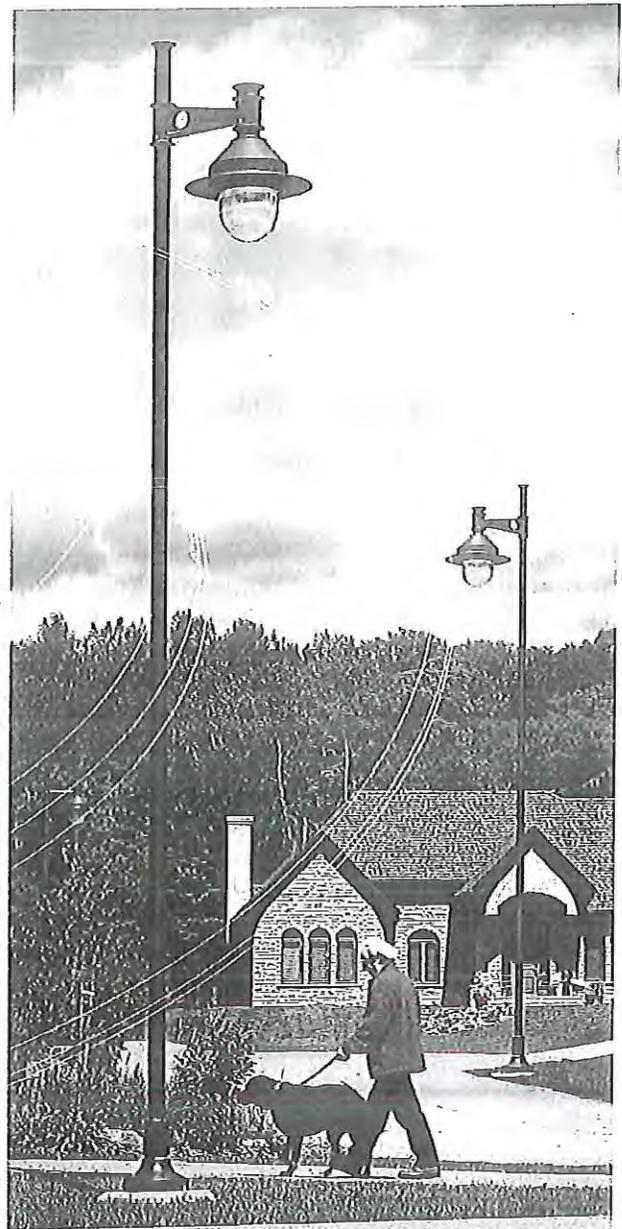
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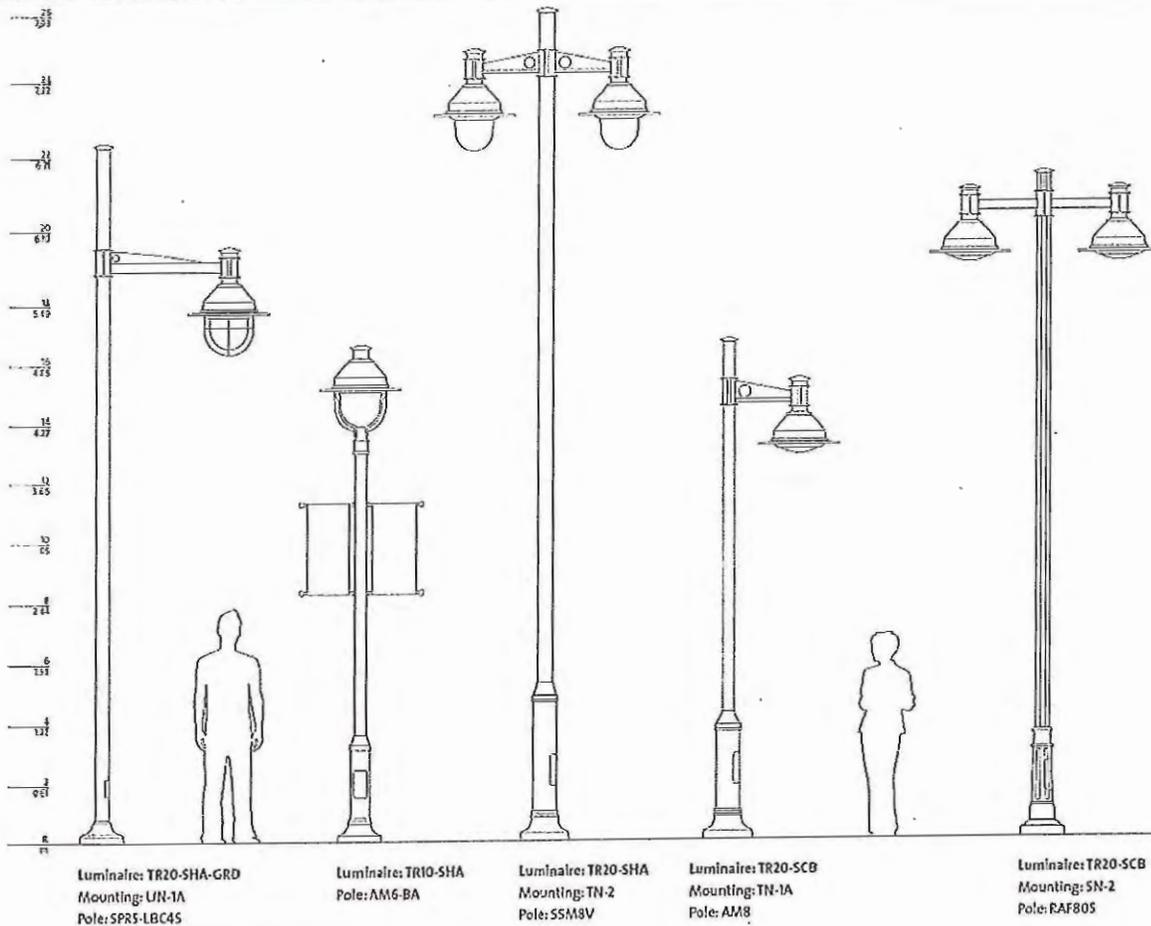
Lighting fixtures throughout Heritage should be similar in style, type, and performance. Roadway lights will be the dominant fixture in the beginning and will set the overall theme for the rest of the development. In order to meet the goal of a safe, secure, and pedestrian friendly environment, every effort must be made to have proper lighting levels throughout Heritage.

To help lessen the effect of urban light pollution from the development, all fixtures must be full cut off types with no light projecting towards the sky. It is recommended, but not required that fixtures utilize LED technology in order to reduce energy consumption and to prolong the lifespan of the fixture. Metal halide fixtures will also be considered, however no Sodium Vapor fixtures will be allowed under any circumstances. 'Wall pack' lights on buildings are discouraged, but may be allowed in certain circumstances if the fixture fits the architectural theme and is a full cut off style fixture.

Lighting fixtures proposed for Commercial and Residential areas must match or be substantially similar to the lights selected for NE Beaverbrooke Boulevard. While it's understood that one fixture will not be used throughout the entire development, selected fixtures must be in the same general style, color, and lighting temperature.

While every effort will be made to reduce the overall amount of lighting throughout Heritage, safety of pedestrians and vehicular traffic will be the primary factor in design.

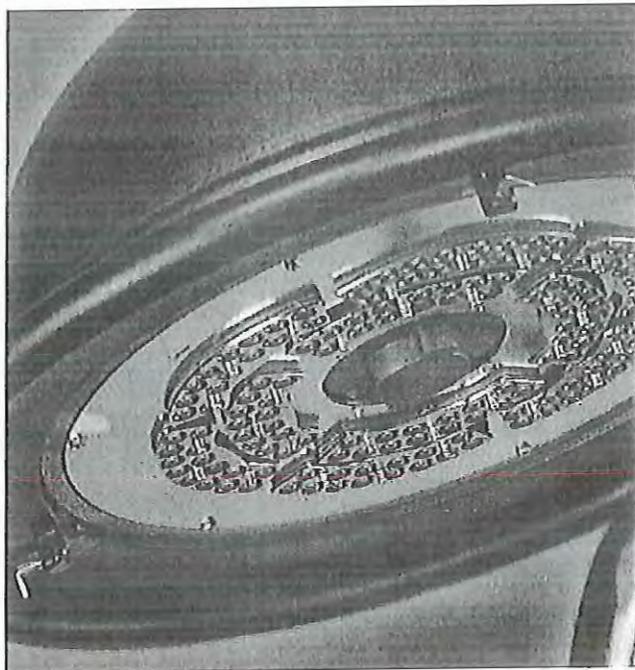




LUMEC 'TRANSIT' SERIES EXAMPLE ASSEMBLIES

Significant gains have been made recently in the development and implementation of LED technology for roadway and parking lot lighting. Reduced energy consumption, lower maintenance costs, more even lighting capabilities, and reduced possibility of outages make LED fixtures a superior product for most situations. The LED assembly shown here is an 'Omega' fixture from Sternberg Lighting.

As with Architectural styles, lighting will be reviewed as part of any project submittal by the City of Grimes and the Heritage Review Committee.



## HERITAGE AT GRIMES - GUIDELINES FOR DESIGN

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Signage, like landscaping, helps set the tone and theme for any project. All signage within the Heritage at Grimes project will be subject to the City of Grimes Zoning Ordinance, Chapter 165.18 for size, setback, and height requirements. Special attention will be given during the review process to ensure all project signage meets Architectural standards for Heritage.

The use of natural elements in the construction of monument signage is strongly encouraged. Unique designs will be encouraged, but they still must generally match other signs in the area. Final review and approval will be given through the City of Grimes and the Heritage Review Committee.

Typical materials include:

Limestone: 'Iowa Buff' colored stone from Weber Stone Company, or similar

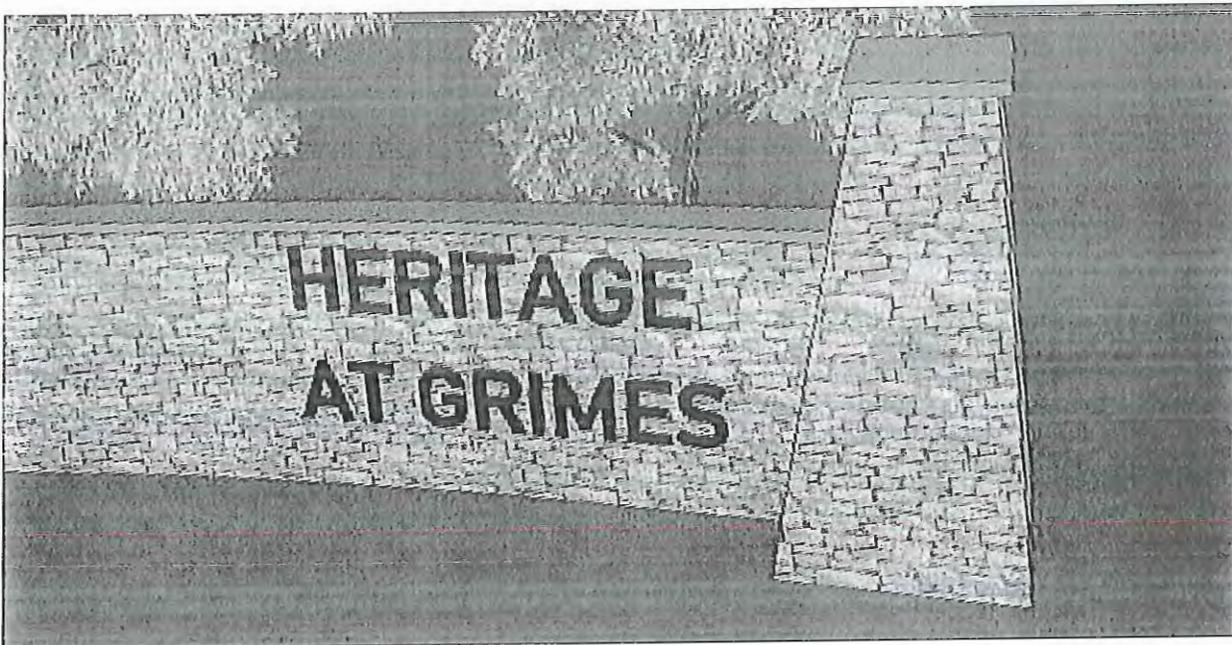
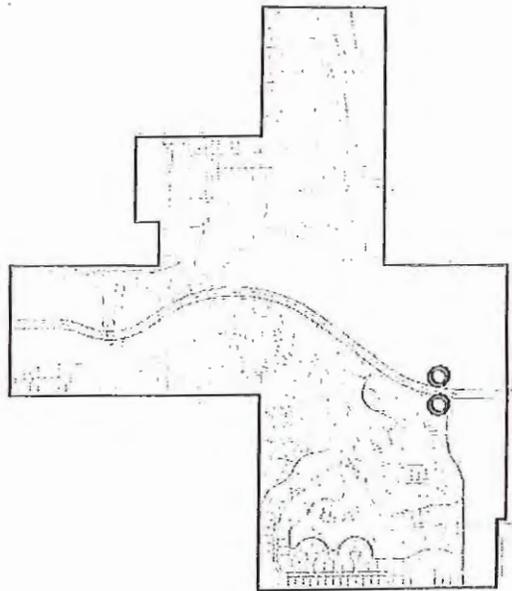
Concrete: Precast pillar caps and wall caps

Metal Sign and/or Lettering: To best match architectural elements of related buildings

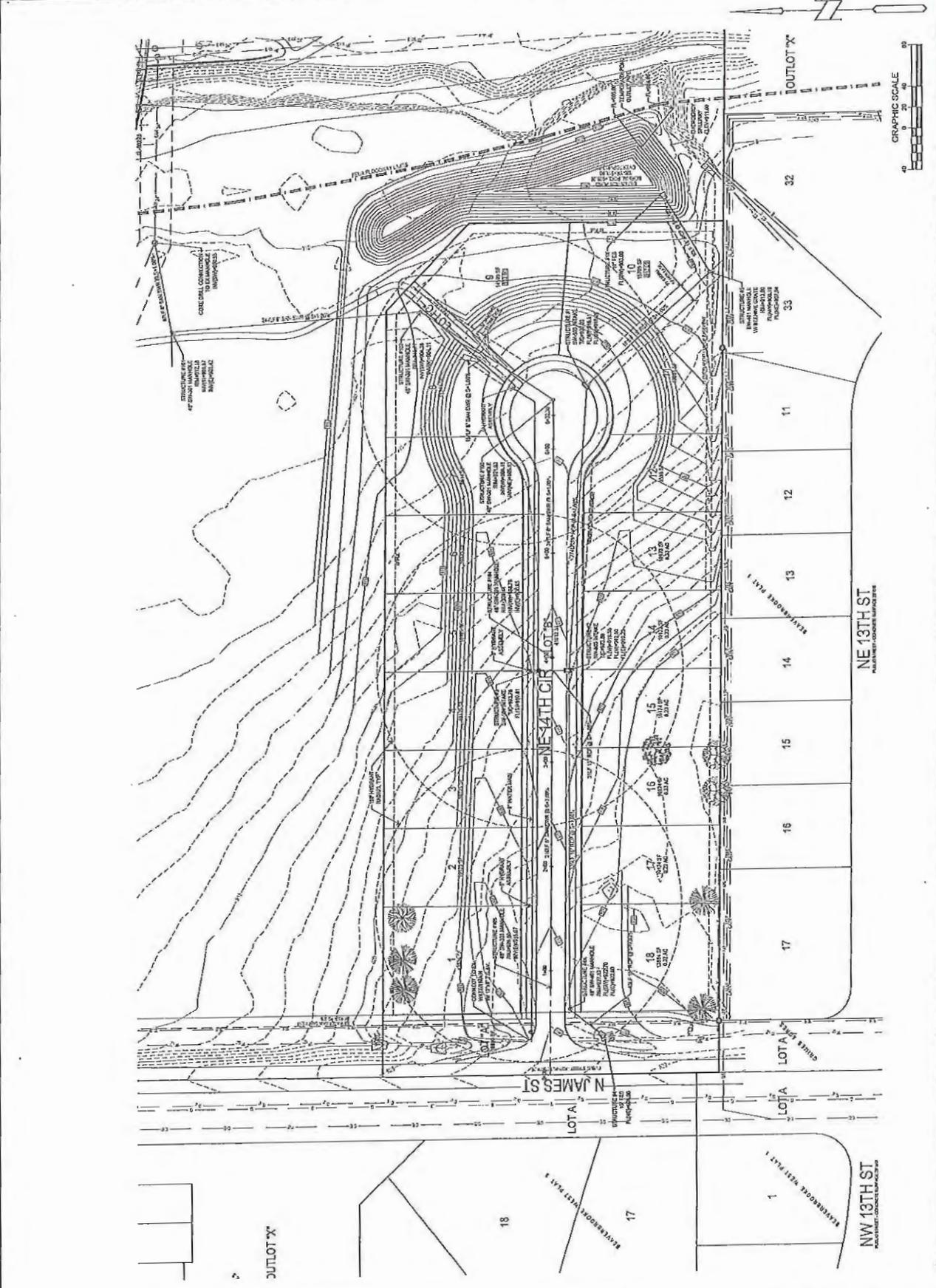


As the Heritage at Grimes development takes shape, it is expected to become a highly traveled entrance to the City of Grimes. A portion of land is to be set aside at the NW and SW corners of NE Beaverbrooke Boulevard and NE Gateway Drive to allow for the installation of a suitable entry monument for the project. The installation of the entry feature is anticipated to be completed in conjunction with the construction of NE Beaverbrooke Boulevard. Initial concepts for the entry feature include stone pillars, stone walls, low voltage LED lighting, and metal lettering. Landscaping around the entry features will use a similar palette of native, low-maintenance plants as the open detention areas on the southern portion of Heritage. Final design is to be completed as part of the NE Beaverbrooke Boulevard construction package. Upon completion of the entry monument, maintenance is to be provided by the City of Grimes as part of the park space throughout.

The development of a palette of materials for the entry features will help determine materials for use in other areas of Heritage. In order to further the concept of a cohesive site design throughout Heritage, similar stone, lettering techniques, and lighting will be required on other monument signs.









**ORDINANCE #630**

**AN ORDINANCE AMENDING THE GRIMES CODE OF ORDINANCES CHAPTER 136.08 SIDEWALK STANDARDS  
BE IN ENACTED BY THE CITY COUNCIL OF THE CITY OF GRIMES, IOWA**

SECTION 1. Purpose. The purpose of this Ordinance is to amend the Grimes Code of Ordinances Chapter 136.08

SECTION 2. Amendment. Pursuant to the Grimes Code of Ordinances Chapter 136.08 Sidewalk Standards

136.08 (5) SIDEWALK STANDARDS. Sidewalks repaired, replaced or constructed under the provisions of this chapter shall be of the following construction and meet the following standards:

5. Length, Width, Slope and Depth. Length, width and depth requirements are as follows:

- A. Residential sidewalks shall be at least four (4) feet wide and four (4) inches thick, and each section shall be no more than four (4) feet in length.
- B. Residential sidewalks for final plats approved after July 1, 2014 shall be at least five (5) feet wide and four (4) inches thick, and each section shall be no more than five (5) feet in length.
- C. The maximum cross slope is 2.0% with a target value of 1.5%
- B. D. Business district sidewalks shall extend from the property line to the curb. Each section shall be four (4) inches thick and no more than six (6) feet in length.
- € E. Driveway areas shall be not less than six (6) inches in thickness.

SECTION 3. Repealer. All ordinances or parts of ordinances in conflict with the provisions of these ordinances are hereby repealed.

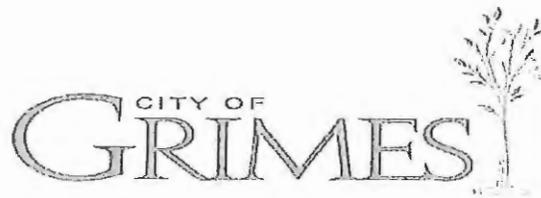
SECTION 4. Severability Clause. If any section, provision or part of this ordinance shall be adjudged invalid or unconstitutional, such adjudication shall not affect the validity of the ordinance as a whole or any section, provision or part thereof not adjudged invalid or unconstitutional.

SECTION 5: Effective Date. This ordinance shall be in effect after its final passage, approval and publication as provided by law.

Passed by the City Council on this th day of and approved on this day of , 2014.

\_\_\_\_\_  
Thomas M. Armstrong, Mayor

\_\_\_\_\_  
Rochelle Williams, City Clerk



101 NE Harvey Street, Grimes, Iowa 50111 515.986.3036 Fax 515.986.3846

This meeting of the Grimes Planning and Zoning Commission was called to order on Tuesday, April 29, 2014 at 5:34 P.M. at the Grimes City Hall.

Roll Call: Present: Steve Reneker, Mike Chambers, Steve Valline Absent: Bill Bohan, Kelsey Clark, Council Liaison Craig Patterson

### I. GENERAL AGENDA ITEMS

#### I. APPROVAL OF THE AGENDA

Chairman Steve Reneker stated that due to a scheduling conflict, agenda item E. for Glenstone Meadows Preliminary Plat and Site Plan had been moved to Item A.

Motion by Chambers, Second by Valline to approve the agenda.

Roll call: Ayes-3; Nays-0 Motion passes: 3-0.

#### II. APPROVAL OF THE MINUTES

Motion by Valline, Second by Chambers to approve the minutes from the March 4, 2014 meeting

Roll call: Ayes: 3 Nays: 0 Motion passes: 3- 0.

### II. PUBLIC AGENDA ITEMS

#### **A. Glenstone Meadows Preliminary Plat & Site Plan**

Erin Ollendike, Civil Design Advantage, 3405 SE Crossroads Drive Suite G addressed the Board on behalf of the Developer, Solid Ground, LLC. Also in attendance were Eric Grubb, President of Solid Ground, and Jason Evans, representing Greyhawk Homes. Ollendike stated that this development is located at 3605 SE Glenstone Drive and consists of 7.9 acres more or less and is currently zoned C-2 (General Highway Service Commercial District). Ollendike said that they are requesting approval for mixed use with the north portion to be used for townhomes and the south portion maintained as commercial. She stated that there are both 4 and 6 plex units in the site plan for a total of 44 units and will have 176 parking spaces. Ollendike stated that the remaining portion of the plat is to remain zoned C-2. Ollendike said the private street through the development would be 26' wide allowing parking on the south side. She said there would be two proposed detention basins on this plat. Ollendike said there were not any conflicts with the city comment letter and all items had been addressed. Jason Evans with Grayhawk Homes addressed the Board with samples of the building materials proposed. Evans displayed vinyl siding, vinyl shake product on the gables and architectural shingles in three shades to be used in this development.

Motion by Valline, second by Chambers to Approve the Glenstone Meadows Preliminary Plat & Site Plan per the City of Grimes letter dated April 23, 2014.

Roll call: Ayes-3, Nays- 0 Motion passes: 3 – 0

#### **B. Public Hearing and Action for the Adoption of the Amended Official Zoning Map.**

Chairman Steve Reneker opened the Public Hearing at 5:47. City Engineer John Gade stated that it had been a while since the last update to the Official Zoning Map had been made. He said the updated map

reflected current revisions to the Highway 44 ordinance as well as clarifying several minor items. Gade stated that this amended map was going before Council for the final reading on May 13, 2014. Being no oral or written comments the Public Hearing was closed at 5:53.

Motion by Valline, Second by Chambers, to recommend approval to adopt the Amended Official Zoning Map.

Roll call: Ayes- 3, Nays- 0 Motion passes: 3 – 0

#### **C. Toyota Parking Lot Expansion Site Plan.**

David Bentz, Bishop Engineering, 3501 104<sup>th</sup> St, Urbandale IA addressed the board. Bentz stated that the owner of Toyota wished to add 245 additional stalls on the south west corner of the existing site for employee parking. Bentz said this parking lot expansion project consists of an increase of 79,680 square feet and that landscaping would be provided around the perimeter of the site as well as detention ponds for any runoff on the site. Bentz stated they are in agreement with comments from staff. City Engineer Gade did not have any additional questions or concerns.

Motion by Chambers to Approve the Toyota Parking Lot Expansion Site Plan per the City Letter dated April 23, 2014.

Roll call: Ayes-3, Nays- 0 Motion passes: 3 – 0

#### **D. Commercial & Home Services Site Plan**

Doug Mandernach, Civil Design Advantage, 3405 SE Crossroads Drive Suite G addressed the Board on behalf of Commercial Home Services and their site located at 3301 SE Destination Drive. Mandernach stated that they propose to build two steel buildings on this site to provide office space, storage usage and some minor manufacturing. He said there would not be any fencing or outside storage at this facility and the waste receptacles would be located inside of each building. Mandernach said there would be separate utilities to each building and detention was provided for the site. Mandernach said that they were working with the DNR and the City to modify the floodway line so they would not be building within that area. Mandernach stated that the owner was using tan steel siding with stone at the bottom and darker trim.

Motion by Valline, second by Chambers to Approve the Commercial & Home Services Site Plan per the City letter dated April 18, 2014.

Roll call: Ayes-3, Nays- 0 Motion passes: 3 – 0

#### **E. 3455 Mische Drive Site Plan**

Ed Pelds, of A. Leo Pelds Engineering Co., 2323 Dixon Street, Des Moines IA addressed the Board on the site improvements proposed for 3455 SE Mische Drive. Pelds stated that they want to build a 9,750 sf warehouse building with tenant space in the front and parking to the south end of the building. Pelds stated this is on approximately a one acre lot located just north of SE 37<sup>th</sup> Street. Waste receptacles would be located inside of the building. Pelds said there would be wall pack lighting, two overhead doors and two man doors into the building. Pelds stated that they planned storm water detention on the west side of the building. City Engineer Gade did not have any questions or concerns.

Motion by Chambers, second by Valline to approve the 3455 Mische Drive Site Plan per the City letter dated April 24, 2014.

Roll call: Ayes-3, Nays- 0 Motion passes: 3 – 0

#### **F. Public Hearing and Action on a Request for Rezone from Beaverbrooke Development Company- Heritage Development from A-1 Agricultural, R-3 Multi Family Dwelling District, R-2 Single and two Family Dwelling District and C-2 General and Highway Service Commercial District to R-4 Planned Unit Development.**

Chairman Steve Reneker opened the Public Hearing at 5:59. David Bentz, Project Engineer and Michael Gaunt, Landscape Architect with Bishop Engineering, 3501 104<sup>th</sup> St, Urbandale IA addressed the Board on behalf of Beaverbrooke Development. Gaunt presented the Board with an overview of the Planned Unit Development (PUD). Gaunt stated that this project will consist of over 400 acres in total and is

bordered along the west side by Little Beaver Creek and the Highway 141 corridor, north of 1<sup>st</sup> street and east of James Street. Gaunt stated that Heritage is designed as a traditional housing development with a mix of family residential, multi-family residential and commercial plats at the east end of Beaverbrooke Boulevard. Gaunt stated that approximately 17 acres, centrally located in the plat, could accommodate a new Grimes Town Center and there are numerous public park and green spaces as well as detention basins located across this development. He said approximately 200 acres will be zoned for single family dwellings similar to R2-70, and 44 acres with similar zoning to R2-60. Approximately 35 acres are designated for multi-family high density and another 42 acres of multi-family medium density. Gaunt also stated there were about 52 acres for commercial usage in addition to the 17 acres for the town center of which about 2 acres would be designated as a park. Gaunt said the PUD restrictions and requirements closely follow zoning already in place with the City, however, by making the entire development PUD, it allows the developer to add additional requirements that will blend better with the overall plan. Gaunt said the PUD specifies that no fencing will be allowed along the public areas other than a two rail white decorative fence that would be used where a property line is adjacent to a public outlot. Gaunt stated that to ensure continuity within the development all buildings and structures would be required to have approval by the Heritage Review Committee (HRC) prior to applying to the city for permits. He said the town center is intended as a unique destination within the City of Grimes. Gaunt explained that the basis for zoning is C-1 with review required by the HRC and the City of Grimes to determine appropriateness in following the design intent laid out within this PUD. Gaunt stated that in regard to traffic flow, Beaverbrooke Blvd was a key part of this project. Beaverbrooke will connect to Hwy 141. They have performed a traffic study for this project and are working closely with City Staff. Gaunt stated that stormwater management throughout the development is included in common areas wherever possible. He said that this includes a pond just west of the Town Center section and detention basins placed in green space throughout the southern portion of the project. Gaunt said that eventually, all storm water run-off will make its way west and empty into Little Beaver Creek. Gaunt stated that the intent of the storm water management plan is to slow runoff, allow as much infiltration as is reasonable and minimize downstream impact. In the southern sections of Heritage, runoff will flow into green space between the residential lots. Gaunt stated that these areas will be maintained by the City and consist of a combination of native prairie vegetation and open spaces known as Pocket Parks. Gaunt said that installation of native plants will significantly slow down runoff, filter pollutants and soil out of the water and will result in decreased runoff into Little Beaver Creek. Resident John Wilcox, 7852 NW 114<sup>th</sup> St. Grimes Iowa addressed the Board with his concerns about development runoff that would possibly affect his property. Wilcox stated that his property is adjacent to Highway 141 and the area planned for Multi Family High Density in Heritage Development. He said that while much of the rain from the development as a whole would drain to the south, there is a section along 141 that has a drainage pipe that empties into a ravine on his property that runs all year around and is about 10 feet from his driveway. Wilcox stated that he is concerned that although this is not a large area, the volume of runoff has been very heavy during rain events and he is concerned that any further increase would cause runoff to overflow the ravine and end up in his driveway. Resident Steve Rodriguez, 205 NE 13<sup>th</sup> St. Grimes IA, addressed the Board to ask how many units were being planned in total for this development, the number of families expected to increase the population of the city and what the plan was to address traffic flow in and out of Grimes and onto Highway 141. Adjacent property owner Larry Heller, 12120 NW 82<sup>nd</sup> Ave. Grimes IA, addressed the Board to ask how much additional water would end up going through the waste water treatment plant with this development. Heller stated that his property is along Little Beaver Creek and the level of water funneled through the creek has been steadily increasing over the years and he is not sure how much more it can handle. Heller also asked what the expected time line was for the development. Resident Bryan Church, 105 NE 13<sup>th</sup> St Grimes also addressed the Board. Church stated that he was very concerned about the traffic flow and wanted to learn about the plan to address an already very congested area. Being no additional oral or written comments the Public Hearing was closed at 6:30.

City Engineer Gade stated that he had a question about the percentage of green space called out in the bulk regulations. Gade noted that the current City requirement is 40%. After discussion, Bentz and Gade

agreed that 30% would be reasonable. Gade stated that in general, the PUD requirements are more stringent than the City requirements already in place. Bentz addressed the resident concerns on stormwater management. Bentz stated that when they present the final site plan, they would be held to all city requirements and therefore, there should not be any additional runoff to the north due to the development of this area. Bentz also stated that they are working with City Staff concerning the traffic flow concerns for this area. City Engineer Gade agreed that there are plans being worked on for city road improvements. Bentz also stated that they hope that the intersection from Beaverbrooke to Highway 141 would be started yet this fall which would significantly improve the congestion. Gade stated that the City has a Master Plan for James Street that calls for having three lanes to allow a turn lane. Gade also stated that there may be a traffic signal at the intersection of James Street and Beaverbrooke in the future. However, Gade noted that they would not be able to begin that road work until Beaverbrooke Blvd. was in place to help with the traffic flow during construction. Gade also noted that in the proposed commercial area, due to the small area concerned, he did not have any concerns about accepting the frontage requirement change on that portion from 100 feet, as stated in the Hwy 141 ordinance, to 20 feet as stated in the PUD. Gade stated that the proposed lane width on Beaverbrooke Blvd would be 22 ft. instead of the standard 26 ft. This allows for 5 lanes of traffic with dedicated turn lanes for the entire project. Gade stated that there are two proposed roundabouts on Beaverbrooke Blvd. as well to discourage speeding. He said that the proposal for NE Gateway Drive will be three lanes with the traditional 37 ft. wide roadway. Gade said there is a proposed landscaping berm on the west side to help buffer the residential area.

Motion by Valline, Second by Chambers, to recommend approval of the Request for Rezone from Beaverbrooke Development Company-Heritage Development from A-1 Agricultural, R-3 Multi Family Dwelling District, R-2 Single and two Family Dwelling District and C-2 General and Highway Service Commercial District to R-4 Planned Unit Development per the Fox Engineering letter dated April 24, 2014 with the addition of the requirement of 30% minimum green space in the bulk regulations.

Roll call: Ayes- 3, Nays- 0 Motion passes: 3 – 0

### **G. Heritage Preliminary Plat 1**

David Bentz, Bishop Engineering, 3501 104<sup>th</sup> St, Urbandale IA addressed the board. Bentz stated that Plat 1 consists of 18 single family lots and is located in a flood plain at this time and they are currently working with the DNR and propose to add soil to that area to raise this section. Bentz stated that there is a 5 foot walking path that will be located between lots 8 & 9 and sidewalks all the way around the cul-de-sac. He said that these lots are to be 75' wide. The road will open onto North James Street. City Engineer Gade did not have any additional questions.

Motion by Valline, second by Chambers to Approve the Heritage Preliminary Plat 1 per the Fox Engineering letter dated April 23, 2014.

Roll call: Ayes-3, Nays- 0 Motion passes: 3 – 0

### **III. PUBLIC FORUM- None**

### **IV. ZONING ADMINISTRATOR REPORT**

City Engineer John Gade said that there would not be a May meeting for Planning and Zoning.

1. Old Business-. Building Inspector Scott Clyce stated that over the past few weeks Burger King, MB2 Indoor Kart Racing and Canoyer's Greenhouse had opened for business in Grimes.
2. New Business- Next meeting, June 3, 2014.

### **V. ADJOURNMENT**

Motion by Chambers, Second by Valline to adjourn the meeting.

Meeting is adjourned at 7:33 pm

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Steve Reneker, Chairman